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OFFICE OF THE COMPTROLLER
DEPT. OF ACCOUNTING AND GENERAL SERVICES

JOHN WAIHEE
GOVERNOR

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OFFICE OF ENVIRONMENTAL
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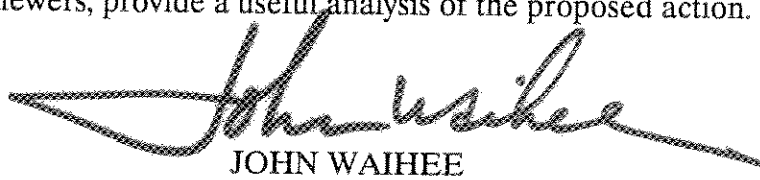
MEMORANDUM

TO: The Honorable Russel S. Nagata, Comptroller
Department of Accounting and General Services

SUBJECT: Final Environmental Impact Statement for the Site
Selection for the New Kihei Public Library

I am pleased to accept the Final Environmental Impact Statement for the Site Selection for the New Kihei Public Library as satisfactory fulfillment of the requirements of Chapter 343, Hawaii Revised Statutes. This environmental impact statement will be a useful tool in the process of deciding if the action described therein should be allowed to proceed. My acceptance of the statement is an affirmation of the adequacy of that statement under applicable laws and does not constitute an endorsement of the proposed action.

When the decision is made regarding the proposed action itself, I expect the proposing agency to consider if the societal benefits justify the environmental impacts which will likely occur. These impacts are adequately described in the statement and, together with the comments made by reviewers, provide a useful analysis of the proposed action.



JOHN WAIHEE

cc: ✓ Mr. Brian J. J. Choy

OEQC LIBRARY
FINAL
ENVIRONMENTAL IMPACT STATEMENT
FOR THE SITE SELECTION FOR
THE NEW KIHEI PUBLIC LIBRARY

KIHEI, MAUI

PREPARED FOR:
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
STATE OF HAWAII

PREPARED BY:
FUKUNAGA AND ASSOCIATES, INC.

JUNE 1991

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FINAL ENVIRONMENTAL IMPACT STATEMENT

FOR THE

SITE SELECTION FOR THE

NEW KIHEI PUBLIC LIBRARY

KIHEI, MAUI

This environmental document is prepared pursuant to Chapter 200 of Title 11, Administrative Rules, Department of Health, "Environmental Impact Statement Rules".

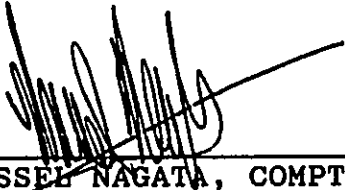
PROPOSING AGENCY:

Department of Accounting and General Services
State of Hawaii

ACCEPTING AUTHORITY:

Governor, State of Hawaii

Responsible
Official:



RUSSEL NAGATA, COMPTROLLER



DATE

Prepared By:

Fukunaga and Associates, Inc.
Consulting Engineers
Honolulu, Hawaii

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PREFACE

This environmental document is prepared pursuant to the requirements of Chapter 343, Hawaii Revised Statutes and Title 11, Chapter 200, Department of Health, Administrative Rules.

The document incorporates the methodology and results of the Site Selection Report which was prepared to identify the most suitable sites for the proposed new Kihei Public Library. Five (5) candidate sites were identified in the Site Selection Report. The purpose of the Site Selection Report is to identify and compare the relative advantages and disadvantages of each of the five sites to facilitate discussion and decision-making, rather than to recommend a preferred site.

Based on information presented in the Site Selection Report, the Hawaii State Public Library System has tentatively selected Site D, Adjacent to Kalama Park, for the new public library. Site C, Waiohuli Beach Homesteads was selected as an alternative site.

This document includes an assessment of the five sites with regard to EIS requirements. Because a tentative site selection has been made, discussions relating to archaeology and traffic are limited to Site D, Adjacent to Kalama Park.

SUMMARY: EVALUATION RATINGS AND PROJECT COSTS

SUMMARY OF EVALUATION RATINGS

G = Good KIHAI
 F = Fair COMMUNITY
 P = Poor COMPLEX FUTURE COUNTY
 CIVIC CENTER WAIOHULI
 BEACH HOME-
 STEADS ADJACENT TO
 KALAMA PARK ADJACENT TO
 KIHAI SCHOOL

	SITE A	SITE B	SITE C	SITE D	SITE E
Building Site					
Criteria Total (Environmental, Roadways & Utilities, Accessibility)					
(G)	9	6	6	8	6
(F)	4	3	6	3	5
(P)	0	4	1	2	2
Community					
Criteria Total (Government, Community Effects)					
(G)	3	5	3	5	5
(F)	4	3	4	2	3
(P)	2	1	2	2	1
Totals for Building Site & Community Criteria					
(G)	12	11	9	13	11
(F)	8	6	10	5	8
(P)	2	5	3	4	3

SUMMARY OF PROJECT COSTS
 (in thousands of 1990 dollars)

On-site Imp.	525	435	440	460	415
Off-site Imp.	260	500	110	60	-0-
Land Acquisi- tion/Site Value	620*	5	540	640*	20
Subtotal	1,405	940	1,090	1,160	435
Engr. & Cont. (20%)	280	190	220	230	85
Total Estimated Project Cost	1,685	1,130	1,310	1,390	520** 2,020***

* Site value for State-owned land under County jurisdiction.
 Acquisition costs may be nil.

** Assumes infrastructure provided by the Piilani Village project, with complete installation by 1995.

*** If earlier occupancy date is desired, project cost is estimated to increase by approximately \$1.5 million (providing offsite sewer, water, electrical, drainage and roads).

FINAL ENVIRONMENTAL IMPACT STATEMENT

FOR THE

SITE SELECTION FOR THE

NEW KIHEI PUBLIC LIBRARY

KIHEI, MAUI

SUMMARY

- A. Responsible Office:
Russel S. Nagata
Comptroller
Department of Accounting and General Services
State of Hawaii
P.O. Box 119
Honolulu, Hawaii 96810
Contact: Charles Inatsuka (808)548-5703
- B. Accepting Authority: Governor
- C. Name of Action: Site Selection for the New Kihei Public Library
- D. Description of Proposed Action:

A new public library is proposed in Kihei to serve the Maalaea, Kihei, Wailea and Makena areas on the Island of Maui. This new facility would provide a permanent library to replace the Kihei Library Station. The existing facility is located in a classroom building in the old school complex on South Kihei Road, now known as the Kihei Community Complex. The nearest full service libraries are located in Wailuku and Kahului.

E. Candidate Sites:

Five candidate sites have been identified, as follows:

<u>Candidate Site</u>	<u>TMK</u>	<u>Acreage</u>
1. Site A-- Kihei Community Complex	3-9-06:11	2.0 ac. min.
2. Site B-- Future County Civic Center	2-2-02: por. 54	2.0 ac. min.
3. Site C-- Waiohuli Beach Homesteads	3-9-11:18	2.31 acres

- | | | | |
|----|---|-----------------|--------------|
| 4. | Site D--
Adjacent to Kalama
Park | 3-9-12:13 | 1.9 acres |
| 5. | Site E--
Adjacent to Kihei
School | 2-2-02: por. 42 | 2.0 ac. min. |

F. Project Setting:

Maui is the second largest County in the State of Hawaii in terms of land mass, with an area of 1,161.6 square miles. The County includes the islands of Maui, Lanai, Kahoolawe and most of Molokai. Maui is the largest of the four islands with an area of 728.6 square miles (Reference 8).

Maui is the third most populous County in the State of Hawaii. In 1988, the island of Maui had a resident population of 84,000, accounting for 90% of Maui County's population (Reference 10).

The Hawaii State Library System operates six libraries on Maui-- Kihei, Lahaina, Wailuku, Kahului, Makawao and Hana. The proposed Kihei Public Library will service South Maui, to include communities in Maalaea, Kihei, Wailea and Makena. The Kihei Public Library will be located within the community of Kihei between the areas mauka of the Piilani Highway and makai of South Kihei Road.

G. Relationship to Plans, Policies and Controls

Land use considerations pertinent to the proposed public library sites are as follows:

- Hawaii State Plan
- State Land Use Designation
- Kihei-Makena Community Plan
- County Zoning
- Flood/Tsunami Hazard
- Underground Injection Control
- Special Management Area

The above plans, policies and controls are considered in the evaluation of each site.

H. Probable Impacts

Impacts associated with the proposed action can be classified as having short-term and long-term effects. Short-term site-related impacts are primarily those related to construction activities, such as noise, air quality, water quality, erosion, traffic and public health and safety. Long-term site impacts are those impacts anticipated due to the operation of the facility, such as effects on flora, fauna, social, public health and safety,

displacement, infrastructure, and traffic.

The short-term impacts associated with the proposed action which cannot be avoided are those related to construction activity. Current State rules and regulations should be adequate to mitigate any adverse impacts.

Both negative and beneficial long-term impacts are associated with the proposed action. Minimal effects are anticipated due to the development of any of the five sites since all are near or have been subject to development. All sites are presently vacant, with the exception of the existing library site (Site A), minimizing disruption of the existing community. The library is compatible with surrounding land uses and with the exception of Site B, with the availability of existing infrastructure. Beneficial impacts include the increased selection of library material and larger and more accessible facilities.

Long-term negative impacts are some increase in traffic on nearby streets and loss of open space resources in the rapidly developing Kihei area.

I. Alternatives Considered

1. No Action

The "no action" alternative would mean that the Kihei library station would continue to remain in operation. This alternative is unacceptable to the community since the facility is inadequate to serve the needs of the existing population. This alternative is even more unrealistic in view of the unprecedented growth that Kihei is experiencing.

This alternative would preclude the project's goal of ensuring the provision of adequate and accessible library facilities for the Maalaea, Makena, Kihei and Wailea population, forcing the public to commute to Wailuku or Kahului.

2. Expansion of Existing Library Station

Renovation and expansion of the existing Kihei Library Station would not be feasible due to the age of the structure (approximately 46 years old) and lack of available building area to convert to library use. Efficient use of the area would involve demolition of one or more of the existing structures on the site and construction of a new facility.

3. Leasing of Privately-owned Space

Leasing of space has short-term advantages but would be viable in the long-term due to uncertainties in lease rents and tenure. Lack of control over future expansion capabilities is also a consideration which would tend to favor the proposed action.

J. Relationship of Local Short-term Uses and the Enhancement of Long-term Productivity

1. Short-term Uses

The proposed public library project will involve short-term uses of the local environment during the construction phase. The negative and positive aspects of these short-term impacts were discussed in Section V. The adverse impacts include temporarily increased noise and traffic in the area. The short-term benefits include increased economic activity due to construction expenditures related to the project.

2. Long-term Productivity

The long-term benefits from the proposed project will be due to the availability of library resources to the public living within the Kihei, Makena, Maalaea and Wailea areas. The library can be considered both a recreational and educational resource which will help maintain and enhance the productivity of the general populace by providing a source of information.

The libraries are also used as meeting halls where groups such as the neighborhood board, school clubs and athletic leagues can gather. This contributes to the long-term productivity of the community by providing a forum for social groups and by encouraging community participation, which leads to an increased quality of life.

K. Irreversible and Irretrievable Commitments of Resources

The commitment of resources can be divided into three categories:

1. Long-term Commitment of Land

The proposed action involves the commitment of two acres of land for a public library facility, precluding consideration of the land for other uses.

2. Construction Commitments

The construction of the facility will involve the irreversible and irretrievable use of energy (electricity and fuel), water, labor, materials and capital investment.

3. Operational Commitments

The completed public library facility will require the irreversible and irretrievable commitment of energy, water, labor, and materials to operate and maintain the facility.

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I. PROJECT DESCRIPTION

A. Study Purpose

A new public library is proposed in Kihei to serve the Maalaea, Kihei, Wailea and Makena areas on the Island of Maui (see Figure I-1 Location Map). This report is intended to accomplish the following:

1. To identify potential sites for the public library within the Kihei area. Through an evaluation process the alternatives are to be narrowed to a list of three to six sites for further review and evaluation.
2. To assess each candidate site in accordance with requirements of Chapter 343, Hawaii Revised Statutes and the Department of Health's Title 11, Chapter 200, "Environmental Impact Statement Rules".

B. Present Conditions

The Hawaii State Library System is made up of the Hawaii State Library and five library districts: East Oahu, West Oahu, Hawaii, Kauai, and Maui. It also operates the Library for the Blind and Physically Handicapped.

The Maui Library District has a total of eight libraries, one location on Lanai, six on Maui and one on Molokai. The circulation for the year ended June 30, 1988 was 522,886, as compared to circulations of 987,397 on Hawaii, 430,221 on Kauai and 4,571,941 on Oahu (Reference 8). The libraries on the island of Maui are located in Wailuku, Kahului, Makawao, Hana, Lahaina, and Kihei (see Figure I-1).

The population in Kihei increased over 340 per cent between 1970 and 1980, from 1643 to 7262 (Reference 1). In 1979, the Kihei Community Association requested that the State Librarian establish a library in Kihei in light of the population growth. In 1981, the Kihei Library Station opened under the auspices of the Kihei Community Association and with the support and supervision of the Wailuku Public Library. In 1988 the Kihei Library became a Maui District Library.

The existing Kihei Library Station operates out of the old Kihei Public School and present site of the Kihei Community Complex (See Figure I-1). The library occupies less than 2000 square feet of space within an old classroom building. Also located on the 4.4 acre site (TMK: 3-9-06:11) are a County Parks and Recreations office, restrooms, Kihei Youth Center,

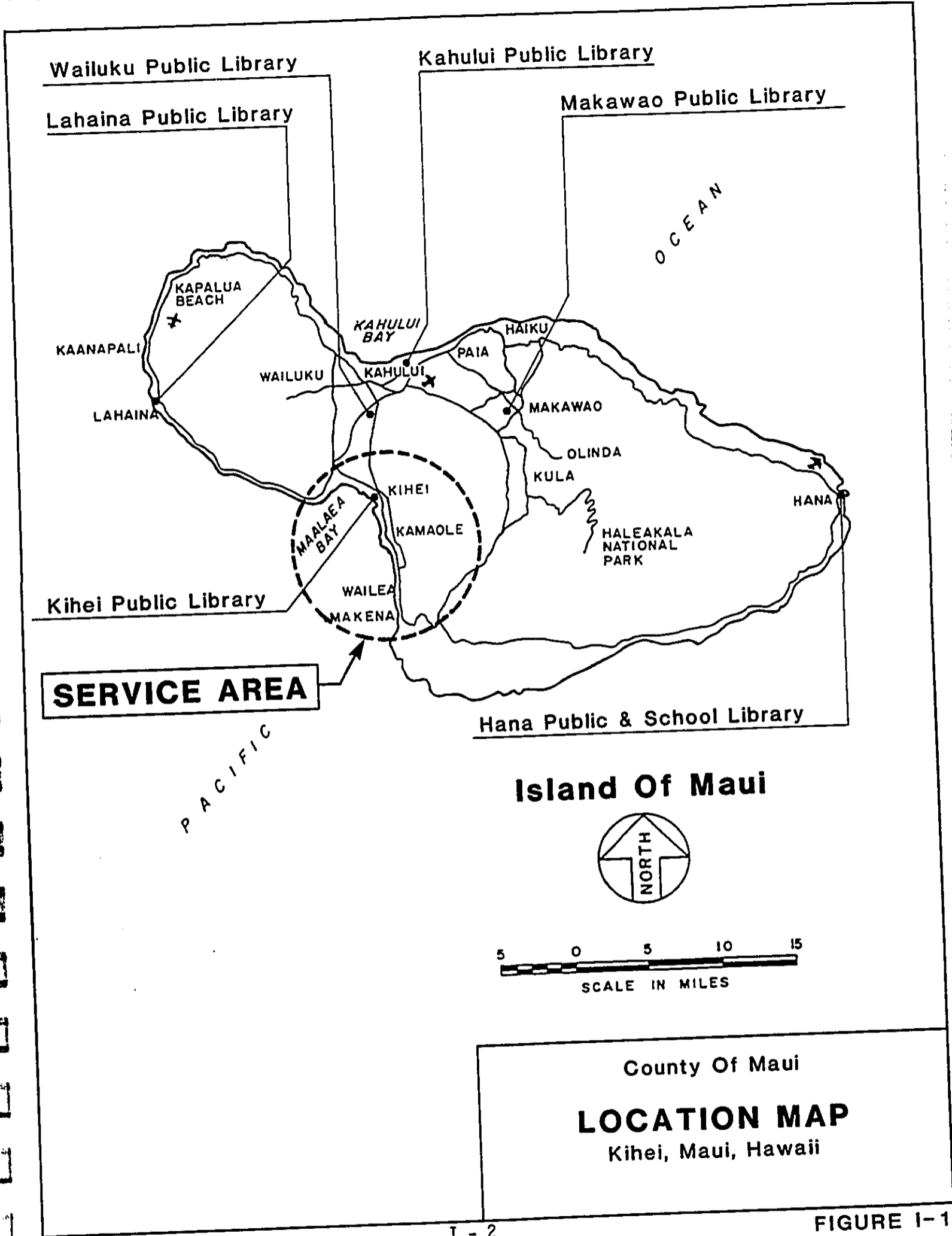
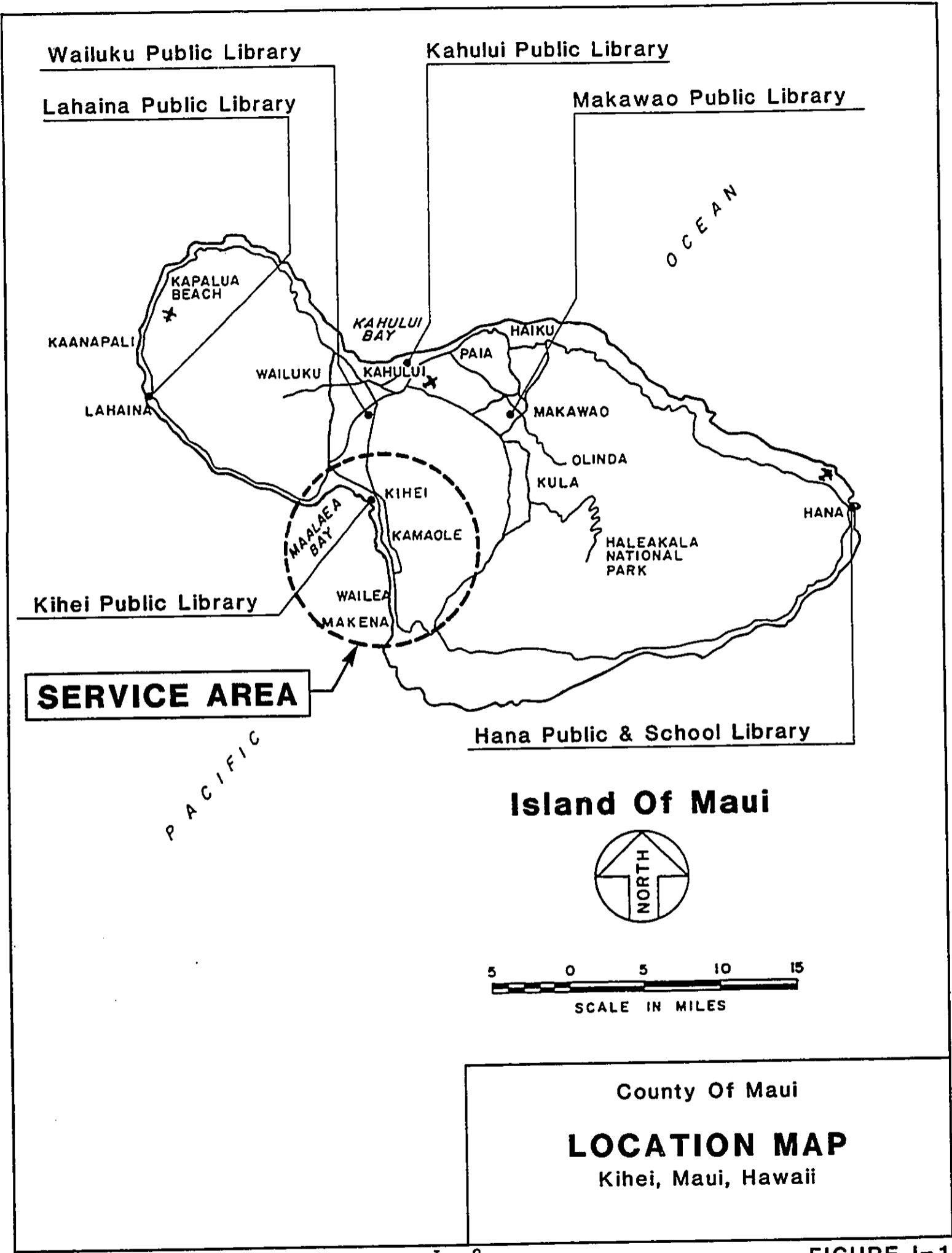


FIGURE I-1

CORRECTION

THE PRECEDING DOCUMENT(S) HAS
BEEN REPHOTOGRAPHED TO ASSURE
LEGIBILITY
SEE FRAME(S)
IMMEDIATELY FOLLOWING



County Of Maui
LOCATION MAP
 Kihei, Maui, Hawaii

volleyball and basketball courts, and meeting halls.

The land is owned by the State of Hawaii and is used by the County (Department of Human Concerns) under Executive Order 2958 for "Recreation Center Site". The present library is maintained by the County as part of the Community Complex. Minor repairs and alterations are made by volunteers. Two full-time librarians staff the library with student helpers and janitor personnel.

This site selection report has been initiated to determine and evaluate the most feasible sites for the new Kihei public library.

C. Project Need

The service area for the proposed Kihei Public Library is South Maui, including Maalaea, Kihei, Wailea, and Makena. The 1980 population for the Kihei service area was 7262 (Reference 1). As a planning guideline, the County's Kihei-Makena Community Plan projected a resident population of 22,900 persons over the next twenty years (year 2000). The Hawaii State Library System proposes a facility for the year 2000 population projection of 22,900 persons, which provides the basis for establishing building size and site area.

D. Proposed Project

The proposed project, initiated by the Department of Accounting and General Services, is the selection of a site for a new public library, to be located within the Kihei community. The facility will contain the following features:

1. Driveway or access road from existing road to parking area.
2. Paved parking area.
3. Utilities to provide water, electricity, sewer, and telephone service.
4. Drainage improvements to take care of on-site drainage.
5. Landscaping.

The work shall be completed before the Kihei Public Library is closed.

E. Library Development Requirements

1. Building Area Requirements

The project will provide space for a lobby, large group room, librarian's office, staff workroom, storage stack area, store-room and meeting/conference room. Additional areas include a staff lounge, public toilets, mechanical/electrical room and a ground maintenance room.

Library area requirements are based on community population. The 15,550 square foot (net) facility being requested by the Hawaii State Public Library System is the largest standard size facility and is based on a "large" community population (defined as being greater than 15,000). The new facility will replace a facility under 2000 square feet.

The Library System is planning to request construction and equipment funding in Fiscal Biennium 1991-1993. Assuming construction funding in 1991, the space requirement (15,550 net square feet) for the public library will be based on the projected area population greater than 15,000 (estimated at 22,900 in the year 2000).

2. Parking Requirements

A minimum of 52 off-street parking spaces are required for the library, in accordance with the Maui County Zoning Code which states that one parking space shall be provided for every 300 square feet of building. Consideration should also be given to providing group room parking on-site, at a ratio of one stall per 100 square feet of meeting room area (approximately 16 stalls). Paved parking and loading spaces shall be provided in accordance with the County's Off-Street Parking and Loading Ordinance. Appropriate landscaping and fencing shall also be provided around parking areas.

3. Land Area Requirements

The projected land requirement for the proposed public library is determined to be 2.0 acres. This minimum is based on facility requirements for a projected population greater than 15,000 (estimated at 22,900 in the year 2000).

4. Construction

The project will involve the following construction activities:

- a. Site clearing and earthwork
- b. Trenching and backfilling for utility lines and building foundations.
- c. Laying concrete masonry units.
- d. Carpentry, drywall, glasswork, flooring and roofing.
- e. Landscaping.
- f. Paving for driveways, walkways and parking.

5. Use of Public Funds or Land

The project will be funded by public Capital Improvement Program (CIP) appropriations from the State Legislature. In an effort to minimize tenant relocation and land acquisition costs, State lands will be given first consideration in the selection of sites.

6. Development Schedule

The project consists of constructing a new public library facility and re-establishing the existing operations into the new building. The Library System is scheduled to request construction funds in Fiscal Biennium 1991-1993. Until the new facility is constructed, the Kihei Public Library will continue to operate within the Kihei Community Complex.

The project schedule is dependent on the selection of lands, and in the case of private lands, implementation of acquisition proceedings. Selection of State-owned land would eliminate some of these proceedings.

Additional factors affecting project schedule, which are site dependent, include meeting the State's requirements relating to the EIS (Chapter 343, Hawaii Revised Statutes) and obtaining necessary government approvals.

Relocation of any existing land tenants may also impact the construction of the facility.

II. PROJECT SETTING

A. Regional Overview

Maui is the second largest of the Hawaiian Islands, with an area of 728.8 square miles. Maui County is made up of four major islands-- Maui, Lanai, Kahoolawe, and most of Molokai, and in terms of land mass is the second largest County with 1,161.6 square miles. Maui County is the third most populous County with a resident population of 93,000 in 1988 (Reference 10).

Tourism is Maui's prime industry with a westbound visitor count of 2,001,870 in 1986 and 1,884,050 in 1988 (Reference 10). Kihei had a total of 8 hotels and 59 condominiums in February 1989, with a total of 4,810 rooms (Reference 16). The construction boom associated with the new hotels has provided job and investment opportunities.

Agriculture plays a major role in Maui, with sugar, pineapple, vegetables, protea, cocoa and wine grapes currently being produced.

Scientific research is becoming an increasingly important industry on Maui, including space-related facilities in Science City on Haleakala, defense research development conducted in Federal facilities on Haleakala, and bioengineering and tropical agriculture research.

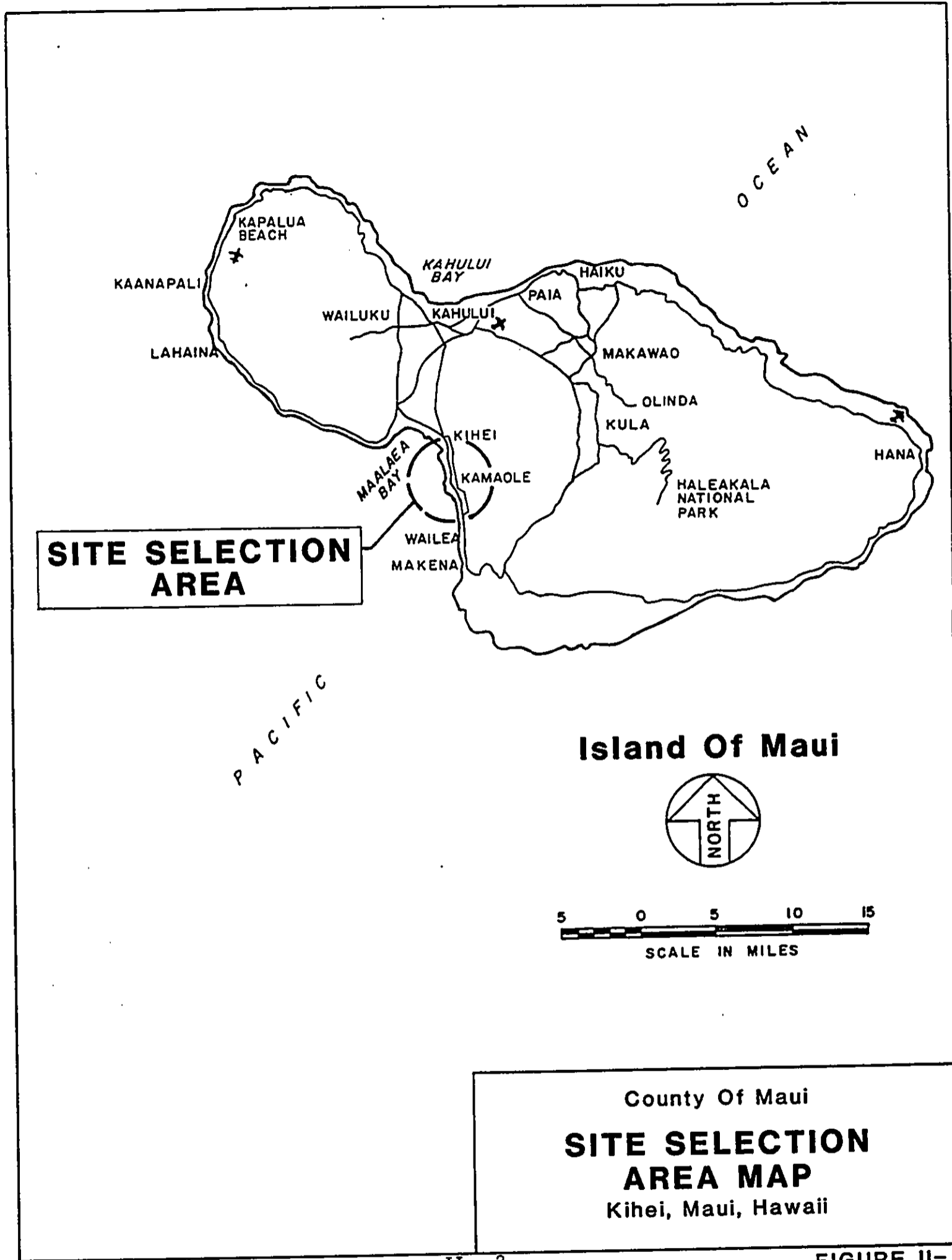
Sites were selected from the area extending from Mokulele Highway to Kilohana Street (near Kamaole Beach), and extending mauka of Piilani Highway and makai of Kihei Road (see Figure II-1 Site Selection Area Map).

B. Land Use Plans, Policies, and Controls

The following land use plans, policies, and controls apply to the service area:

1. Hawaii State Plan

The Hawaii State Plan sets forth Hawaii's goals, objectives, and policies to provide general direction to the State and to detail priority directions which indicate areas of Statewide concern. The proposed Kihei Public Library facility supports the following goals, objectives and policies of the Hawaii State Plan:



a. Socio-cultural advancement - education

Objective Planning for the State's socio-cultural advancement with regard to education shall be directed towards achievement of the objective of the provision of a variety of educational opportunities to enable individuals to fulfill their needs, responsibilities, and aspirations.

Policies

- i. Ensure the provision of adequate and accessible educational services and facilities that are designed to meet individual and community needs.
- ii. Promote programs and activities that facilitate the acquisition of basic skills such as reading, writing, computing, listening, speaking and reasoning.

b. Socio-cultural advancement - leisure

Objective Planning for the State's socio-cultural advancement with regard to leisure shall be directed towards the achievement of the objective of the adequate provision of resources to accommodate diverse cultural, artistic and recreational needs for present and future generations.

Policies

- i. Provide a wide range of activities and facilities to fulfill the cultural, artistic, and recreational needs of all diverse and special groups effectively and efficiently.
- ii. Enhance the enjoyment of recreational experiences through safety and security measures, educational opportunities, and improved facility design and maintenance.
- iii. Ensure opportunities for everyone to use and enjoy Hawaii's recreational resources.

- iv. Increase opportunities for appreciation and participation in the creative arts, including the literary, theatrical, visual, musical, folk and traditional art forms.

2. State Land Use Designation

The State Land Use Commission regulates the use of lands through classification of land as either Urban, Rural, Agricultural, or Conservation. The intent of the land classification is to accommodate growth and development and to retain the natural resources of the area.

Any land use district boundary amendments would require a public hearing by the Maui Planning Commission, and review and final approval by the County Council.

A Special Use Permit would require Maui Planning Commission approval.

The major portion of the site selection area below Piilani Highway is within the State's Urban District (see Figure II-2 State Land Use Map). Pockets of Rural District land are located near Piilani Highway. The areas mauka of Piilani Highway are, for the most part, within the State Agriculture Use District. Large areas within the Urban Use District include part of the Research and Technology (R&T) Park, Silversword Golf Course and Maui Meadows Subdivision in Wailea.

3. Kihei-Makena Community Plan

The Kihei-Makena Community Plan (see Figure II-3 Maui County Kihei-Makena Community Plan) was adopted on June 24, 1980 as Ordinance No. 1052, mandated by the Maui County General Plan and Charter of Maui County (1977). The Maui County General Plan is guided by the Hawaii State Plan and sets forth the broad objectives and policies for the long-range development of the County.

The Community Plan provides a more detailed scheme for implementing these objectives and policies, as related to development within the specific Kihei-Makena region until the year 2000. The plan outlines the sequence, standards, and patterns of future developments.

The Community Plan does not specifically address the need for a new public library facility, except indirectly in a recommendation concerning

- iv. Increase opportunities for appreciation and participation in the creative arts, including the literary, theatrical, visual, musical, folk and traditional art forms.

2. State Land Use Designation

The State Land Use Commission regulates the use of lands through classification of land as either Urban, Rural, Agricultural, or Conservation. The intent of the land classification is to accommodate growth and development and to retain the natural resources of the area.

Any land use district boundary amendments would require a public hearing by the Maui Planning Commission, and review and final approval by the County Council.

A Special Use Permit would require Maui Planning Commission approval.

The major portion of the site selection area below Piilani Highway is within the State's Urban District (see Figure II-2 State Land Use Map). Pockets of Rural District land are located near Piilani Highway. The areas mauka of Piilani Highway are, for the most part, within the State Agriculture Use District. Large areas within the Urban Use District include part of the Research and Technology (R&T) Park, Silversword Golf Course and Maui Meadows Subdivision in Wailea.

3. Kihei-Makena Community Plan

The Kihei-Makena Community Plan (see Figure II-3 Maui County Kihei-Makena Community Plan) was adopted on June 24, 1980 as Ordinance No. 1052, mandated by the Maui County General Plan and Charter of Maui County (1977). The Maui County General Plan is guided by the Hawaii State Plan and sets forth the broad objectives and policies for the long-range development of the County.

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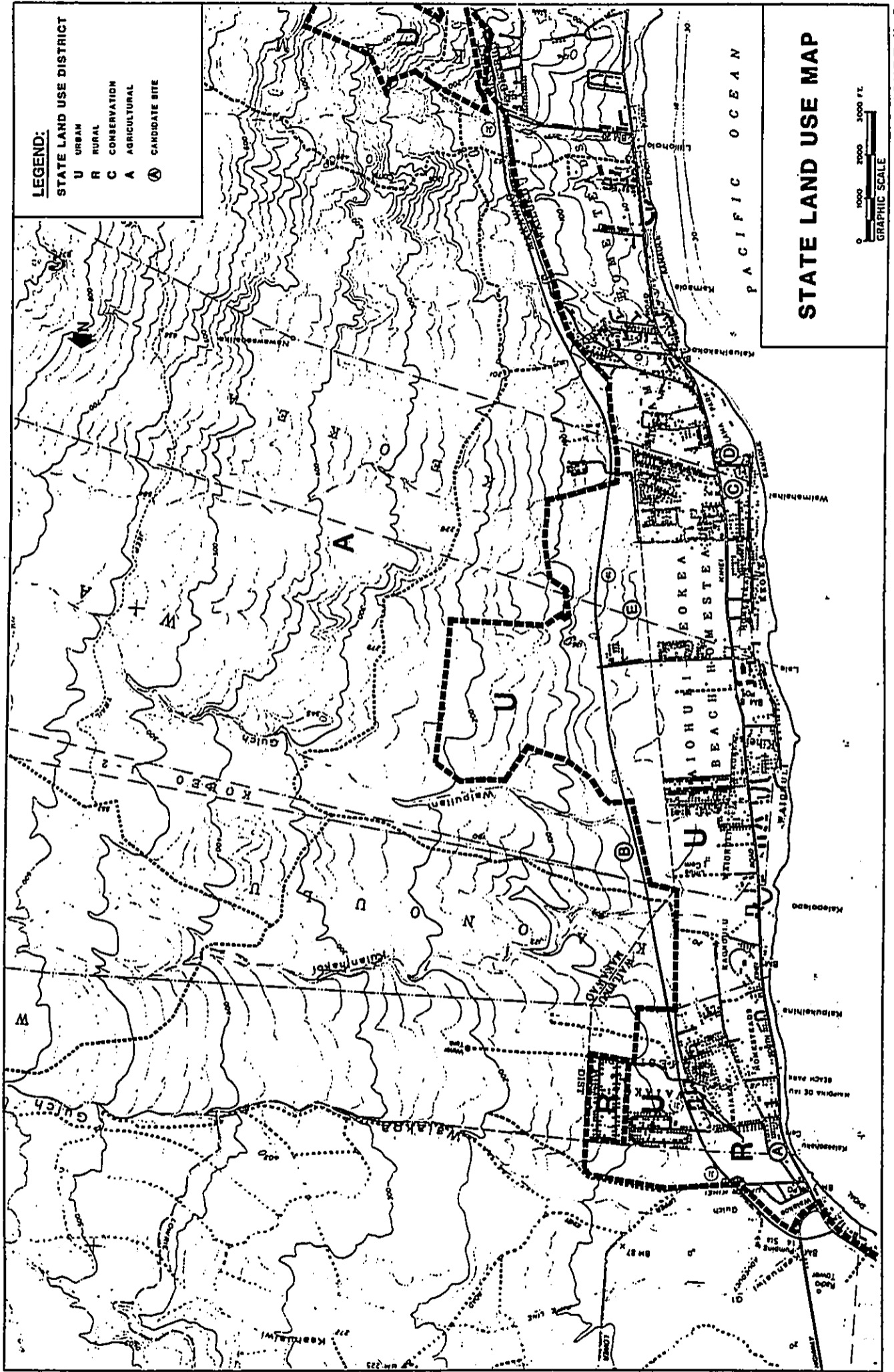
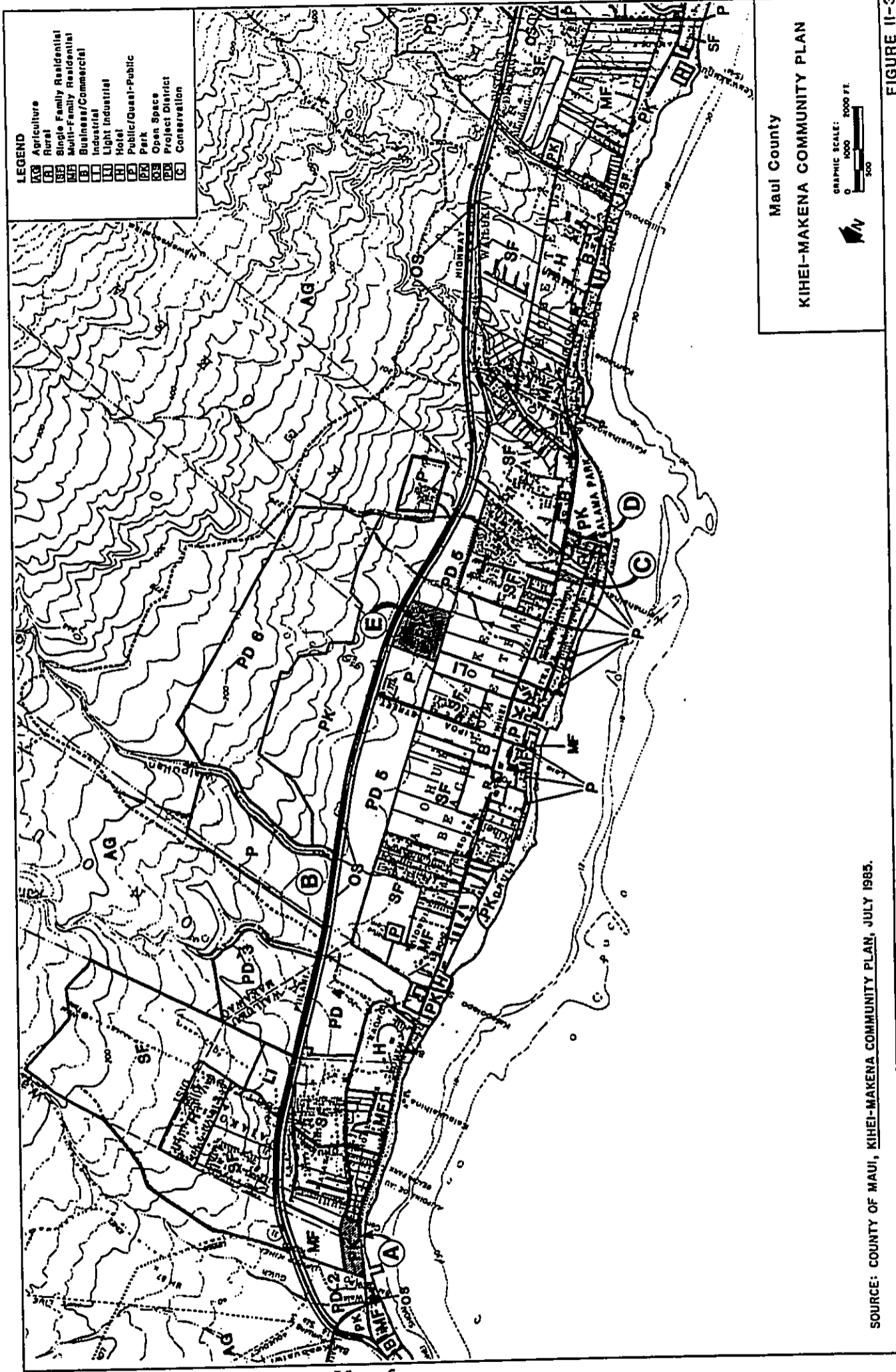


FIGURE II-2

11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100



SOURCE: COUNTY OF MAUI, KIHIKIHI-MAKENA COMMUNITY PLAN, JULY 1985.

FIGURE II-3

population. The recommendation of the Community Plan is to "coordinate all future developments with provisions for adequate services to ensure that infrastructure development and public services keep pace with defacto (total) population demands".

A Community Plan amendment would require a public hearing by the Maui Planning Commission, and review and final approval by the County Council. Consideration of the Community Plan's implementation plan were incorporated into the criteria used for selection of the library sites.

4. County Zoning

Maui County Zoning within the Kihei site selection area includes Residential, Multi-family, Hotel, Business, Industrial, Agricultural, and Civic Improvement Districts. A public library facility is specifically permitted within Hotel, Community Business (B-2), and Central Business (B-3) districts. A library is also a permitted use, though subject to interpretation, within Residential (R1, R2, & R3) and Multiple Family (A-1, A-2, Duplex) districts, falling under the category of a "State building for public use". A library is also similar to a school facility, which is a permitted use within a residential district.

The zoning districts for the selected candidate sites are shown in Section III.

5. Flood/Tsunami Hazard

The Federal Emergency Management Agency's Flood Insurance Rate Map (FIRM), panels 15003-0255B dated June 1, 1981 and 15003-0265C dated September 6, 1989, designates the Kihei shoreline as an area of 100-year coastal flood inundation with velocity. Base flood elevations and flood hazard factors have been determined for these Zone V10 and V18 areas (see Figure II-4 Flood/Tsunami Hazard Zones).

Further inland, low-lying areas are within the 100-year flood with depths between one and three feet. These areas of 100-year flood inundation are predominantly around the five streams which collect run-off from Haleakala's slopes: Kulanihakoi, Waipuilani, Keokea, Kamaole, and Liilihoholo. The majority of the Kihei area is within one of various Zone A designations. Projects on sites within a tsunami and/or flood

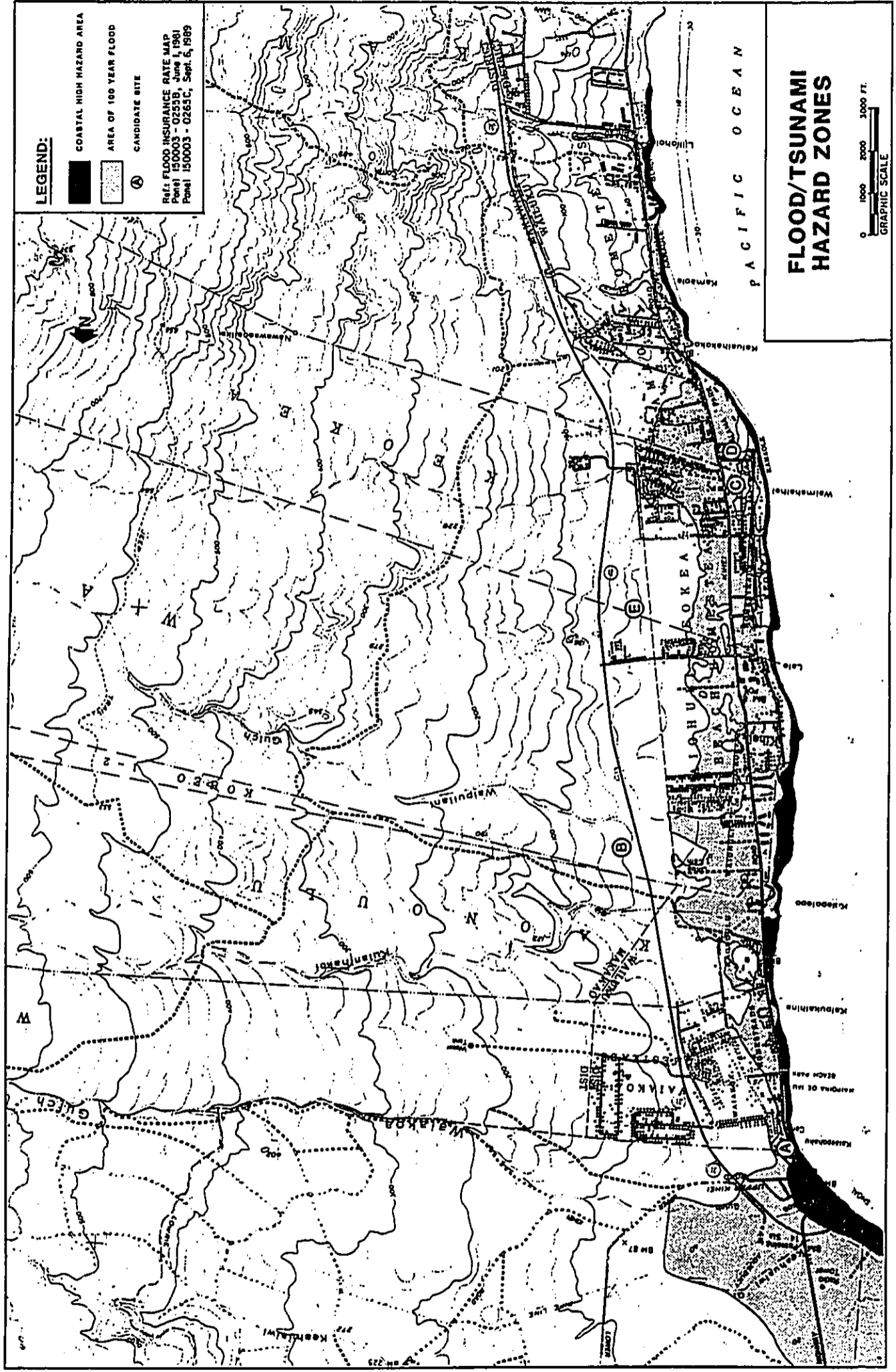


FIGURE II-4

zone must conform to County Ordinance 1145, pertaining to flood hazard districts.

Most of Kihei's rainfall is produced by high intensity Kona storms occurring during the winter months. These short duration storms occur only a few days of the year and tend to create flooding problems, covering low-lying areas both during and after the storm.

6. Underground Injection Control

The State of Hawaii, Department of Health's Underground Injection Control Program (July 6, 1984) delineates areas in which underground disposal may be permitted. In general, underground disposal is permitted in areas makai of the Underground Injection Control (UIC) line.

In Kihei, the UIC line generally runs along the 600 foot elevation contour, mauka of Piilani Highway. The entire site selection area is makai of the UIC Line where underground sewage disposal is allowed (see Figure II-5 - General Information Map). However, the area is within a proposed "critical wastewater disposal area", as designated by the Maui County Wastewater Advisory Committee, prohibiting use of cesspools as a means of disposal. The State Department of Health has also issued a blanket prohibition on private sewage treatment if there is no assurance that the project will eventually tie into the County system.

7. Special Management Area

The coastal areas within Kihei, from the shoreline to Piilani Highway, are within the County's Special Management Area (SMA) and are subject to Chapter 205-A of the Hawaii Revised Statutes as amended and Article II, Special Management Area Rules and Regulations of the County of Maui. (See Figure II-5).

The County regulates development of lands within the SMA through a review and permit process. Article II, Section 2-8 and 2-9 of the Special Management Area provides that "No development within the Special Management Area shall be approved unless the Authority has first found that:

(1) The development will not have any substantial adverse environmental or ecological effect except as such adverse effect is minimized to the extent

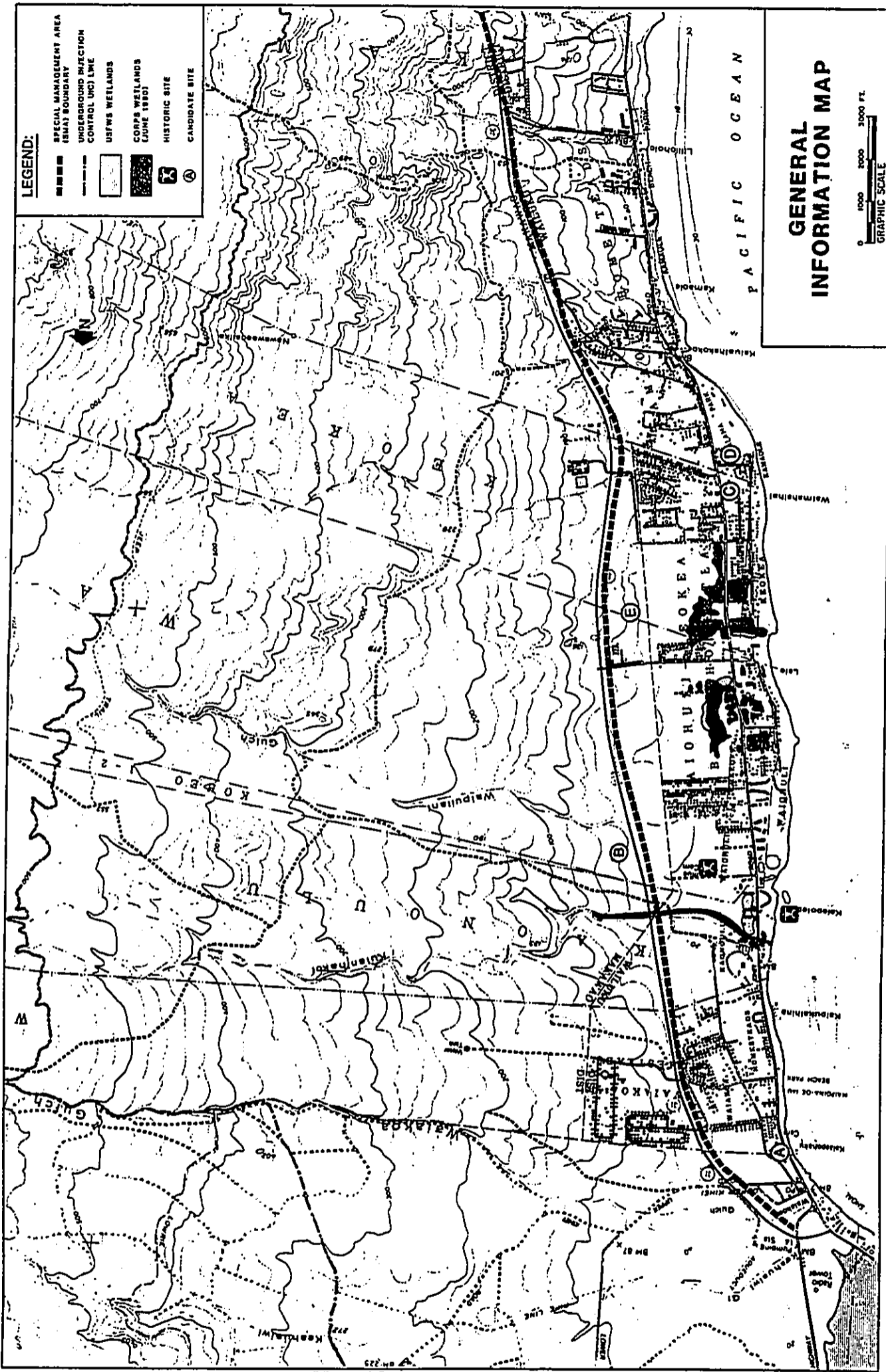


FIGURE 11-5

practicable and clearly outweighed by public health, safety, or compelling public interest. Such adverse effect shall include, but not be limited to, the potential cumulative impact of individual developments, each one of which taken in itself might not have a substantial adverse effect and the elimination of planning options.

(2) The development is consistent with the objectives and policies as enumerated in Chapter 205A, Hawaii Revised Statutes.

(3) The development is consistent with the county general plan, zoning, subdivision, and other applicable ordinances."

C. Infrastructure

1. Water

The island of Maui is served by five separate County water systems: Central Maui, Makawao, Kula, Hana, and Lahaina. In Fiscal Year 1987, water withdrawn for the Kihei-Makena Community Plan region from the Central Maui sources amounted to 7.08 million gallons per day (MGD) (Reference 5). The Central Maui Water System serves the Kihei area, Wailuku-Kahului, Sprecklesville, and Paia. Water is transmitted from wells and tunnels in the West Maui Mountains to Makena, through transmission lines running through the isthmus, along South Kihei Road, Piilani Highway, and Wailea Alanui Drive. Higher areas, such as the Kihei Heights and Maui Meadows subdivisions, are serviced by pump/reservoir systems.

2. Sewer

The County Public Works Department operates the Kihei Sewage Treatment Plant (STP) and sewer system in Kihei. The County's sewer main runs within South Kihei Road with branch mains extending mauka and makai of South Kihei to serve existing subdivisions. Sewage is transported to the Kihei STP by a combination of gravity sewer lines, pump stations, and force mains. All sites are within the County's service limits and will require connection to the public sewers, in accordance with Section 11-62-06(b) of the State DOH's wastewater rules.

The Kihei STP has a design capacity of 4.0 million gallons per day (MGD) and is located above Piilani Highway, south of the Silversword Golf Course.

Sewage from Kihei and Wailea is currently being treated at this plant.

The existing plant is operating at capacity and the County is currently expanding the existing Kihei STP to 6.0 MGD. Completion of the expansion is expected to be completed by mid-1991.

Maui County Ordinance No. 1787 allocated the 2.0 MGD expansion--1.2 MGD for long-term residential developments and the remaining 800,000 gallons for other uses. Sewage capacity is allocated according to the order of building permit issuance. The County cannot guarantee that sewage capacity will be available at the time of building permit application. The County Council has stated that they may waive the application of the ordinance if it is shown that the project will have a minimal impact on sewage flow, and is necessary to the public health, safety and welfare. It is anticipated that the facility will have minimal impact on the sewer system, but sewer requirements will need to be confirmed as design of the facility progresses.

The construction of the library will commence after the scheduled mid-1991 completion of the plant expansion. Should the expansion be delayed, temporary private sewage treatment may have to be considered. As stated earlier, the State Department of Health has issued a blanket prohibition on private sewage treatment, unless there is some assurance that the facility will be tied into the County system as capacity becomes available.

3. Drainage

Drainage within the Kihei area generally sheet flows from the mauka areas into one of the five natural gulches. The gulches empty onto low lying areas near South Kihei Road, causing most of Kihei to be submerged during Kona storms. The existing drainage system throughout Kihei consists of scattered unlined channels, drain lines, pipe or box culverts, and road side ditches. Masterplanned improvements, including lined channels, box culverts and outlets to the ocean, have not been constructed due to lack of funds.

Piilani Highway improvements consist of gutters, box culverts and bridge structures over the gulches.

4. Electrical/Telephone

Electrical power is supplied by Maui Electric, a subsidiary of Hawaiian Electric Co., Inc., for industrial and residential use on Maui (Reference 8).

Hawaiian Telephone Co. provides telephone service throughout Maui County.

5. Gas

Pipeline utility service is provided in Kahului and Wailuku by Gasco, Inc., a subsidiary of Pacific Resources, Inc. Other sections of Maui are served by tank and bottled propane (Reference 8).

6. Highway/Street Network

North Kihei Road and Mokulele Highway are two-lane highways connecting the Kihei area to West Maui, Wailuku, Kahului, and "Upcountry". North Kihei becomes South Kihei Road south of the Mokulele Highway intersection. South Kihei Road is a two-lane road which follows the coastline. Posted speed limits are between 20 to 30 miles per hour (mph).

Piilani Highway is a two-lane highway which runs parallel to and mauka of South Kihei road, beginning at North Kihei Road and terminating at Kilohana Drive. Posted speed limits on Piilani Highway are between 45 and 55 mph.

Piilani Highway and South Kihei Road are connected by minor roads running mauka-makai: Kilohana Drive, Keonekai Road, Kanani Road, Lipoa Street, Ohukai Street and Uwapo Road.

The Kihei Traffic Master Plan dated October 1989 was prepared by Austin, Tsutsumi and Associates, Inc. for the Department of Public Works, County of Maui. The plan included evaluations of the existing roadway network and provided recommendations for future improvements. The report stated that Piilani Highway is underutilized as a primary arterial highway. South Kihei Road, on the other hand has as much traffic, or sometimes more traffic, than Piilani Highway.

The proposed road master plan includes a hierarchical classification of roads as follows:

1. Piilani Highway -- Will ultimately be a high-capacity, limited access highway. Future plans are for a four-lane divided facility with grade-separated interchanges at major cross roads and restricted access at-grade intersections at minor roads.
2. South Kihei Road -- Planned to be improved from a two-lane undivided road to a four-lane secondary arterial with restricted driveway access.
3. Ka'ono'ulu Street, Welakahao Road and two new roads will be designated as major east-west connector roads between Piilani Highway and South Kihei Road.
4. A new North-South Collector Road will extend from Piilani Highway north of Mokulele Highway, to Kilohana Drive, opposite Wailea Alanui Drive.
5. Minor East-West Connector Roads were designated with restricted access at Piilani Highway-- Uwapo Road/Kaiwahine Street, Ohukai Road, Waipuiani Road, Lipoa Street, Kanani Road, and Keonekai Road.

D. Selection Area Environment

1. Existing Land Use

Land uses in Kihei are a mixture of single-family residential, multi-family residential, hotel and business/commercial.

Significant land uses are as follows:

Transportation Facilities (Kihei Boat Launching Ramp)

Shopping Centers (Azeka Shopping Center, Star Market)

Hotels (Seibu, Wailea)

Educational Facilities (Kihei Elementary School and Lokelani Intermediate School)

Recreational: (Reference 1)

Kihei Elementary School -- State, fields, courts, playground

Kalama Beach Park -- County, shoreline sports, picnicking, field sports

Kamaole Park I, II & III -- County, shoreline sports, picnicking

Kealia Pond -- State, wildlife refuge, nature appreciation

Wailea Golf Courses -- Private, golf courses

Wailea Tennis Center -- Private, tennis courts

Seibu Golf Course -- Private, golf course

Kihei Boat Ramp -- State, launching ramp, parking

Kihei District Park -- County, fields and courts, playground

Silversword Golf Course -- Private, golf course

2. Land Ownership

As of Fall 1988, of Maui's 448,170 acres, 70.8% of the land was privately owned, 22.8% was owned by the State government, 6% was owned by the Federal and the remainder, by the County of Maui (Reference 10).

The majority of the property within the study area is privately owned and in residential or hotel use.

3. Climate

Kihei is located on the south side of the island of Maui, in the rain shadows of Haleakala and the West Maui mountains. Temperatures range from an average minimum of 62 degrees F in February to an average maximum of 90 degrees F in July. Average annual precipitation is less than 15 inches per year (Reference 15).

Winds are generally from the northeast except during the winter months when storms are usually accompanied by south winds. The Kihei-Makena shoreline areas are also subject to unpredictable local winds from Kalama Park to Cape Kinau. These winds are created as the trades increase in velocity as they travel between the West Maui

Mountains and Haleakala and meet the eddy current of the trades deflected along the southeast slopes of Haleakala.

4. Flora

The zonation of plants is closely related to climatic factors. The most important climatic factor for elevations below 5000 feet is average annual precipitation (Reference 15).

The predominant vegetation zone within Kihei is made up of kiawe and lowland shrubs. Characteristic vegetation within this zone includes kiawe, koa haole, finger grass and pili grass. Pili grass is a native Hawaiian species. There are no known endangered species of flora within the Kihei area (Reference 15).

Residential areas are planted with fruit trees, vegetable gardens, common landscaping trees, bushes, and ornamental plants.

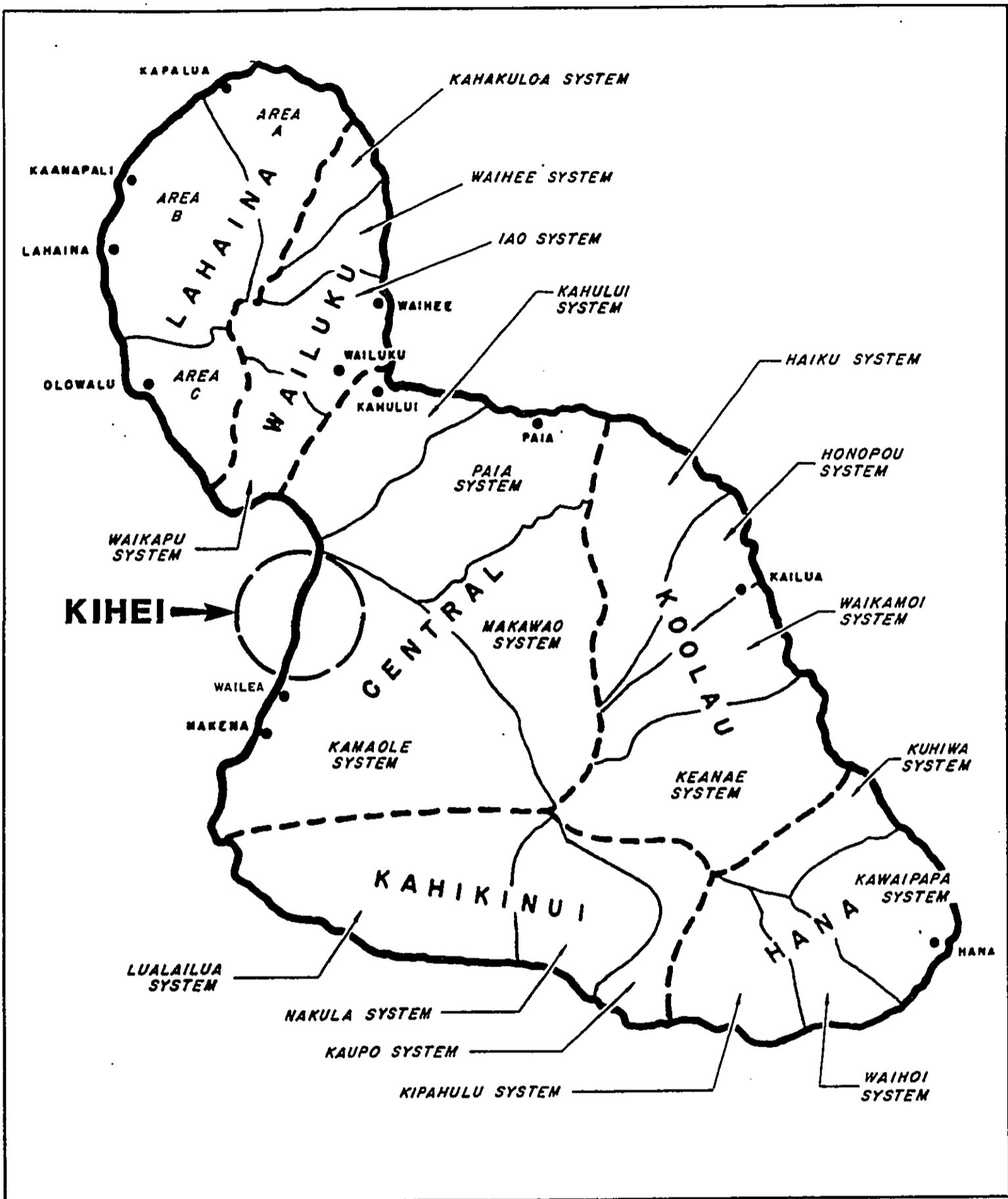
5. Fauna

Mammals common to the island of Maui include the bat, axis deer, dog, goat, mongoose, pig, cat, mouse and rat. Birds which are associated with the prevalent vegetation type in Kihei (xerophytic forest, shrub land and grass land) include the cardinal, barred dove, spotted dove, mockingbird, golden plover, pueo, ricebird, and white eye. Of these birds, all but the native Hawaiian pueo and the indigenous golden plover, are introduced species (Reference 15).

6. Geology/Hydrology

Maui is made up of two separate volcanoes with a connecting isthmus formed by the flows of both. The West Maui Mountains is the older of the shield volcanoes and has valleys and peaks carved by numerous streams. The younger volcano, Haleakala, is a giant dome with the classic rounded form of a shield volcano.

East Maui is divided into four aquifer sectors. Kihei is within the Central Sector, which starts within the isthmus and extends to the northwest and southwest rift zones of Haleakala (See Figure II-6 Hydrology - Central Aquifer Sector). The Central aquifer sector is the most developed groundwater site in East Maui (Reference 5).



**AQUIFER CLASSIFICATIONS
FOR ISLAND OF MAUI**

Andesitic rocks of the Kula volcanic series and basaltic rocks of the Hana volcanic series make up the surface of East Maui. These formations overlay the oldest formation -- the Honomanu volcanic series, which is also the "premier" aquifer formation for East Maui (Reference 5).

7. Soils

The predominant soils within the area belong to the Pulehu-Ewa-Jaucas association, characterized as deep, nearly level to moderately sloping, well-drained and excessively drained soils. These soils have a moderately fine- to coarse-textured subsoil or underlying material and are commonly found on alluvial fans and in basins (Reference 14).

Soil near Piilani Highway belongs to the Waiakoa-Keahua-Molokai association. These low upland soils are moderately deep to deep and nearly level to moderately steep. The soils are well-drained and overlie a moderately fine textured subsoil (Reference 14).

Agricultural lands have been classified by the Land Study Bureau, with designations A to E. Small pockets of type A and B soils, which are suitable for agriculture, are found in Kihei. Most of these areas are located near Kealia pond, where alluvium has deposited.

Classification of soil types found within each of the selected sites is included in Section IV.

8. Wetlands

The U. S. Fish and Wildlife Service's (USFWS) "National Wetlands Inventory Map" identifies wetlands within the Kihei area. The most prominent area is the Kealia Pond near Kihei's north end. Major areas are shown on Figure II-5.

The Corps of Engineers conducted a reconnaissance survey of wetlands in Kihei in June 1990. Based on the survey findings, a generalized wetland location map was prepared and issued as a "Special Public Notice, Kihei, Maui, Wetland Locations" dated 24 July 1990. The wetlands and one drainageway, Waipuiani Gulch, which are under the Corps' regulatory jurisdiction, are shown on Figure II-5. Under Section 404 of the Clean Water Act, a permit from the Corps is required to discharge dredged or fill material into designated wetlands or the drainageway. Consultation with the Corps is recommended prior to development of

these areas within Kihei for more detailed wetland boundary delineation.

9. Archaeological/Historical Sites

There are no known sites listed on the National Register of Historic Places in the selection area. However, there are two archaeological sites listed on the State Register-- Pond site near TMK 3-9-01:85 (Site #1288) and an old church located on TMK: 3-9-01:12 (see Figure II-5).

10. Scenic Characteristics

The predominant scenic feature in the Kihei area is the panoramic ocean view, including views of the islands of Kahoolawe, Lanai and Molokini. The gentle slopes of Haleakala provide a backdrop to Kihei town and the West Maui Mountains can be seen in the distance as one looks towards Maalaea.

11. Topography

The lowlands of the Kihei area, from the coast to Kihei Road, are at elevations between 5 to 6 feet above Mean Sea Level (MSL). Between Kihei Road and Piilani Highway, the slopes of Haleakala gently rise (approximately 5%) from 5 feet to 90 feet MSL. The gentle slope accounts for the numerous gullies and poorly defined surface drainage pattern (Reference 7).

E. Socioeconomic Characteristics

1. Population

Residential population on the island of Maui grew 3.3% from July 1, 1987 to 84,200 as of July 1, 1988. The resident population in Kihei as of the 1980 census was 5,644. In 1988 the two largest population centers on Maui were Kahului (12,978 persons) and Wailuku (10,260 persons) (Reference 10).

The Kihei-Makena Community Plan recommends the use of a projected year 2000 resident population of 22,900 persons, for planning purposes. The actual population of the Kihei area will probably be higher due to unprecedented growth being experienced in the area.

2. Employment and Income

The annual average job count in 1988 for Maui County reflects the major role the tourism

industry plays in the Island's economy. There were 47,100 jobs in Maui as of 1988, roughly 9.0% of the State's total. Jobs within the hotel industry accounted for 17.30% (8,150 jobs) as compared to approximately 6.2% (2,550 jobs) employed by sugar, pineapple and other agriculture industries.

In 1988 the island of Maui had an annual average unemployment rate of 3.0% (1,450 persons) and the County of Maui had a 3.3% unemployment rate. The State's unemployment rate averaged 3.2% in 1988. The State's average annual earnings of workers under the Hawaii Employment Security Law averaged \$20,454 in 1988, and Maui County workers averaged \$18,032 (Reference 10).

3. Public Services

Major public facilities within the service area are discussed below:

a. Recreation

Public parks within the area:

Kihei Elementary School Park
Kalama Beach Park
Kamaole Parks I, II, III
Kihei District Park

b. Schools

Educational facilities within Kihei include the Kihei Elementary and Lokelani Intermediate schools. Enrollment in 1988 for Kihei Elementary was 1013 and for Lokelani Intermediate was 268. The Department of Education projected an enrollment of 1332 for Kihei Elementary and 440 for Lokelani Intermediate in 1994 (Reference 11).

c. Police Protection

Police protection for the proposed Kihei Public Library will be provided by the County Police Substation.

d. Fire Protection

Fire protection for the proposed facility will be provided by the Maui County Fire Station located on Kihei Road near Kalama Park.

e. Health Care Facilities

Health care on Maui is provided by general hospitals in Wailuku, Hana, and Kula. In 1987, 153 acute beds were available (Reference 1).

f. Transportation

Ground

Facilities for ground transportation in Kihei include the State's two-lane roads, Piilani Highway and South Kihei Road, interconnected by minor streets. These arterials link Kihei to Lahaina, Wailuku, Kahului, and Makena.

No bus service is available in Kihei.

Ocean

Kahului Harbor is a deep-water harbor with container freight facilities. It is the island's only State commercial harbor.

Kihei Boat Launching Ramp, located near Kamaole Beach Park, is a State facility providing parking and launching facilities for small boats.

Air

The island of Maui is served by the State's Kahului Airport which can accommodate scheduled commercial airline flights as well as general aviation and general cargo. The airport is currently being enlarged to handle increased passenger traffic.

III. IDENTIFICATION OF POTENTIAL SITES

A. Site Selection Methodology

The site selection process involves two steps. The initial step of the site selection process involves the preliminary identification of areas warranting study, based on a set of minimum evaluation criteria. The criteria includes size and shape; consistency with land use plans, policies, and controls; accessibility; existing land development; compatibility with future developments; and tsunami and flood hazards.

The site selection area was limited to the Kihei community, between the area mauka of Piilani Highway and the area makai of South Kihei Road. Although Kihei proper generally extends from Mokulele Highway to Kilohana Drive, the service area extends to include Maalaea, Makena, and Wailea. Because the major concentration of residential population lies within Kihei, the site selection area was limited to Kihei proper.

The site selection area was first screened for potential sites. Lots selected in the initial screening met the basic criteria of having existing access, and were 2 acres or larger. Lots completely within a Coastal High Hazard District or within an area traversed by a gulch (without a completed detailed flood study), were not considered. Due to the high price of real estate within the Kihei area, lots within multi-family or hotel designated areas were not considered, with primary emphasis placed on identifying publicly-owned areas with P or PK designations.

A set of minimum criteria was then used to reduce the field of potential sites. The advantages and disadvantages of each site were evaluated to provide the basis for comparing the sites.

B. Minimum Criteria

A set of minimum criteria reflecting general site requirements and physical land development constraints was used to screen potential sites for further evaluation as candidate sites. The following set of minimum criteria was utilized:

1. Tenant displacement

The site should be developable with minimal disruption to the existing community. Displacement of existing residences, businesses or public uses is undesirable.

2. Wetlands

The site should not be within an identified wetlands area, as determined by the U.S. Fish and Wildlife Service and the U.S. Army Corps of Engineers.

3. Location

The site should be visible from a main road or located near a well-known town "landmark".

4. Planned Developments

Sites should not be located on land where there are known developments planned (for example, single-family or multi-family housing developments, or County master-planned roadways). Information regarding planned developments was obtained from various County and State agencies.

5. Subdivision

For privately owned land larger than two acres, the land should be of such size and shape that subdivision of a 2-acre portion would not be a "problem" (i.e. result in creation of an undevelopable or unsaleable remnant parcel for the land owner).

C. Potential Sites

A total of 23 sites were initially considered as potential sites for the Kihei Public Library (see Figure III-1 Kihei Area Map and Appendix A for listing). Six sites were found to meet all minimum criteria and were selected for further consideration as candidate sites. Table III-1 summarizes the rating of each potential site as "good" or "poor" for each criteria.

The Research and Technology (R&T) Park met the selection criteria and was initially selected as a candidate site. Consideration of the site was also based on preliminary site selection efforts by the Kihei Community Association in the later 1980's and discussions documented in the feasibility study prepared for the R&T Park. At that time, those discussions favored a public library with a specialty collection (technology-based) supporting the R&T Park activities and the Kihei public.

The facility presently proposed is a community-type library with a collection for the general public. Because a community library is not in line with the research and technology-oriented character of the park,

Table III-1. Minimum Criteria Ratings for Potential Sites

+ (acceptable)
 - (unacceptable)

Site	Minimum Criteria					Candidate Site
	1 Tenant Displacement	2 Wetlands	3 Location	4 Planned Dev.	5 Subd.	
1	+	+	+	+	N/A	Yes
2	+	+	+	+	N/A	Yes
3	+	+	+	+	+	Yes
4	-	+	+	+	-	
5	+	+	+	-	N/A	
6	+	+	+	+	-	
7	+	+	+	+	-	
8	-	+	+	-	-	
9	+	+	+	-	-	
10	+	+	+	-	-	
11	+	+	-	+	+	
12	+	+	+	-	-	
13	+	+	+	+	-	
14	+	-	+	+	N/A	
15	-	+	+	-	-	
16	+	-	+	+	-	
17	-	+	+	+	+	
18	+	+	+	+	+	Yes
19	+	+	+	+	N/A	Yes
20	+	+	+	-	-	
21	+	+	+	-	-	
22	+	+	+	+	-	
23	+	+	+	+	N/A	Yes

Table III-2. Description of Candidate Sites

<u>Location</u>	<u>Ownership</u>	<u>TMK</u>	<u>Area (Acres)</u>
<u>Site A</u>			
Kihei Community Complex	State of Hawaii (County of Maui- Exec. Order 2958)	3-9-06:11	2.0 min.
<u>Site B</u>			
Future County Civic Center	Haleakala Ranch Co.	2-2-02:por.54	2.0 min.
<u>Site C</u>			
Waiohuli Beach Homesteads	Edward M. & Joan C. Tamori	3-9-11:18	2.3
<u>Site D</u>			
Adjacent to Kalama Park	State of Hawaii (County of Maui- Exec. Order 3058)	3-9-12:13	1.93
<u>Site E</u>			
Adjacent to Kihei School min..	Haleakala Ranch Co.	2-2-02:por. 42	2.0

the R&T Park directors requested that the site be eliminated from further consideration as a library site.

The site was eliminated from the list of candidate sites in consideration of their request and also noting the disadvantage of its relatively distant location from Kihei proper. The study will, therefore, discuss the evaluation of the five remaining candidate sites.

A more detailed evaluation of the five candidate sites was made in Section IV, concerning soils and topography, adequacy of infrastructure, traffic, archaeology, building site criteria, community criteria and cost considerations.

D. Description of the Candidate Sites

The five candidate sites are listed on Table III-2.

1. Candidate Site A -- Kihei Community Complex.

The site is at the entrance to Kihei, between South Kihei Road and Kenolio Road near Uwapo Road (See Figure III-2 Candidate Site A-Location Map). The 4.4 acre site, often referred to as "Old Kihei School" or the "Kihei Community Complex", presently houses the existing Kihei Library Station, Youth Center, restroom, volleyball and basketball courts, Department of Parks and Recreation office, and meeting halls. The property is surrounded by single-family and multi-family uses and Project District 2 (a commercial project).

The site is owned by the State of Hawaii and is used by the County of Maui, Department of Human Concerns as a "Recreation Center Site" under Executive Order 2958. Current County zoning is for Park use. The State Land Use designation is urban and the Kihei-Makena Community Plan designation is for park use.

The site is currently landscaped with grass, shrubs, trees and concrete sidewalks. Structures are single-story and of concrete masonry unit and wooden construction.

Off-street parking stalls are situated along the site's South Kihei Road frontage.

The site is connected to an 8" sewer line in Kenolio Road. Water service is provided by a 2" line along its south boundary and a 6" line along South Kihei Road. However, water system

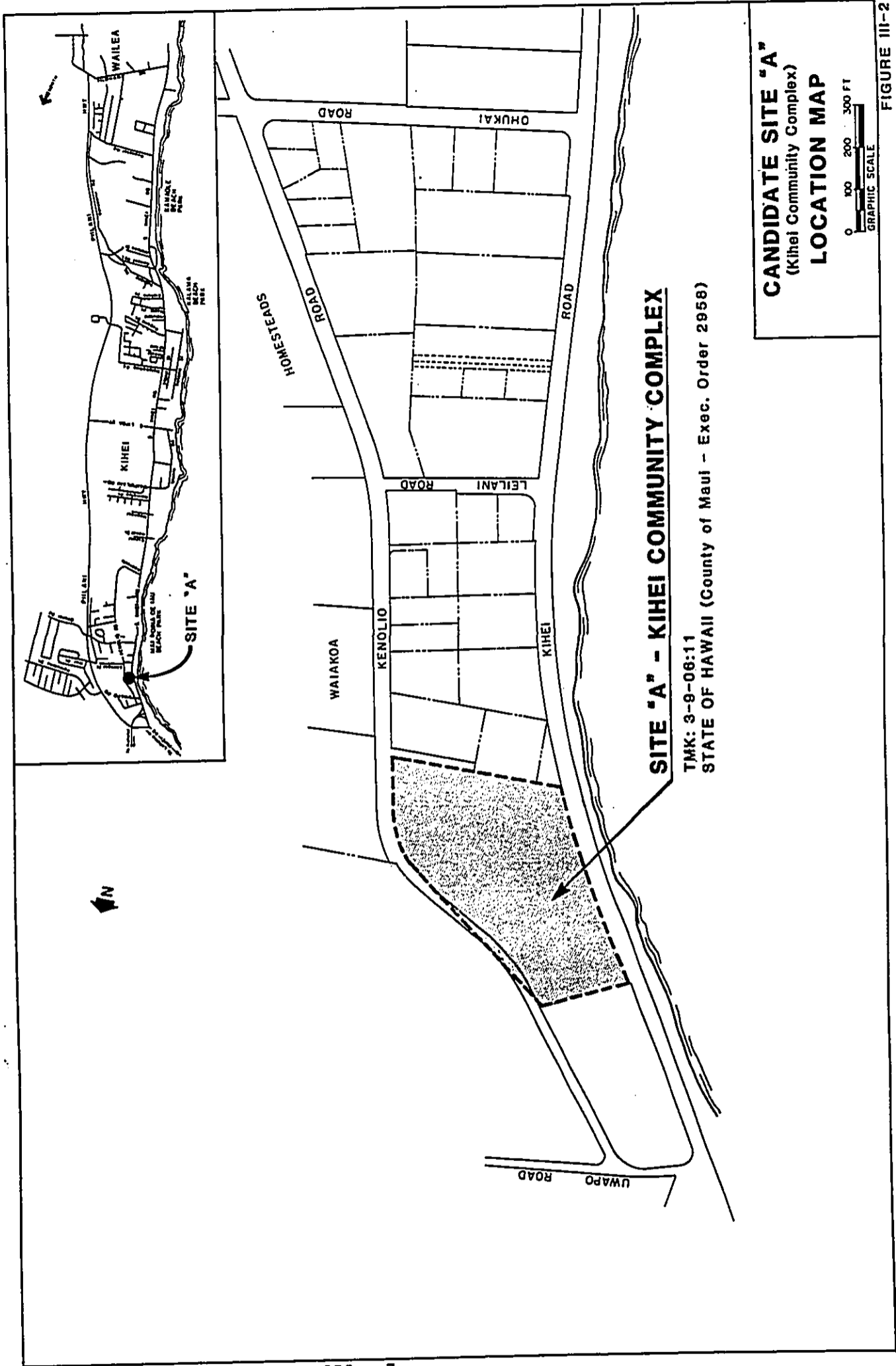


FIGURE III-2

improvements to provide fire protection will likely be required.

The site is within the County's Special Management Area (SMA), requiring an SMA permit for all proposed improvements.

The site is at an approximate elevation of 7 feet above Mean Sea Level (MSL). The makai portion (approximately one-fifth) of the site is within the Coastal High Hazard District, an area of 100-year flooding with velocity hazards (Zone V18). The mauka portion is within the Flood Fringe District. The area is designated Zone A4, an area of 100-year flooding with base flood elevations ranging from 11.0 feet MSL (along Kenolio Road) to 12.0 feet MSL (along South Kihei Road). A Dept. of the Army permit would not be required for project construction.

The site is located outside of any wetland areas as designated by the Army Corps of Engineers or the U.S. Fish and Wildlife Service.

If this site is selected, it is recommended that the facility be located approximately 80 feet mauka of South Kihei Road, outside of the Coastal High Hazard District. Construction within the Flood Fringe District will require that the lowest habitable floor be elevated to or above the regulatory flood elevation.

Onsite drainage presently sheet flows across the site towards a low point in its northwestern corner adjacent to South Kihei Road.

The site was selected as a candidate due to its relatively flat terrain, its dual access from both Kenolio and South Kihei Roads, and recognition of the site as the present location of the Kihei Library.

The site is reserved for open park space and recreational use by Executive Order 2958. The County has plans for additional park facilities north of the site, contributed by the developer of the Aina Kihei townhouse development along Kenolio and Uwapo Roads. Along with the park improvements, the developer will be realigning and widening a portion of Kenolio Road (See Figure III-3 Candidate Site A - Planned Developments). Approximately 780 feet of County standard road (56 foot right-of-way, curb, gutter, and sidewalk) will be constructed mauka of the existing two-lane road. The road alignment appears to be in

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

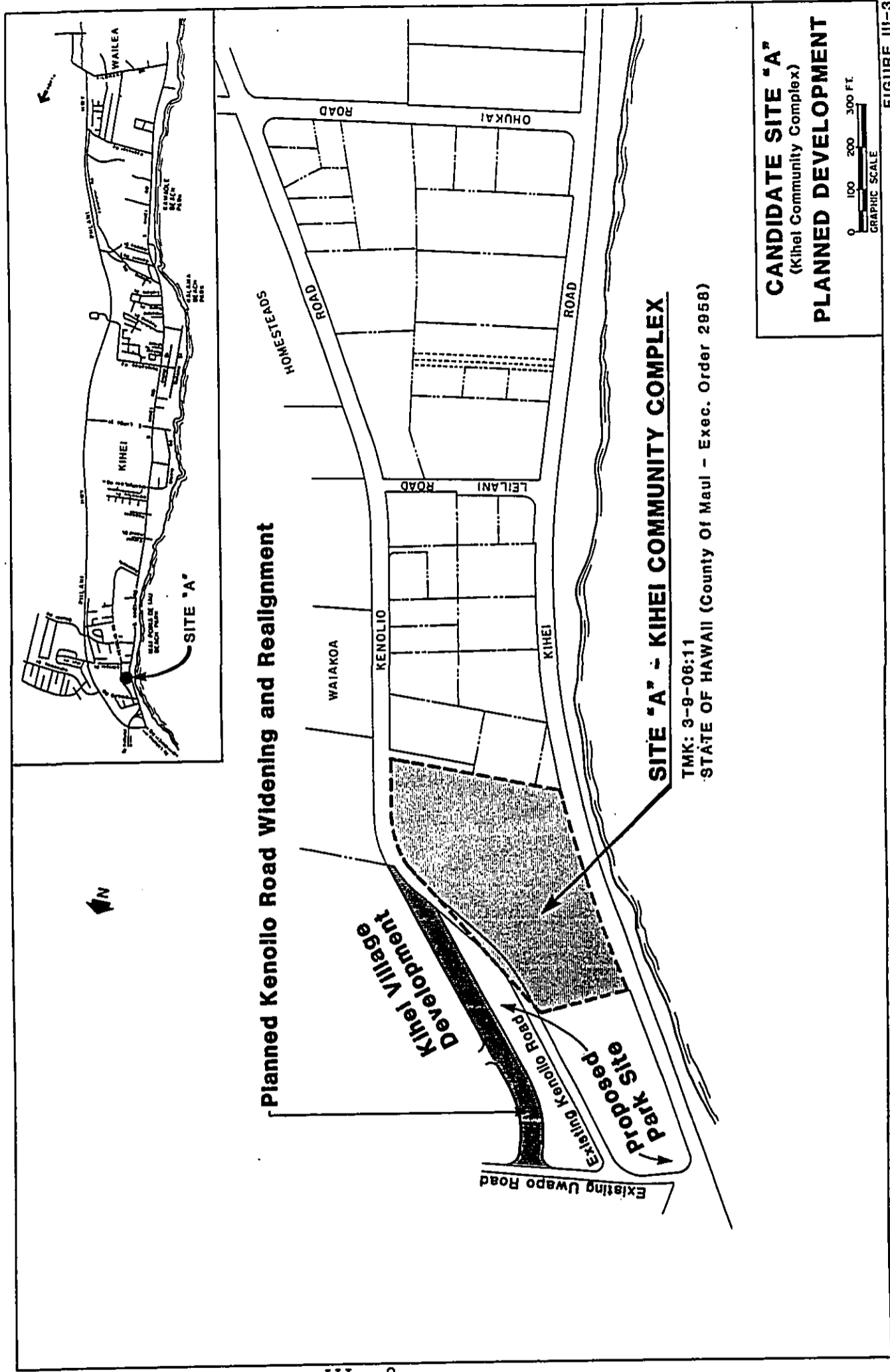


FIGURE III-3

accordance with the North-South Phase I roadway proposed in the Kihei Traffic Master Plan. With the proposed roadway improvements, drainage above Kenolio Road will be collected in catch basins and drainlines connected to an existing 8' x 3' box culvert crossing under South Kihei Road into the ocean.

Both Kenolio Road and South Kihei Road are 40' road rights-of-way. The County has stated that a minimum 56' right-of-way is to be improved along county roads. The County would require that Kenolio Road be widened to a 56' right-of-way along the site's frontage (approximately 250 feet). Widening would also be required along South Kihei Road. Minimum improvements include County Standard concrete curb, gutter and sidewalk. Underground utilities would also have to be relocated, as required, to comply with the widened rights-of-way.

The County does not have any immediate plans for building additional facilities within the Kihei Community Complex. The optimum site for the new library would be in its existing location, requiring demolition of the existing concrete masonry unit and wood structure. Meeting halls and restrooms would need to be relocated in another facility. The 2 acre site required by the new facility would also require removal of the existing open grassed area and paved basketball court. Selection of this site would require coordination and concurrence with the County on the joint-use of the property.

The surrounding area is presently characterized by open space, but lots mauka of Kenolio Road are zoned for multi-family and single-family homes. The area is already experiencing development as the demand for housing in Kihei increases.

2. Candidate Site B -- Future County Civic Center.

The future County Civic Center is located mauka of Piilani Highway and adjacent to Waipuilani Gulch. The site is currently unoccupied and is covered with brush. The parcel (TMK: 2-2-02: por. 54) is presently owned by Haleakala Ranch Co. The County is currently negotiating with Haleakala Ranch (Baldwin Pacific) for use of a 5 acre site for a police and fire substation (see Figure III-4 Candidate Site B - Location Map).

The Kihei-Makena Community Plan designation is for public (P) use. The State Land use classification

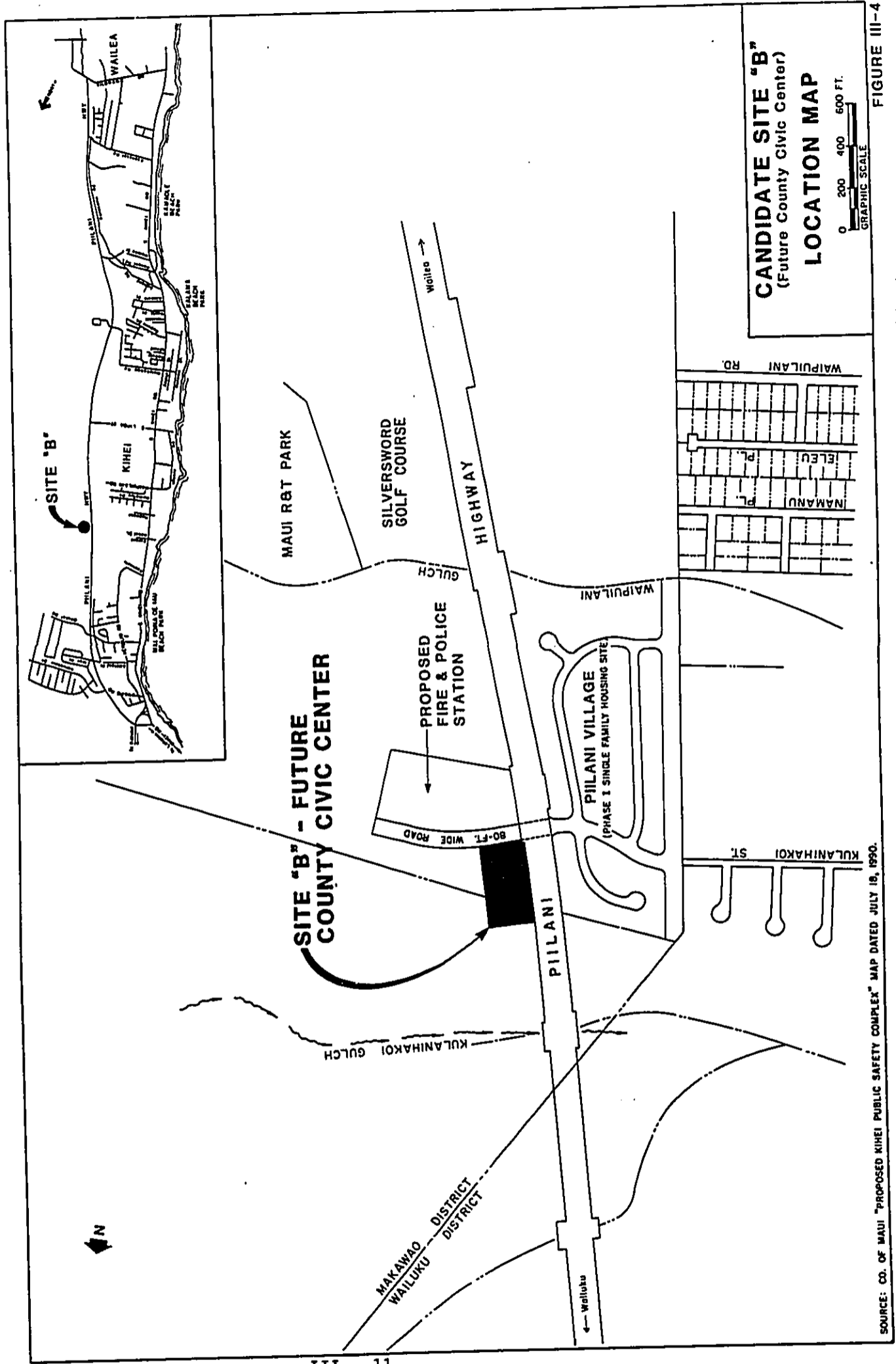


FIGURE III-4

and County zoning are for agricultural use. A Special Use Permit or State land use district boundary amendment would be required. County rezoning from agricultural to public use would also be required. The site is outside of the County's SMA and will not require an SMA permit for project construction.

Based on the FIRM, the site is within Zone C, an area of minimal flooding. A Dept. of the Army permit will not be required for project construction.

The site is not within a Corps or U.S. Fish and Wildlife Service designated wetland.

Sewer lines are unavailable along Piilani Highway. The nearest County sewer is approximately 700' makai of Piilani Highway.

The nearest County water line (a 36" transmission line) is located approximately 900 feet north of the site. No water lines along Piilani Highway are available for connection.

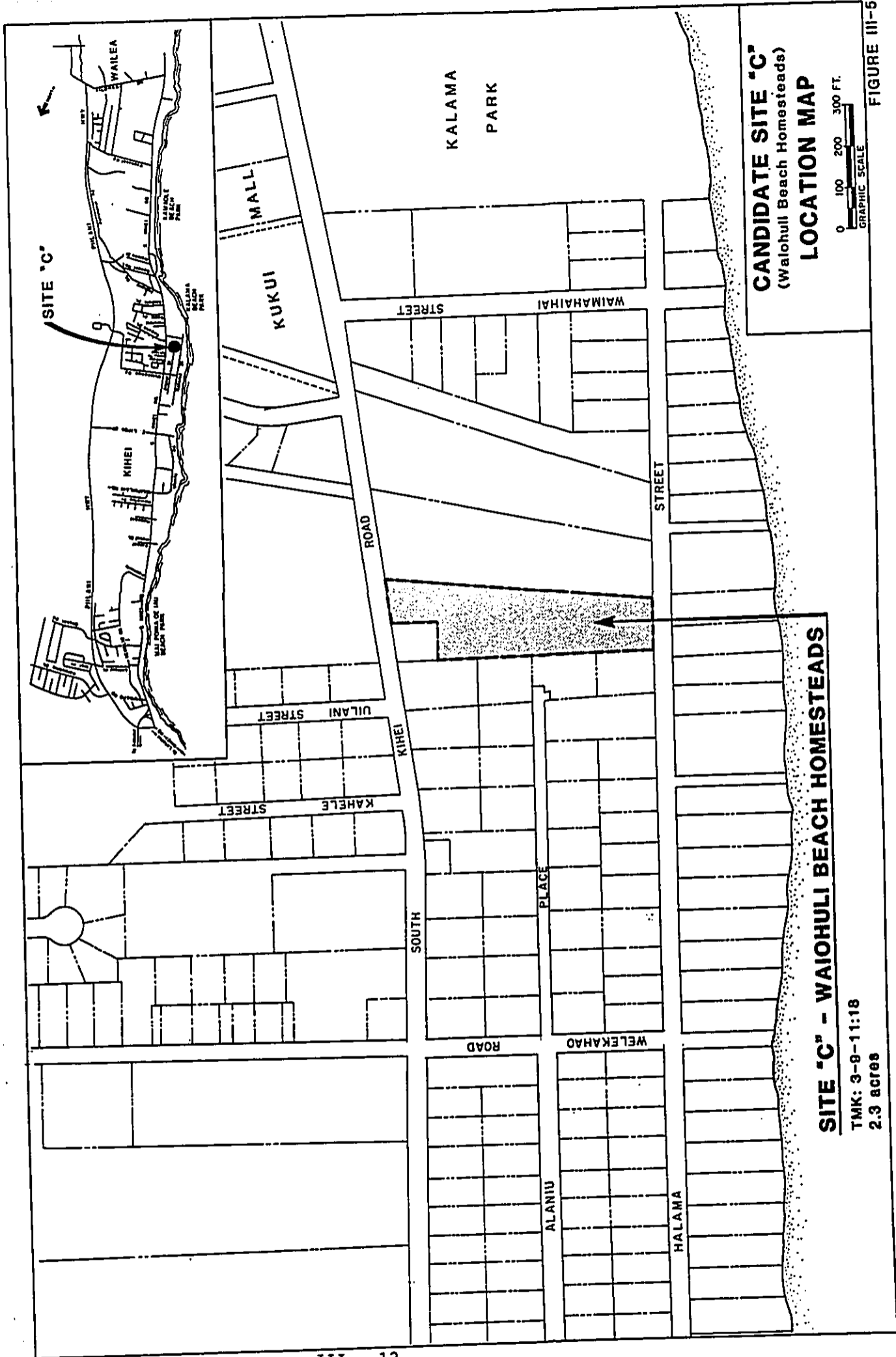
The nearest development is located north of the site-- the Silversword Golf Course. Planned developments within the vicinity include the Research and Technology (R&T) Park, mauka of the Silversword Golf Course, and the Baldwin Pacific development, makai of Piilani Highway. Agricultural uses are also located nearby.

Access would be from the heavily used Piilani Highway, which would provide ready vehicular access, but which does not easily accommodate left turn movements and pedestrian traffic to and from the library. The proposed County Fire and Police Station will provide an 80' road right-of-way intersecting Piilani Highway which may be used to access the library site depending on project scheduling.

3. Candidate Site C -- Waiohuli Beach Homesteads

The 100,612 square foot (2.31 acres) site in the heart of Kihei town, is a privately owned lot within Waiohuli Beach Homesteads, identified as TMK: 3-9-11:18. South Kihei Road runs along its mauka boundary and Halama Street runs along its makai boundary. The parcel is surrounded by single-family residential uses (see Figure III-5 Candidate Site C - Location Map)

The lot is relatively flat and irregular in shape,



due to a 10,000 square foot lot (TMK: 3-9-11:58) carved out of its corner along South Kihei Road. The lot is presently vacant and overgrown with grass, shrubs, and mature coconut, kiawe, and ironwood trees. The adjacent lot on its northern boundary is similar in size and shape and has several homes scattered on the parcel.

The area is zoned by the county for residential use (R-3). The County Zoning code does not specifically state that a library is a permitted use within residential zoning. This, however, is subject to interpretation, since a library seems to fall into the general permitted use for "State buildings for public use" and is also in line with the permitted use for a school.

Rezoning action is not anticipated to be required. The Kihei-Makena Community Plan designates the area for single-family use. A community plan amendment would be required to revise the designation to public use.

The site is within the State Land Use Urban District. A boundary amendment would not be required.

The upper one-third of the site and a small area along Halama Street are located within a Flood Fringe District (Zone AH) with a base flood elevation of 7 feet MSL. A narrow portion of the site along South Kihei Road is within zone AO with an average depth of inundation of 1.0 feet. The remaining area is within Zone C, area of minimal flooding. A Dept. of the Army permit will not be required for project construction.

The site is not within a Corps or U.S. Fish and Wildlife Service designated wetland.

The entire site is within the County's SMA and will require an SMA permit review.

Both South Kihei Road and Halama Street provide for two lanes of traffic with no shoulder improvements. South Kihei Road is a 50' right-of-way and Halama Street is a 40' right-of-way. The County has stated that it will require that existing roadways be widened to a minimum of 56' and must be improved with County Standard concrete curb, gutter and sidewalks. The project would have to provide approximately 110' of improvements along South Kihei Road and 130' of improvements along Halama Street. Underground utilities would also have to be relocated, as required, to comply

with the widened rights-of-way.

The site is served by an 8" sewer line within Halama Street. 6" County water lines exist in Halama Street and South Kihei Road. However, water system improvements to provide fire protection will likely be required.

The site was selected because of its central location, approximately three-fourths of a mile north of Lipoa Street, and dual access off of South Kihei Road and Halama Street. The site is under single ownership and is presently vacant.

4. Candidate Site D -- Adjacent to Kalama Park.

The 1.93 acre site (TMK: 3-9-12:13) is owned by the State of Hawaii and is reserved for use by Maui County as an "Addition to Kalama Park" under Executive Order 3058. The site is located in the heart of Kihei Town between Kalama Park's southern boundary and Waimahaihai Street (see Figure III-6 Candidate Site D - Location Map). The County Fire Station is located on the site's mauka boundary, directly below South Kihei Road.

The County's Kihei-Makena Community Plan designates the site for public/quasi-public use (P). The site is within the State Land Use Urban District. The County Zoning is currently for park use. However, the County has stated that the intended zoning will be Public/Quasi-public within which a public library is a permitted use. The lot is within the County's SMA, requiring an SMA permit for project construction. The site is below the State's UIC line.

The majority of the lot is within an area of 100-year shallow flooding. Along Waimahaihai Street the site is within Zone AH (with a flood elevation of 7 feet above MSL). Near Kalama Park the site is within Zone AO (flood depth of 1 foot). A small portion of the site is within Zone C, area of minimal flooding. A Dept. of the Army permit will not be required for project construction.

The site is not within a Corps or U.S. Fish and Wildlife Service designated wetland.

The site is undeveloped and overgrown with mature kiawe trees. The vicinity is generally "mixed use", consisting of residential homes and a plant nursery along Waimahaihai Street, businesses mauka of South Kihei Road, and Kalama Park and the County Fire Station adjacent.

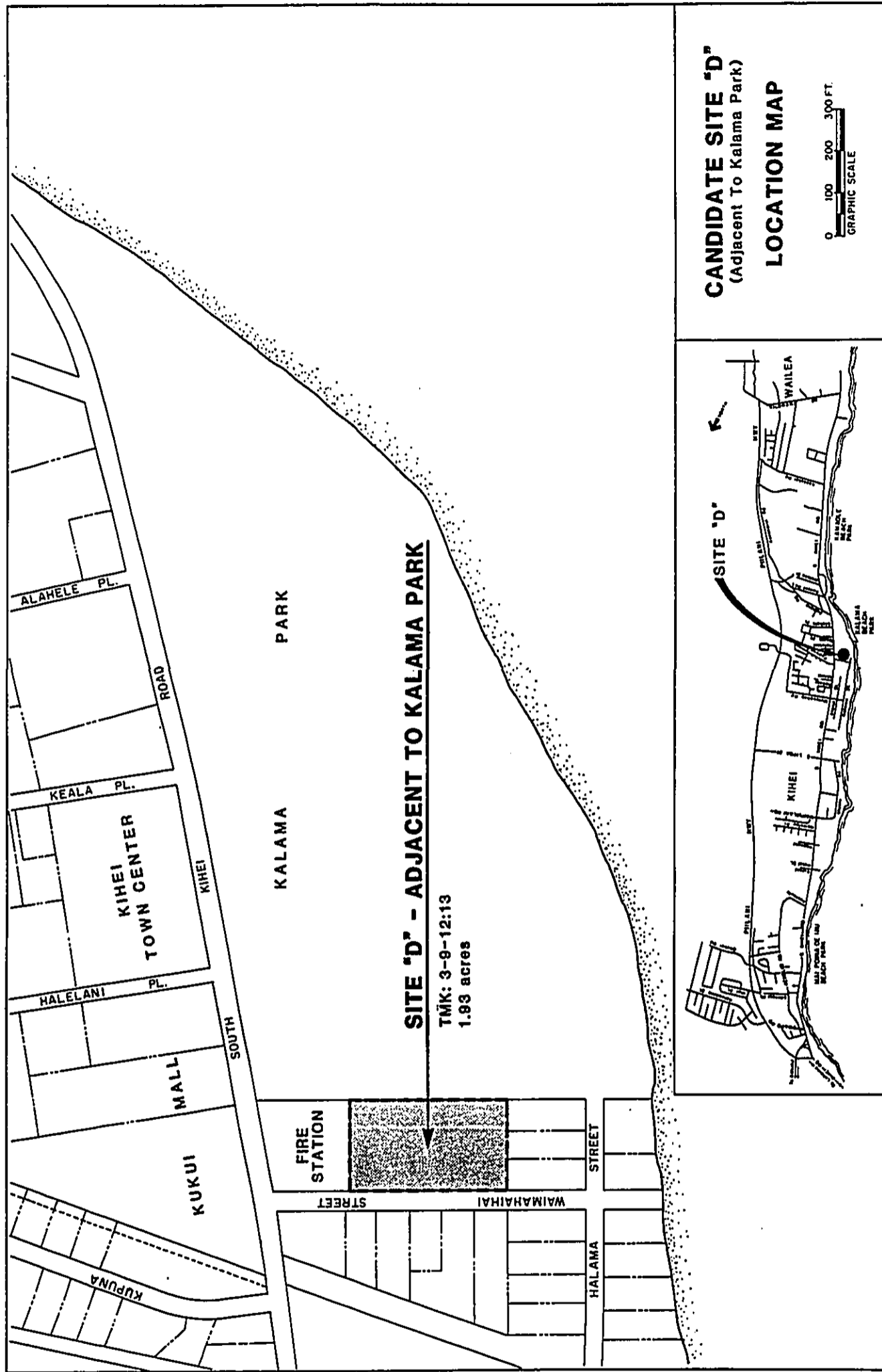


FIGURE III-8

The site is served by an 8" sewer line within Waimahaihai Street. A 6" water main and fire hydrants are located in Waimahaihai Street. However, water system improvements to provide fire protection will likely be required.

Waimahaihai Street is a 40' unimproved road right-of-way. The road provides for two-way traffic with parking along its unpaved shoulders. The County would require that improvements be put in along the project's 370' road frontage, providing for a 56' minimum right-of-way with County standard concrete curb, gutter, and sidewalk. Relocation of underground utilities would also be required to comply with the widened right-of-way.

The site is attractive in that access is not directly off of South Kihei Road and the facility would be compatible with the existing community. The site is presently vacant but the County Parks and Recreation Department has indicated that a soccer field and restroom facility is planned for the site. As with Site A, if this site is selected, concurrence and coordination with the County would be required.

5. Candidate Site E -- Adjacent to Kihei School

The 188.4 acre site is located adjacent to Kihei Elementary and Lokelani Intermediate Schools within TMK:2-2-02: por. 42, makai of Piilani Highway between Kulanihakoi and Keokea Gulches (see Figure III-7 Candidate Site E - Location Map). Haleakala Ranch Co. owns the property and Baldwin Pacific Corp. and Malama Development Corp (joint venture) are currently developing the site in accordance with the County's Kihei-Makena Community Plan requirements for Project District 5 (PD 5). The 188 acre Piilani Village will provide a mix of 45 single-family and 33 multi-family units, commercial development and park areas.

As part of the project, a 13-acre site on the South end of Kihei School will be dedicated to the County of Maui for a community park. Site E is to be located within this park area.

State Land Use classification is urban. County zoning is for park use and will require rezoning action. The Kihei-Makena Community Plan designates the area for park use in Project District No. 5, requiring a community plan amendment. The County has indicated that the area is intended to be used for park purposes.

CORRECTION

THE PRECEDING DOCUMENT(S) HAS
BEEN REPHOTOGRAPHED TO ASSURE
LEGIBILITY
SEE FRAME(S)
IMMEDIATELY FOLLOWING

The site is served by an 8" sewer line within Waimahaihai Street. A 6" water main and fire hydrants are located in Waimahaihai Street. However, water system improvements to provide fire protection will likely be required.

Waimahaihai Street is a 40' unimproved road right-of-way. The road provides for two-way traffic with parking along its unpaved shoulders. The County would require that improvements be put in along the project's 370' road frontage, providing for a 56' minimum right-of-way with County standard concrete curb, gutter, and sidewalk. Relocation of underground utilities would also be required to comply with the widened right-of-way.

The site is attractive in that access is not directly off of South Kihei Road and the facility would be compatible with the existing community. The site is presently vacant but the County Parks and Recreation Department has indicated that a soccer field and restroom facility is planned for the site. As with Site A, if this site is selected, concurrence and coordination with the County would be required.

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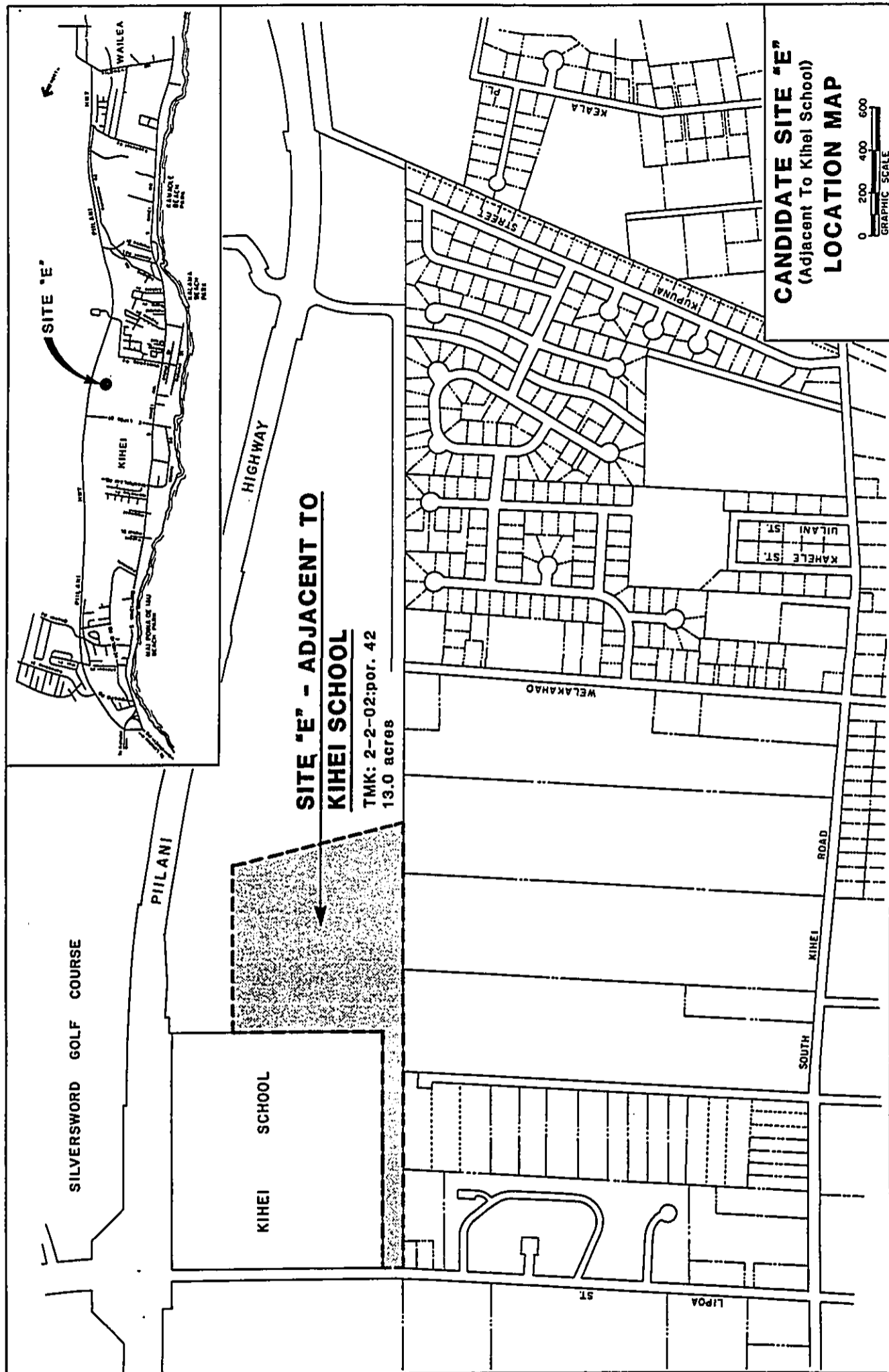


FIGURE III-7

The site is gently sloping from elevation 30 to 70 feet MSL and is overgrown with grass and scattered kiawe trees.

Existing access is off of Lipoa Street, which connects Piilani Highway with South Kihei Road. Lipoa Street has approximately 22 feet of pavement, with curb and gutter along one side of the street from Kihei Road to Kihei School.

Development within the area now consists of the elementary and intermediate schools, single-family homes, and the new Maui Sun Hotel. Proposed developments include the 270-unit Lipoa Plaza Condominium and Piilani Village. Proposed improvements within the adjacent school site include future buildings, a baseball field, playfield and paved courts.

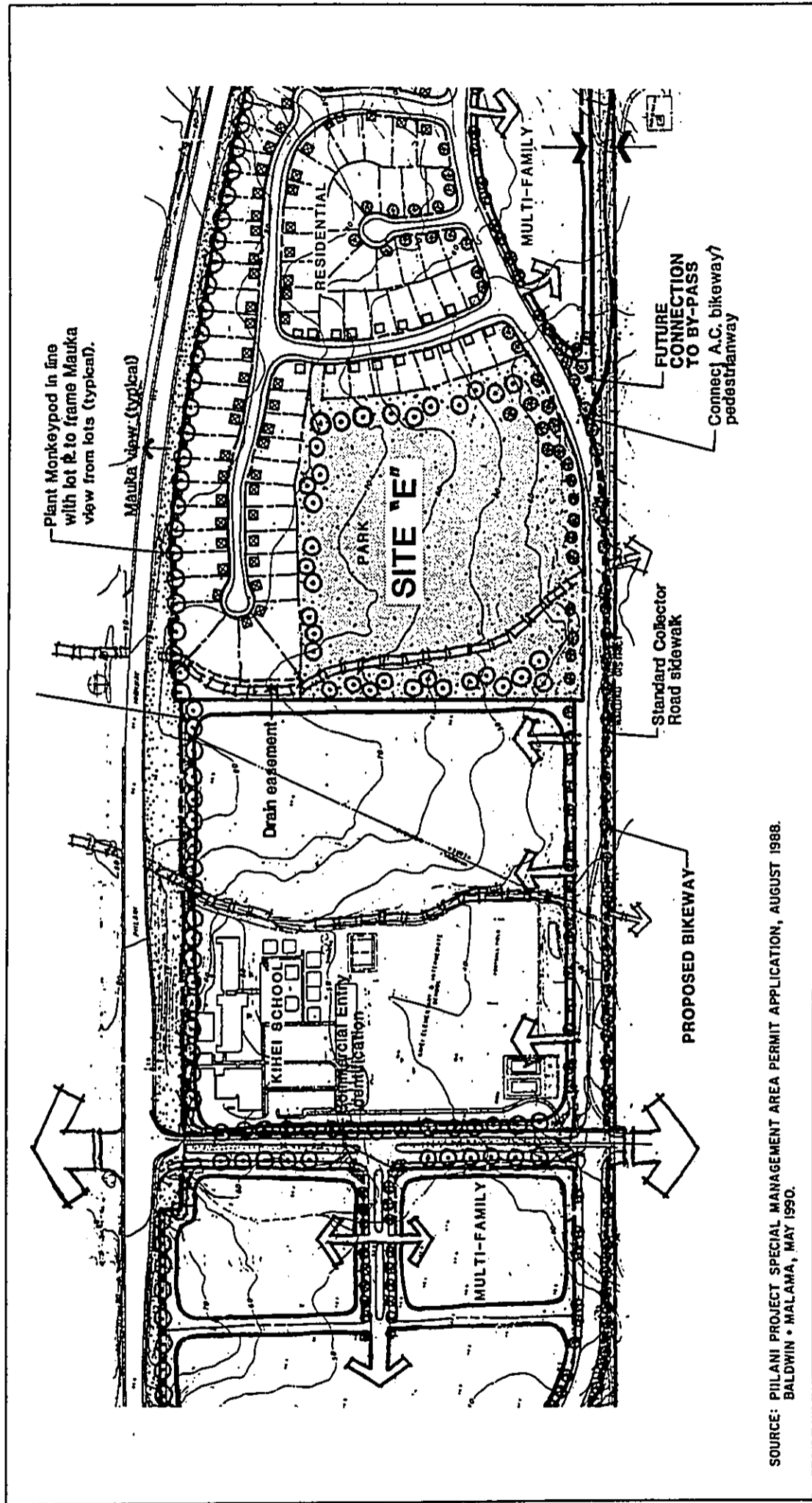
The site is within the County's SMA and will require an SMA permit review.

The entire site is within Zone C, an area of minimal flooding and will not require a Dept. of the Army permit for project construction. Drainage from the adjacent Kihei School is collected in grated inlets and drain lines emptying into an existing unlined drainage channel. Runoff from the area mauka of Piilani Highway passes through a 60-inch culvert and into a natural drainage channel running along the site's northern boundary.

The area is outside of any Corps or U.S. Fish and Wildlife Service designated wetlands.

Utilities serving the school are located in Lipoa Street. The 8" sewer main runs along Lipoa Street to South Kihei Road. Eight and 12" water lines within Lipoa Street connect to the County's 18" main running along the site's western boundary.

Baldwin-Malama's proposed Piilani Village project will provide some improvements to the park site prior to dedication to the County, including minimal grading and a landscape buffer between the park and surrounding school & residential lots. As part of the project a portion of the North-South Collector road will be constructed from Lipoa Street south to the park site, and from Lipoa Street north to the proposed commercial area. The Piilani Village project will include a network of roadways connecting to the North-South Collector and Piilani Highway. A paved bikeway and pedestrian walkway will be built along the entire



SOURCE: PILIANI PROJECT SPECIAL MANAGEMENT AREA PERMIT APPLICATION, AUGUST 1988.
BALDWIN • MALAMA, MAY 1990.

Piliāni Village Master Plan
CANDIDATE SITE "E"
(ADJACENT TO KIHEI SCHOOL)
Not To Scale

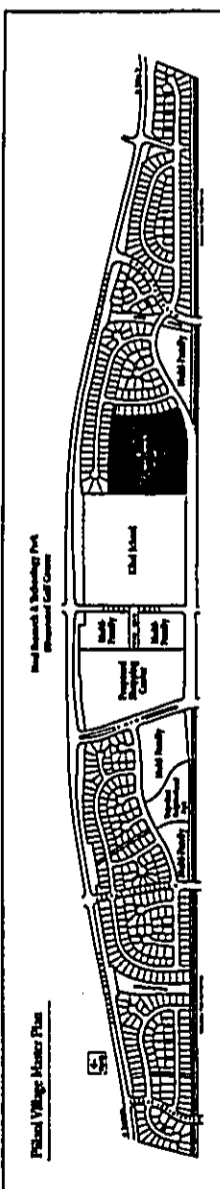


FIGURE III-8

length of the road easement for the proposed North-South Collector Road, linking the residential areas of the commercial and residential areas (See Figure III-8 Candidate Site - Piilani Village Master Plan).

The Piilani Village project will also provide utility connections to the site, including sewer, water, drainage, and underground electrical and telephone systems. Improvements to Lipoa Street to Piilani Highway are being made as a cooperative effort between DAGS and the Piilani Village project.

The Piilani Village project will be built in increments over a 5-year period, starting in 1990 with development of the portion north of the school and progressing towards the south end. It is anticipated that improvements to the park and North-South Collector Road will be completed towards the end of the project, sometime in 1995.

IV. EVALUATION OF CANDIDATE SITES

A. Site Evaluations

The candidate sites meeting the minimum site criteria were further evaluated in the following areas:

Building Site Criteria -- the physical parameters, including environmental characteristics, roadway, utilities, and access, which define site development and operational constraints and opportunities.

Community Criteria -- factors which enable evaluation of site development in terms of governmental/land use compatibility and the relationship of the facility to the surrounding community.

Cost Considerations -- assessment of project cost, including on-site and off-site improvements, land acquisition, and demolition of existing structures.

Each of the selected sites were rated "good", "fair", or "poor", with respect to the building site and community criteria. A discussion of the criteria and rating scales used and an evaluation of each site follows.

1. Building Site Criteria

a. Environmental Characteristics

Environmental characteristics used to evaluate each site include slope, shape, and general stability for foundation.

1) Slope

Good -- The average slope of the site is less than 5%

Fair -- The average slope of the site is between 5 and 8%

Poor -- The average slope of the site is greater than 8%

2) Shape

The site should be generally rectangular in shape and should be oriented in such a way that the library can be sited with northern exposure. This is to take advantage of lighting and possible use of northeasterly trade winds in the event of air conditioning failure.

Good -- The site is generally rectangular in shape with a length to width ratio of 1.5 : 1 to 2.0 : 1, with the long side having northern exposure.

Fair -- The site is fairly rectangular in shape with a length to width ratio of 1 : 1 to 1.5 : 1, with the long side having northern exposure.

Poor -- The site is highly irregular in shape with a length to width ratio greater than 2 : 1, and/or cannot accommodate requirement for northern exposure.

3) General Stability for Foundations

The criteria relates to the suitability of the soil for use as fill material under roadways. The Soil Conservation Service Report R43, "Soil Survey of Islands of Kauai, Oahu, Maui, Molokai and Lanai, State of Hawaii" includes a rating system indicating suitability based on an interpretation of the following engineering parameters: compressibility, workability, stability, shear strength, erodibility, plasticity and location of water table. The Soil Conservation Service rating system of "good", "fair", and "poor" is utilized to rate each site.

4) Soil Depth for Site Work

Good -- Soil strata consists of non-rocky soils with a depth to bedrock greater than 10 feet. The greater depth to bedrock facilitates construction of utility systems and roads and lot grading.

Fair -- Soil strata consists of 6 to 10 feet of non-rocky soil to bedrock.

Poor -- Soil strata consists of 0 to 5 feet of soil to bedrock.

5) Natural Beauty

Good -- The site has some natural beauty in the form of trees, plants, rock formations, etc., which can be preserved and integrated into the design of the facility.

Fair -- The site lacks natural beauty but can be enhanced with building design and landscaping.

Poor -- The site lacks natural beauty and cannot be enhanced at reasonable costs.

b. Roadways and Utilities

6) Adequacy of Roadways

Good -- The roadways serving the site are adequate to accommodate immediate and long-term traffic projections for the facility.

Fair -- The roadways serving the site are inadequate and will require widening or other improvements to meet the immediate and long-term needs of the facility.

Poor -- Construction of roadways is required to provide access to the proposed facility.

7) Adequacy of Water Service

Good -- The site has adequate water pressure and capacity available to meet ultimate building complex needs.

Fair -- The existing water service is insufficient but adequate service can be developed which will meet interim and ultimate needs of the building complex.

Poor -- The site has inadequate water service and will require the development or major extension of a water system to specifically meet building complex needs.

8) Adequacy of Sewer Service

Good -- The site has adequate sewer lines available to meet the needs of the proposed facility.

Fair -- The site will have adequate sewer service which is being developed to serve interim and ultimate needs of the proposed facility.

Poor -- The site has inadequate sewer service and will require the development or extension of sewer lines to meet the proposed facility.

9) Adequacy of Drainage Facilities

Good -- The site has adequate drainage facilities available to meet ultimate library needs.

Fair -- The site will have adequate drainage facilities which are being developed to serve interim and ultimate needs of the library.

Poor -- The site does not have adequate drainage facilities and may require the development of a drainage system to specifically meet library needs.

10) Adequacy of Power and Communication

Good -- The site has adequate existing electrical and telephone systems available to meet ultimate building complex needs.

Fair -- The site will have adequate power and communications which are being developed to serve interim and ultimate needs of the building complex.

Poor -- The site has insufficient power and communications available and will require improvement of these services to serve building complex needs.

c. Accessibility

11) Automobile Access

Good -- The site will have roadway frontage along one short side and one long side.

Fair -- The site will have roadway frontage along either one long side or two short sides.

Poor -- The site will have roadway frontage along one short side only.

12) Pedestrian Access

Good -- The site has pedestrian access to the facility from three sides.

Fair -- The site has pedestrian access from two sides.

Poor -- Access to the site is limited to one side.

13) Traffic Flow

Good -- The site is off a major roadway passing through the service area with excess capacity.

Fair -- Access to the site is via a through street with excess capacity.

Poor -- Access to the site is via a dead-end street to the facility.

2. Community Criteria

a. Government

Government criteria includes the following land use plans, policies, controls and proposals: State Land Use, Special Management Area Rules & Regulations, National Flood Insurance Program, County Zoning Ordinance, and Kihei-Makena Community Plan.

14) State Land Use Designation

Good -- The site is within the Urban district, permitting urban-related developments without undergoing a boundary amendment.

Fair -- The site is within an Agriculture or Conservation district and is adjacent to the Urban district. A Special Use Permit or a boundary amendment would be required. Approval of a boundary amendment is more likely when development is adjacent to the Urban boundary.

Poor -- The site is within an Agricultural or Conservation district and is not adjacent to the Urban district. A Special Use Permit or a boundary amendment would be required. Approval of a boundary amendment is less likely for noncontiguous development.

15) Special Management Area (SMA)

Development of sites within the Special Management Area require a SMA permit and are subject to Chapter 205-A of the Hawaii Revised Statutes as amended and Article II, SMA Rules and Regulations of the County of Maui.

Good -- The entire site is outside of the SMA.

Fair -- A portion of the site is within the SMA.

Poor -- The entire site is within the SMA.

16) National Flood Insurance Program

Development of sites within a designated flood hazard district --Floodway district, Flood Fringe district, and Coastal High Hazard district, must be in compliance with the National Flood Insurance Program as administered by Maui County through flood hazard prevention ordinances. The flood hazard districts are delineated on the Federal Emergency Management Agency's Flood Insurance Rate Maps (FIRM).

Good -- The entire site is outside of the flood hazard district.

Fair -- A major portion of the site is outside of the flood hazard district, with occupied structures outside of the flood hazard district.

Poor -- A major portion of the site is within the flood hazard district.

13) County Zoning Ordinance

Good -- The site is zoned Hotel, Community Business (B-2), Central Business (B-3), or Public (P).

Fair -- The site is zoned Residential (R-1, R-2, R-3), Multiple family (A-1, A-2, Duplex), or Park (PK). Either zoning interpretation or rezoning action will be required.

Poor -- The site does not have any zoning designation or is zoned for uses other than Hotel, Community/Central Business, Residential, Multiple Family, Public, or Park. Rezoning action will be required.

18) Kihei-Makena Community Plan (MCP)

Good -- The project conforms to the MCP, with a Public/Quasi-Public Use designation.

Fair -- The site is designated for park, single-family, multi-family, business, project district or open space use, which may

be compatible with the MCP depending upon the extent of development surrounding the project area. A community plan amendment would be required.

Poor -- The project does not conform to the MCP and the purpose significantly differs from the MCP. The site is designated for conservation, agriculture, rural, industrial or airport use which is incompatible with a public library. A community plan amendment would be required.

b. Community Effects

Each site was evaluated based on its potential impact on the community. Factors considered included existing use and displacement, interference with institutions, surrounding land use, land ownership and proximity to the civic center.

19) Existing Use and Community Displacement

Good -- The site is vacant and may be acquired without relocating any family, farm, or business.

Fair -- The site may be acquired without relocating any combination of less than five families, businesses or farms.

Poor -- The site cannot be acquired without the relocation of any combination of five or more families, businesses or farms.

20) Surrounding Land Use

The proposed facility should provide minimal disruption to the existing community activity.

Good -- The site is vacant or underutilized and is surrounded by compatible use activities, such as public or commercial facilities.

Fair -- The site is occupied and is surrounded by government related offices or commercial operations resulting in disruption of the existing business or government activity.

Poor -- The site is surrounded by incompatible uses, such as industrial activities.

21) Land Ownership

Good -- The site is owned by the Federal, State, or County government, minimizing both acquisition cost and project completion time.

Fair -- The site is owned by less than three individuals or businesses.

Poor -- The site is owned by three or more individuals or businesses.

22) Aesthetic Value

Good -- The site is not an aesthetic asset to the community and will not interfere with scenic vistas when it is developed into a public library.

Fair -- The site has some aesthetic value to the community or may partially obstruct scenic vistas when it is developed into a public library facility.

Poor -- The site is an aesthetic asset to the community or will obstruct scenic vistas if it is developed into a public library facility.

3. Cost Considerations

To further compare the relative merits of the potential sites, cost estimates were prepared for land acquisition, and on-site and off-site improvements.

a. Land Acquisition

(1) Land value and value of existing improvements were estimated using the assessments included in the 1989 Real Estate Atlas of the State of Hawaii, 2nd Tax Division (Reference 6). The assessed valuation may not be an accurate market assessment of land value, but is used for comparison of the relative values of the sites. In the case of State-owned land, acquisition costs may be nil.

(2) Existing improvement valuations were assumed to approximate costs for relocation of existing on-site uses.

b. On-Site Improvement Costs

Improvement costs were estimated for each

site for demolition, clearing and grubbing, earthwork, roadway and parking areas, drainage, sewer, electrical power, telephone, and landscaping within the library boundary based on a typical layout plan. Adjustments were made for clearing and grubbing, earthwork, and demolition costs which vary among the sites.

Water system improvements include the County's water storage assessment charge and the installation of meters and lines for hookup with water mains. Drainage improvements require the installation of sewer laterals from the building to the existing sewer main. Electrical power and telephone improvements include installation of conduits and necessary wire.

Roadway improvement costs were estimated for driveway, drop-off, and parking areas, including pavement, curbs and gutters.

Landscaping costs include topsoil, grassing and sprinkler system.

c. Off-Site Improvement Costs

Off-site improvements include water, sewer, drainage and roadway costs outside of the project boundaries which are necessary for the project.

B. Summary of Evaluations

The purpose of the Site Selection Report is to present an evaluation of the sites, discussing relative advantages and disadvantages of each, which can be used to facilitate the selection of a preferred site by the appropriate agency.

Results of the evaluation based on building site criteria, community criteria, and cost considerations are discussed below. Evaluation ratings for each candidate site are included in Appendix B.

1. Summary of Building Site Criteria Evaluation

Table IV-1 summarizes the evaluation of each site based on building site criteria.

With respect to environmental characteristics, all five sites had average slopes less than 5%. The Waiohuli Beach Homesteads site had a "poor" width to length ratio but will be able to accommodate the required building area. Soils in the Kihei Community Complex, County Civic Center, and Kihei School sites, were rated "good" with respect to general soil stability for foundations. The remaining two sites have "poor" soils with erodible characteristics.

Soil depth at three sites was rated "good" with

substratum generally consisting of sandy material. The County Civic Center and Kihei School sites had less than 4 feet to bedrock and were rated "poor".

The Kihei Community Complex and Kalama Park sites were rated "good" with respect to natural beauty due to the large existing trees surrounding the site and the open space settings. The Waiohuli Beach Homesteads site has large trees on the property which may not be able to be integrated into the design due to the long and narrow shape of the site, and was rated "fair". The County Civic Center and Kihei School sites were also rated "fair" due to the lack of existing natural beauty in the form of trees or formations.

Four sites were rated "good" for adequacy of roadways. The Kihei School site was rated "fair" because road improvements planned by Baldwin-Malama's Piilani Village project must be in place before the site can be utilized. Access to the site prior to placement of those improvements will require temporary use of the Kihei School parking lot (which is subject to Dept. of Education approval) or construction of a temporary roadway along the North-South Collector alignment.

Water service was rated "fair" for the Waiohuli Beach, Kalama Park, and Kihei Community Complex sites. Although service is available from the County system, improvements to provide fire protection will likely be required. The Kihei School site was rated "good" because the Piilani Village project will provide water service to the proposed park site. The County Civic Center site was rated "poor" because the nearest major transmission line is about 1000 feet north of the site across Piilani Highway.

Sewer service was rated "good" at the Waiohuli Beach, Kalama Park and Kihei Community Complex sites since the existing sites are served by the County system. The Kihei School site was rated "good" because the Piilani Village project will provide sewer service to the proposed park site and an 8" sewer line is also available within Lipoa Street presently serving the Kihei School.

Sewer lines are unavailable for connection along Piilani Highway for the County Civic Center site which was rated "poor". The nearest line is approximately 800' makai of Piilani Highway in Kulanihako'i Street, directly below the Piilani Village project. Although the site is below the UIC line, the State's policy has been to reject projects which cannot provide assurance that connection to the County Sewer system will be made. Should this site be selected, coordination with the County is recommended to seek a possible cost-sharing alternative in conjunction with their proposed Police and Fire Station project.

Drainage systems for all sites were rated "fair" due to lack of existing infrastructure near the sites and considering the drainage problems faced by all of the low-lying areas in Kihei. The Kihei School site was rated "fair" because although the Piilani Village project will provide drainage systems incidental to roadway construction, evaluation of the drainage from the existing gully traversing the site (from mauka to makai along the site's north end) is required.

A flood control channel along the Kalama Park side of Site D was planned by the County to handle discharge from Keokea Stream (Reference 7). The stream has since been diverted above Piilani highway, eliminating the channel requirement. The required off-site drainage improvements, if any, will be determined during the permit and plan review process.

Electrical and telephone systems are available at all sites.

Auto accessibility at all sites was rated "fair" because all sites either had road frontage along one long side or two short sides. The County Civic Center site was rated "fair", although left turn movements entering and exiting the site may be difficult due to the volume and speed of traffic on Piilani Highway.

Pedestrian access for the Kihei Community Complex and Waiohuli Beach Homesteads was "fair" with access provided along two sides. All other sites had "poor" pedestrian access, along one side only. Pedestrian access to the County Civic Center is presently unavailable from Piilani Highway since the highway does not include a sidewalk area. If pedestrian access is required, improvements including off-shoulder sidewalks and possibly a pedestrian overpass would be required. These improvements would have to be coordinated with the County's future plans to expand Piilani Highway from two lanes to four lanes and to construct an interchange directly below the site's northern boundary.

Traffic flow is generally "good" for all sites with the exception of the Kihei School site, which was rated "fair" since the project must rely on the Piilani Village project for improvement of Lipoa Street and for construction of a portion of the North-South Collector road.

2. Summary of Community Criteria Evaluation

Table IV-1 summarizes the evaluation of each site based on community criteria.

Four of the sites were rated "good" with respect to their urban State Land Use designation. The County Civic

Center was rated "fair" because the area is designated for agriculture use, but is also contiguous to urban areas.

Of the five sites, only the County Civic Center site was rated "good" with respect to the SMA. All other sites were rated "poor" since they are all makai of Piilani Highway and were therefore within the SMA.

With respect to the National Flood Insurance Program, the Kihei Community Complex, Waiohuli Beach Homesteads, and Kalama Park sites were rated "poor" since they are within designated flood hazard districts. A portion of Kihei Community Complex is also within a coastal high hazard district. The Kihei School and County Civic Center sites were rated "good" since they are outside of flood hazard districts.

Ratings with respect to the County Zoning Ordinance were "fair" for Waiohuli Beach Homesteads with designation of R-3. A library is not a specifically stated permitted use within a residential district and is subject to interpretation by the County. The County Civic Center site was rated "poor" due to its agriculture designation and will require rezoning. The Kalama Park, Kihei Community Complex, and Kihei School sites were rated "fair" due to their "Park" designations and will require rezoning.

The County Civic Center and Kalama Park sites were rated "good" with respect to the Kihei-Makena Community Plan. Both sites are designated for public use. The Kihei Community Complex and Kihei School sites were rated "fair" since those sites have been designated for park use. The Waiohuli Beach Homestead site was rated "fair" since it is designated for single-family use.

Four sites are presently vacant and were rated "good" with respect to existing use and community displacement. Two of these sites, Kihei School and Kalama Park, are not being used presently but are planned for park use. The Kihei Community Complex site was rated "fair" since the library facility may have to displace existing facilities (such as meeting rooms and rest rooms). These facilities are heavily used by various community-based functions and their demolition could impact the community. It is recommended that these displaced facilities be integrated into the library facility as much as possible.

All facilities were rated "good" with respect to surrounding land use. The Kihei Community Complex is adjacent to multi-family and single-family homes, Project District 2 (a commercial project), the existing beach park and a proposed public park site directly north. The County Civic Center is presently undeveloped but the County is proceeding with plans for a new Fire and Police Station. The Piilani Village residential project will be located near

the Civic Center, directly makai of Piilani Highway. Waiohuli Beach Homesteads is a residential area and is located near the Central Kihei district. The Kalama Park site is surrounded by residential homes on two sides, and Kalama Park and the fire station on the remaining sides. The site is also close to business-zoned areas. A concern expressed by the Library System on a matter related to surrounding land use has to do with the proximity of Site D to Kalama Park and the potential use of the library parking lot by park users. The Kihei School site is in the center of the Piilani Village planned development, near residences, schools and future commercial areas.

Sites owned by the State of Hawaii, Kihei Community Complex and Kalama Park were rated "good" in terms of land ownership. Both these sites, however, are designated for use by the County under Executive Order and would either require cancellation of the Executive Order or working out an agreement with the County for use of the site for the project. The Kihei School site was rated "good" because the 13-acre park site, although presently owned by Haleakala Ranch, is planned for dedication to the County. The County Civic Center and Waiohuli Beach Homesteads sites were rated "fair" since they are privately owned. Subdivision of a two-acre lot from Haleakala's larger parcel would be required for the County Civic Center site. The County is presently negotiating with Haleakala Ranch on acquiring a 5 acre site for the future Fire and Police Station within the Civic Center site.

All sites were rated "fair" for aesthetic value to the community since development of any of the sites would result in loss of open space.

3. Summary of Cost Considerations

A summary of land acquisition and development costs is shown on Tables IV-3 and IV-4. A more detailed explanation of the development costs is included in Appendix B.

On-site improvements were essentially comparable at all sites with the main cost differences relating to earthwork, demolition and clearing. On-site costs for the Kihei Community Complex site were higher due to the demolition of the existing library structure and other nearby structures, as well as the cost for placing fill to raise the finished floor elevation of the facility above the 100-year base flood. The Kalama Park site would also require elevation of the structure above the base flood level and higher clearing costs for the removal of large trees and heavy growth. The Kihei School site would incur the least on-site cost because minimal clearing and grading will be provided by the Piilani Village project as part of the park improvements.

With respect to off-site improvements, the County

Civic Center site would incur major costs for off-site sewer and water due to its location outside of the County's service area. For the Kihei Community Complex, Waiohuli Beach Homesteads, and Kalama Park sites, water transmission main extensions will probably be required to provide adequate fire protection.

It is assumed that off-site utilities and roadways servicing the Adjacent to Kihei School site would be constructed as part of the Piilani Village development with an anticipated completion date sometime in 1995. For purposes of comparing this site with the other candidate sites, which are not dependent on other developments for infrastructure, construction costs were estimated for grading and paving an access road, and constructing off-site sewer, water, electrical and drainage improvements. These costs were estimated for improvements built independently of the Piilani Village project.

Estimated land acquisition was estimated at \$20,000 for the County Civic Center site and \$540,900 for the Waiohuli Beach Homesteads site, based on tax assessment figures for 1989. The three remaining sites are either State-owned or will be dedicated to the County in the future.

4. Overall Evaluation Summary

A summary of the criteria evaluation results and estimated costs associated with the development and acquisition of each site is shown on Table IV-5.

TABLE IV-1. EVALUATION RATINGS SUMMARY

CRITERIA	SITE				
	KIHEI COMM. COMPLEX	COUNTY CIVIC CTR.	WAIHOULI BEACH HMSTD.	KALAMA PARK	KIHEI SCHOOL
	A	B	C	D	E
<u>Building Site Criteria</u>					
A. Environmental Characteristics					
1. Slope	G	G	G	G	G
2. Shape	G	G	P	G	G
3. General Stability for Foundations	G	G	P	P	G
4. Soil Depth for Site Work	G	P	G	G	P
5. Natural Beauty	G	F	F	G	F
B. Roadways and Utilities					
6. Adequacy of Roadways	G	G	G	G	F
7. Adequacy of Water Service	F	P	F	F	G
8. Adequacy of Sewer Service	G	P	G	G	G
9. Adequacy of Drainage System	F	F	F	F	F
10. Adequacy of Electrical and Telephone Systems	G	G	G	G	G
c. Accessibility					
11. Automobile Access	F	F	F	F	F
12. Pedestrian Access	F	P	F	P	P
13. Traffic Flow	G	G	G	G	F
<u>Community Criteria</u>					
A. Government					
14. State Land Use Designation	G	F	G	G	G
15. Special Management Area	P	G	P	P	P
16. National Flood Insurance Program	P	G	P	P	G
17. County Zoning Ordinance	F	P	F	F	F
18. Kihei-Makena Community Plan	F	G	F	G	F
B. Community Effects					
19. Existing Use and Community Displacement	F	G	G	G	G
20. Surrounding Land Use	G	G	G	G	G
21. Land Ownership	G	F	F	G	G
22. Aesthetic Value	F	F	F	F	F

TABLE IV-2. RATINGS SUMMARY BY CATEGORY

CRITERIA	SITE				
	KIHEI COMM. COMPLEX A	COUNTY CIVIC CTR. B	WAIHOLI BEACH HMSTD. C	KALAMA PARK D	KIHEI SCHOOL E
(FREQUENCY OF RATING)					
<u>Building Site Criteria</u>					
A. Environmental Characteristics					
Good	5	3	2	4	3
Fair	0	1	2	0	1
Poor	0	1	1	1	1
B. Roadways and Utilities					
Good	3	2	3	3	3
Fair	2	1	2	2	2
Poor	0	2	0	0	0
C. Accessibility					
Good	1	1	1	1	0
Fair	2	1	2	1	2
Poor	0	1	0	1	1
<u>Community Criteria</u>					
A. Government					
Good	1	3	1	2	2
Fair	2	1	2	1	2
Poor	2	1	2	2	1
B. Community Effects					
Good	2	2	2	3	3
Fair	2	2	2	1	1
Poor	0	0	0	0	0

TABLE IV-3. LAND ACQUISITION COST

<u>SITE</u>	<u>TMK</u>	<u>VALUE/ACRE</u>	<u>ACREAGE</u>	<u>SITE VALUE</u>
A	KIHEI COMMUNITY COMPLEX			
	3-9-06:11	\$309,500	2.0	\$ 619,000 *
B	FUTURE COUNTY CIVIC CENTER			
	2-2-2: por. 54	\$2,500	2.0	\$ 5,000
C	WAIHOULI BEACH HOMESTEADS			
	3-9-11:18	\$235,174	2.3	\$ 540,900
D	ADJACENT TO KALAMA PARK			
	3-9-12:13	\$331,036	1.93	\$ 638,900 *
E	ADJACENT TO KIHEI SCHOOL			
	2-2-2: por. 42	\$10,000	2.0	\$ 20,000

* Site value for State-owned land based on 1989 Real Estate Atlas

TABLE IV-4. PROJECT COST SUMMARY

	<u>SITE COSTS (\$000)</u>				
	KIHEI COMM. COMPLEX <u>A</u>	COUNTY CIVIC CTR. <u>B</u>	WAIOHULI BEACH HMSTD. <u>C</u>	KALAMA PARK <u>D</u>	KIHEI SCHOOL <u>E</u>
a) <u>On-site Improvements</u>	\$ 525	\$ 435	\$ 440	\$ 460	\$ 415
b) <u>Off-site Improvements</u>					
Water & Sewer	260	500	110	60	-0-
c) <u>Land Acquisition/Site Value</u>	620**	5	540	640**	20
Subtotal a) thru c)	1,405	940	1,090	1,160	435
Engineering & Contingency (20%)	<u>280</u>	<u>190</u>	<u>220</u>	<u>230</u>	<u>85</u>
Total	\$ 1,685	1,130	1,310	1,390	520***
					2,020****

* Costs, expressed in 1990 dollars, are for planning evaluation purposes only and are based on the County's assessed property tax valuations.

** Site value for State-owned land.

*** Assumes infrastructure provided by Piilani Village project, with complete installation by 1995

**** If earlier occupancy date is desired, project cost is estimated to increase by approximately \$1.5 million (providing off-site sewer, water, electrical, drainage and roads).

V. PROBABLE IMPACTS AND MITIGATIVE MEASURES

A. Short-term Impacts

The anticipated short-term impacts which may affect the candidate sites and/or nearby areas, as a result of the proposed public library facility, are discussed in this section. Short-term impacts are generally those associated with construction activities such as grading, utility installations, construction of structures, and increased traffic at the site.

The following section describes the anticipated construction noise, air quality, construction wastes, water quality, public health and safety, flora/fauna, economic, and archaeological/historical short-term impacts.

1. Construction noise

Residences and businesses near the library site may be sensitive to increased noise levels generated during construction. Sources of noise will be equipment required for construction activities, such as excavation and removal of spoil material and importation of material. To mitigate any adverse impacts, construction activities will be restricted to normal working hours. The contractor shall be responsible for the proper maintenance of construction equipment to minimize equipment noise. The contractor will be required to obtain a noise permit if noise levels are in excess of those specified under Title 11, Administrative Rules, Department of Health, Chapter 43, are anticipated.

Heavy vehicles required for construction must be in compliance with Title 11, Administrative Rules, Department of Health, Chapter 42, Vehicular Noise Control for Hawaii.

2. Air Quality

Ambient air quality is expected to be temporarily impacted as a result of construction activities. The contractor will be responsible for minimizing dust generated, particularly during grading operations, in accordance with the State Department of Health's Public Health Regulations, Chapter 60 on Air Pollution Control. The Contractor will be required to implement preventive measures, such as water sprinkling and dust screens, to prevent particulate matter from becoming airborne and traveling off-site.

Ambient air quality may also be adversely affected

by emissions from construction equipment and other motor vehicles. The Contractor will be required to minimize emissions through proper vehicle maintenance.

3. Construction Wastes

The Contractor will be required to dispose of his construction wastes offsite in a proper disposal site. No clearing and grubbing material shall be disposed of at the County sanitary landfill. The Contractor shall be required to submit a solid waste management plan to the Department of Public Works for approval.

4. Water Quality

The proposed library would not adversely affect water quality in the area. None of the sites are contiguous to streams or the ocean. The design engineer will be required to develop detailed drainage and erosion control plans, including, but not limited to, hydrologic and hydraulic calculations, scheme for controlling erosion and disposal of runoff water, and an analysis of the soil loss using the HESL erosion formula. The plan shall verify that grading and runoff water generated by the project will not have adverse impacts on adjacent or downstream properties. The Contractor will be required to implement erosion control practices in accordance with State and County erosion control standards to minimize impacts.

5. Public Health and Safety

The Contractor shall be responsible for taking appropriate measures to ensure public health and safety throughout the life of the construction project. Construction areas will be secured with safety signs and devices as required by State and County regulations during non-work hours (night, weekends, and holidays).

6. Flora/Fauna

There are no known rare or endangered species of flora or fauna in or around any of the candidate sites.

7. Economic

The short-term economic impacts resulting from the construction of the library include the additional job opportunities for local construction workers, as

well as business for local material suppliers and retail businesses.

8. Archaeological/Historical

An archaeological inventory survey was conducted on Candidate Site D, Adjacent to Kalama Park, by Paul H. Rosendahl, Ph.D., Inc. (PHRI). The objective of the inventory survey was to provide information appropriate to and sufficient for the preparation of the EIS, concerning the presence or absence of, and potential impacts of the project on, any sites of possible archaeological significance within the site. The archaeological field work, conducted in November 1990, consisted of a surface survey with subsurface testing. No archaeological remains were found. However, the archaeologist recommends that construction monitoring be required if the project's site work includes grading of the existing sand dunes along the site's makai boundary.

A copy of the archaeological inventory survey is attached as Appendix C.

B. Long-term Impacts

Long-term impacts are generally those impacts which are anticipated due to the operation of the public library. These impacts will affect the environment proximate to the site, as well as to the infrastructure within the area.

The following section describes the anticipated impact on flora/fauna, social, public health and safety, displacement, infrastructure, and traffic.

1. Flora/Fauna

There are no known existing rare or endangered species of flora at any of the candidate sites. The existence of any endangered species is unlikely based on the alteration of sites by prior agricultural and urban activities.

Any loss of vegetation as a result of clearing and grubbing of the site will be offset by landscaping put in as part of the library facility.

No rare or endangered species of fauna are known to exist on any of the candidate sites. Impacts to existing fauna, such as rats and mongoose, are not considered adverse impacts. Planting of trees and shrubs will provide nesting areas for birds commonly found within the area.

2. Social

The community will benefit from the additional facilities provided by the new library facility. The larger facility will encourage the use of the facility by more members of the community than can presently be served by the existing library station.

3. Public Health and Safety

Criteria for public health involves evaluation of demands on existing police, fire protection, emergency medical and health services. The proposed project involves the re-establishment and expansion of the existing library facility, and with the exception of Site A, at a different location. No additional demands will be generated for public services.

Criteria for safety involves evaluation of the sites with respect to hazards such as flooding, tsunami, erosion, and landslide. As part of the site selection criteria, candidate sites were sought that have the major portion of the site located outside of areas subject to these hazards.

Information on flood/tsunami hazards are based on the Flood Insurance Rate Maps (FIRM) dated June 1, 1981, and September 6, 1989. The FIRM indicates that approximately one-fifth of the Kihei Community Complex (Site A) is located in a coastal high hazard district (Zone V18), an area of 100-year flooding with velocity. The mauka portion is within a Zone A4 flood fringe district, with a flood elevation of 11 to 12 feet above MSL (see Figure V-1 Site A Flood/Tsunami Hazard Zones). If this site is selected, the facility should be located outside of the Zone V18 area, approximately 80 feet mauka of South Kihei Road. Construction within the flood fringe district will require that the finished floor elevation be built to or above the 11-12 foot elevation. Existing ground elevations slope from approximately 10 to 8 feet above MSL, mauka to makai.

Site B, the Future County Civic Center, is within Zone C, an area of minimal flooding. No special building design considerations will be required at this site to mitigate flooding.

The upper one-third of the Waiohuli Beach Homesteads site (Site C), and a small area along Halama Street, is subject to 100-year flooding with a base flood elevation of 7 feet above MSL (Zone AH). A narrow portion of the site along South Kihei Road is within

Zone A0, with an average depth of inundation of 1.0 feet. The lower two-thirds of the site is within Zone C, an area of minimal flooding (see Figure V-2 Site "C" Tsunami/Flood Hazard Zones). If the site is selected the building should be located within the Zone C area, with parking located within the Zone A0 and Zone AH areas. Location of the building within the Zone AH area will require that the finished floor elevation should be at or above the 7 foot elevation.

Approximately one-half of Site D, Adjacent to Kalama Park, is within the flood fringe district and is subject to shallow flooding at a depth of 1 foot (Zone A0). The remaining portion of the site bordering Kalama Park is within Zone AH with a base flood elevation of 7 feet MSL. A small portion is within Zone C, area of minimal flooding (see Figure V-3 Site "D" Tsunami/Flood Hazard Zones). Construction of the facility at this site will require raising the finished floor elevation one foot above existing ground or above elevation 7 feet MSL, whichever is greater. The existing ground slopes from approximately 7 feet at its mauka end to 4.5 feet at its makai end.

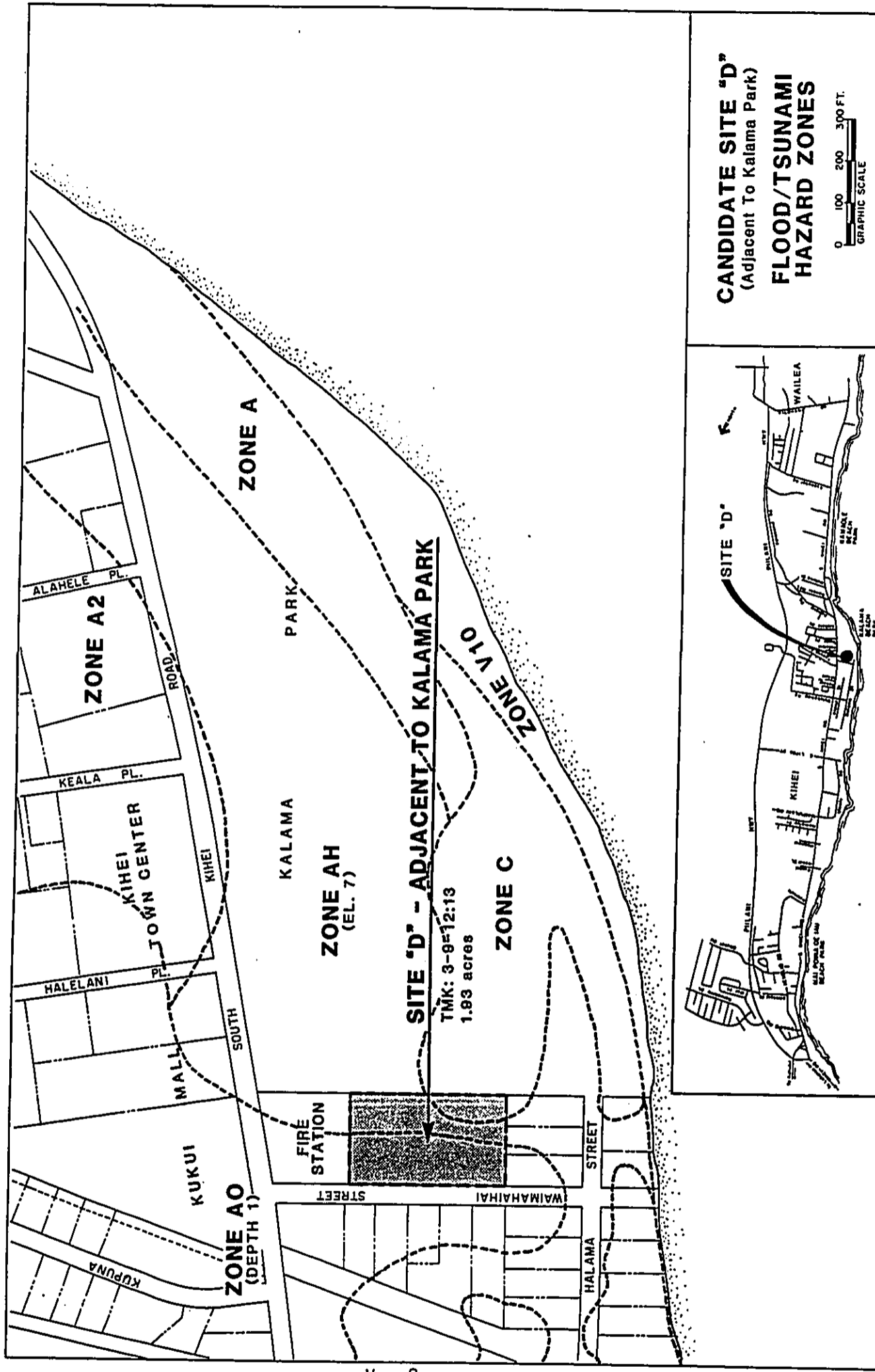
Site E, Adjacent to Kihei School, is within an area of minimal flooding, Zone C. However, an existing drainage-way runs through the proposed 13-acre park and a detailed evaluation will need to be made to determine its flooding characteristics and to identify any flooding hazards it may pose to the library facility.

With regard to soil erosion and landslides, all areas are outside of known hazard areas.

4. Displacement

One of the main criteria used in the selection of sites for the proposed facility was to locate sites which were vacant and would not require displacement of families or businesses. The intent was to minimize disruption of existing living patterns. Impacts to surrounding land uses is also a consideration of displacement, where the project could indirectly cause future displacement of surrounding families or businesses which may be adversely impacted by the development.

The Kihei Community Complex currently houses the existing Kihei Library Station facility. Construction of a larger library facility at the site will require demolition of buildings which are currently heavily used for various community-based



CANDIDATE SITE "D"
 (Adjacent To Kalama Park)
**FLOOD/TSUNAMI
 HAZARD ZONES**

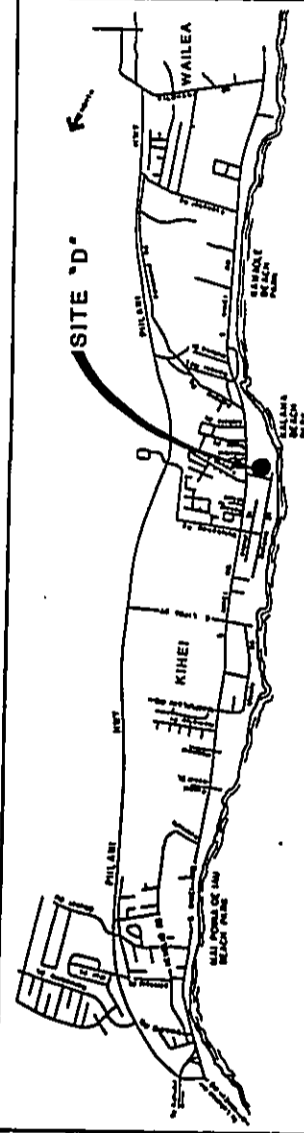


FIGURE V-3

functions. The displacement of these activities could be mitigated by incorporating some of the functions of the old facilities into the new library (e.g. meeting rooms). The site is surrounded by single-family and multiple family uses, a church, and the commercial PD-2 development. The library facility is considered a permitted use in business-zoned districts and should not have any adverse impacts on the PD-2 development, nor should be adversely impacted by the commercial development.

The Future County Civic Center site is currently vacant and will not displace any existing uses. The fire and police station complex being planned by the County should not be adversely impacted by the library facility.

The Waiohuli Beach Homesteads site is presently vacant. Construction of the facility at this site will not require displacement of any families or businesses. The surrounding area is made up of single family homes. To minimize adverse impacts to the surrounding residential areas visual and sound barriers (i.e. walls, landscaping) can be incorporated into the design of the facility.

The site Adjacent to Kalama Park is presently vacant and use of the site would not require displacement of families or businesses. The County Parks Department, however, has indicated that the site is planned to be used for a soccer field, as an addition to Kalama Park. Use of the site would therefore result in displacement of the future soccer field. Adverse impacts resulting from the loss of the future soccer field could possibly be mitigated by having the State provide park improvements in another area in exchange for use of this site. The facility should have minimal impact on the surrounding park, fire station, residential homes, and plant nursery business. Visual and sound barriers (e.g. landscaping, walls) could be incorporated into the facility design to minimize impacts to the homes.

The site Adjacent to Kihei School is vacant but is intended for use as a community park. Construction of the facility at this site will require displacement of future park facilities. Any adverse impacts due to the displacement could be mitigated by the State providing County park improvements in exchange for use of the County site. Impacts to the surrounding school, and future park and residences could be minimized through the use of visual and sound barriers such as landscaping and walls.

5. Infrastructure

An evaluation of off-site infrastructure systems-- sewer, water, and storm drainage, was conducted for each of the five sites.

The public library facility will have the following water demands based on Department of Water Supply criteria for "schools and parks"-- 3,400 gallons per day (gpd) average daily demand, 5,100 gpd maximum daily demand and 10,200 gpd peak hour demand. Fire flow of 2,000 gallons per minute (gpm) for a 2-hour duration is required for "schools, neighborhood businesses, and small shopping centers". The existing County water system can provide consumptive use for the four sites makai of Piilani Highway. For the Kihei Community Complex, Waiohuli Beach Homesteads, and Kalama Park sites transmission main extensions will probably be required to provide adequate fire protection. For Site B, Future County Civic Center, major distribution lines will be required to be constructed as part of the proposed project to service the County Civic Center.

Water service will be subject to prevailing policies and rules of the Department of Water Supply.

All sites with the exception of the Future County Civic Center are within the County's sewer service limits. A sewer main will have to be included in the project to provide connection to the County system. All sites are subject to limitations imposed by the current sewage treatment plant capacity. As stated earlier, approximately 800,000 gallons per day of treatment capacity will be made available to non-residential users by the end of mid-1991. The treatment capacity will be allotted to projects at the time of building permit issuance.

As stated earlier, the County Council may be able to waive the application of the Ordinance to this project if it is shown that the project will have a minimal impact on sewage flow, and is necessary to the public health, safety and welfare. Actual sewer requirements will be determined as the design of the facility progresses.

Off-site drainage improvements are not proposed at any of the five sites. Although the Kihei Community Complex, Waiohuli Homesteads, and Adjacent to Kalama Park sites are in flood prone areas no improvements are proposed as part of this project since the problem is Kihei-wide. The EIS for the "Kihei Drainage Project" indicated a channel to be built

between Kalama Park and Site D. As mentioned previously, the flow from Keokea Stream has since been diverted above Piilani Highway and no longer flows through the area. The County does not have any plans to construct any of the other master-planned improvements due to lack of funding. Any requirements for off-site drainage improvements will be determined during the permit and plan review process by the County.

Off-site drainage systems for the site Adjacent to Kihei School will be provided by the Piilani Village project with the road construction. Run-off from the Future County Civic Center will be accommodated by discharging into existing facilities along Piilani Highway or through dissipation into on-site dry wells.

Design and construction of the proposed public library facility will be coordinated with existing and planned infrastructure. Minimal impacts are anticipated due to the connection of on-site utilities to existing off-site infrastructure. The existing and planned capacities of the various systems should be adequate to accommodate the proposed library without major utility expansion work.

6. Traffic

The public library facility will generate additional traffic and will have long-term impacts to local roadways. The degree and extent to which the facility will impact local traffic was evaluated for each of the five sites, addressing traffic congestion, traffic hazards and alternate access routes. A more detailed traffic assessment was prepared for the preliminarily selected Site D, Adjacent to Kalama Park.

Site A - Kihei Community Complex

Access to the Kihei Community Complex will be from South Kihei Road and Kenolio Road. South Kihei Road is a two-lane undivided road with 22 feet of pavement and paved shoulders. Master-planned improvements include widening of South Kihei Road to a four-lane secondary arterial road with restricted driveway access. Widening of South Kihei Road should be accommodated for by providing a road setback, should this site be selected. Actual improvements to be included in the library project would have to be determined by the County. Kenolio Road, along the mauka side of the site, is a

two-lane local road with 20 feet of pavement and unpaved shoulders. The portion of Kenolio Road fronting the Kihei Village townhouse development is being realigned and widened in accordance with the Kihei Traffic Master Plan, with a 56-foot road right-of-way with concrete curb, gutter, and sidewalk. Widening of the portion of Kenolio Road along the site with County Standard curb, gutter and sidewalk improvements will also be required. The library facility should have minimal impact on both South Kihei Road and Kenolio Road since the existing library and other Kihei Community Complex functions are already there. The library facility will improve the parking situation for the Complex by providing stalls for use by library users, instead of having stalls for shared-use.

Pedestrians utilize the shoulders along both roads to access the site.

Site B - Future County Civic Center

Access to the County's police and fire stations in the future Civic Center area will be provided by a 80-foot road right-of-way extending from Piilani Highway, a two-lane primary arterial road. Piilani Highway will ultimately be a high-capacity, limited access highway. The highway is planned to be widened to a four-lane divided facility with grade-separated interchanges at major cross roads. There are no provisions for non-motorized traffic (i.e. pedestrians or bicycles) either along or for crossing the highway. Improvements necessary for safe pedestrian access would include sidewalks/bikeways and an elevated pedestrian crossing.

Because of the high speed traffic along Piilani Highway left turn movements out of the future Civic Center area towards Wailea may be difficult during peak hour traffic times.

The library facility will have minimal impact on Piilani Highway which is presently underutilized as a primary arterial highway, with most of the traffic traveling along South Kihei Road.

Site C - Waiohuli Beach Homesteads

Waiohuli Beach Homesteads has vehicular and pedestrian access from South Kihei Road and Waimahaihai Street. The library will have minimal impact on the already congested Kihei Road. Traffic generated by the library is compatible with the traffic currently being generated by the

commercial areas and park south of the site-- Kihei Town Center, Kukui Mall and Kalama Park.

While the site is ideal in that "looped" traffic flow can be provided by South Kihei Road and Halama Street, reducing congestion at a South Kihei entrance/exit, the additional traffic on Halama Street may adversely impact the residences along the now relatively unused roadway. Halama Street is a two lane road with unpaved shoulders that connects to Kihei Road at Waimahaihai Street and Welekahao Road. Adverse impacts may be minimized by possibly limiting traffic along the Halama Street end of the site to exiting traffic, or for use by emergency, service, or staff vehicles only.

Site D - Adjacent to Kalama Park

The site adjacent to Kalama Park is located off of South Kihei Road on Waimahaihai Street, a 40-foot road right-of-way with unpaved shoulders. Traffic along the road is now generally limited to local residents. The Waimahaihai St.- Kihei Road intersection is not signalized. Traffic from the proposed library facility could also access Kihei Road by traveling makai on Waimahaihai Street onto Halama Street and then onto Kihei via Welekahao Road (similar to Site C).

Significant traffic generators along Kihei Road are south of the site -- Kalama Park, Kihei Town Center and Kukui Mall. Since areas adjacent to the site are generally mixed use, including a County fire station, homes, park and plant nursery, adverse impacts to the surrounding area should be minimal.

The Kihei Traffic Master Plan indicated existing peak hour traffic counts for South Kihei Road at the Welekahao and Auhana Road intersection as follows:

	VEHICLES/HOUR	
	A.M.	P.M.
Northbound	437	729
Southbound	400	599

Level of service (LOS) for a continuous roadway is "C" during A.M. peak hour and is "E" during P.M. peak hour traffic. The study recommended that South Kihei Road eventually be widened to four lanes with exclusive left-turn lanes at major and minor connector road intersections.

The volume of traffic generated by the proposed library facility was approximated by utilizing data

for the Kahului Library. Kahului library is of similar size (16,070 sq. ft.) and serves a population of 22,923--similar in size to the Kihei Community Plan year 2000 projection of 22,900. Kahului Library serves approximately 1,520 users/week. Based on an average 8 hour day and 5 day work week, approximately 38 people/hour could be expected. Assuming the worst case of all 38 people driving an auto and an average stay of one hour, approximately 76 trips could be expected within an hour.

The existing Kihei library has about one-thirteenth of the users presently utilizing the Kahului facility and as such would have minimal impact on traffic along Waimahaihai and South Kihei Roads. The projected year 2000 population, however, will necessitate improvements such as dedicated left turn lanes along South Kihei Road into Waimahaihai St.

It is recommended that the required improvements be coordinated with the South Kihei Road work to insure conformance with the Kihei Traffic Master Plan. Local traffic congestion along South Kihei Road will continue to worsen until Piilani Highway, the North-South Collector Road and South Kihei road widening are completed.

Site E - Adjacent to Kihei School

The site adjacent to Kihei School will have access along the new North-South Collector roadway, a portion of which will be constructed as part of the Piilani Village project. The 80-foot road right-of-way with concrete curb, gutter and sidewalk will connect the site to subdivision roadways within the proposed single and multi-family unit subdivision and to Lipoa Street. The roadways will be more than adequate for the residential, school, library, commercial and park traffic.

Pedestrian access will be facilitated by the sidewalks along the Collector road as well as the bike/pedestrian path along the roads makai shoulder. This path will be paved and landscaped as part of the Piilani Village project, providing off-street circulation between both ends of the Piilani Village project.

Pedestrian access is also facilitated by the existing concrete sidewalks running along Lipoa Street between Kihei Road and Kihei School.

VI. ALTERNATIVES TO THE PROPOSED ACTION

A. No Action

The "no action" alternative would mean that the Kihei library station would continue to remain in operation. This alternative is unacceptable to the community since the facility is inadequate to serve the needs of the existing population. This alternative is even more unrealistic in view of the unprecedented growth that Kihei is experiencing.

This alternative would preclude the project's goal of ensuring the provision of adequate and accessible library facilities for the Maalaea, Makena, Kihei and Wailea population, forcing the public to commute to Kahului or Wailuku.

B. Expansion of Existing Library Station

Renovation and expansion of the existing Kihei Library Station would not be feasible due to the age of the structure (approximately 46 years old) and lack of available building building area to convert to library use. Efficient use of the area would involve demolition of one or more of the existing structures on the site and construction of a new facility.

C. Leasing of Privately-owned Space

Leasing of space has short-term advantages but would not be not viable in the long-term due to uncertainties in lease rents and tenure. Lack of control over future expansion capabilities is also a consideration which would tend to favor the proposed action.

VII. THE RELATIONSHIP BETWEEN LOCAL SHORT-TERM USES OF MAN'S ENVIRONMENT AND THE MAINTENANCE AND ENHANCEMENT OF LONG-TERM PRODUCTIVITY

A. Short-term Uses

The proposed public library project will involve short-term uses of the local environment during the construction phase. The negative and positive aspects of these short-term impacts were discussed in Section V. The adverse impacts include temporarily increased noise and traffic in the area. The short-term benefits include increased economic activity due to construction expenditures related to the project.

B. Long-term Productivity

The long-term benefits from the proposed project will be due to the availability of library resources to the public living within the Kihei, Makena, Maalaea and Wailea areas. The library can be considered both a recreational and educational resource which will help maintain and enhance the productivity of the general populace by providing a source of information. The libraries are also used as meeting halls where groups such as the neighborhood board, school clubs and athletic leagues can gather. This contributes to the long-term productivity of the community by providing a forum for social groups and by encouraging community participation, which leads to an increased quality of life.

VIII. IRREVERSIBLE AND IRRETRIEVABLE COMMITMENTS OF RESOURCES

The commitment of resources can be divided into three categories:

A. Long-term Commitment of Land

The proposed action involves the commitment of two acres of land for a public library facility, precluding consideration of the land for other uses.

B. Construction Commitments

The construction of the facility will involve the irreversible and irretrievable use of energy (electricity and fuel), water, labor, materials and capital investment.

C. Operational Commitments

The completed public library facility will require the irreversible and irretrievable commitment of energy, water, labor, and materials to operate and maintain the facility.

IX. LIST OF NECESSARY APPROVALS

<u>Permit/ Approval</u>	<u>Kihei Community Complex</u>	<u>Future County Civic Ctr</u>	<u>Waiohuli Beach Homestds</u>	<u>Adj to Kalama Park</u>	<u>Adj to Kihei School</u>
Zoning Change/ Interpretation	X	X	X	X	X
Special Mgt Area Use Permit	X		X	X	X
Kihei-Makena Community Plan Amendment	X		X		X
State Land Use Boundary Amendment		X			
Subdivision		X			
Plan Approval	X	X	X	X	X
National Flood Insurance	X		X	X	
Building Permit	X	X	X	X	X
Sewer Connection	X	X	X	X	X
Work w/in State Right-of-Way		X			X
Work w/in County Right-of-way	X	X	X	X	
Grading Permit	X	X	X	X	X

X. AGENCIES, ORGANIZATIONS AND INDIVIDUALS CONSULTED IN THE PREPARATION OF THIS DOCUMENT

A. FEDERAL AGENCIES

Department of the Army -- U.S. Army Engineer District, Honolulu
Department of the Interior -- Fish and Wildlife Service
Department of Agriculture -- Soil Conservation Service

B. STATE AGENCIES

Department of Accounting and General Services
Department of Agriculture
Department of Business and Economic Development
Department of Education
Department of Health
Department of Human Services
Department of Land and Natural Resources
Department of Transportation
University of Hawaii, Environmental Center
State House of Representatives, State Senate

C. COUNTY AGENCIES

Department of Parks and Recreation
Department of Public Works
Department of Water Supply
Office of Economic Development
Planning Department
County Council/Office of the Mayor

D. INDIVIDUALS/ORGANIZATIONS

Haleakala Ranch
Hawaiian Telephone Co.
Kihei Community Association
Library Advisory Commission
Mr. and Mrs. Edward Tamori
Maui Electric Co., Ltd.
The Gas Company

XI. EIS PREPARATION NOTICE COMMENTS AND RESPONSES

The following agencies, organizations, and individuals were consulted in the review of the EIS Preparation Notice for the Site Selection of the Kihei Public Library. A total of 12 letters were received.

<u>ADDRESSEE</u>	<u>DATE</u>	
	<u>Comments Rec'd</u>	<u>DAGS Response</u>
<u>Federal Agencies</u>		
o Department of the Army U.S. Army Engineer District, Honolulu	10/4/90	11/23/90
o Department of the Interior Fish and Wildlife Service	none	not req'd
o Department of Agriculture Soil Conservation Service	none	not req'd
<u>State Administration/Agencies</u>		
o The Honorable Joseph M. Souki Representative	none	not req'd
o The Honorable Mamoru Yamasaki Senator	none	not req'd
o Department of Accounting and General Services	none	not req'd
o Department of Agriculture	none	not req'd
o Department of Business, Economic Development, and Tourism --Land Use Commission	9/21/90	11/23/90
o Department of Education	none	not req'd
o Department of Health	11/16/90	12/11/90
o Department of Human Services	9/18/90	not req'd
o Department of Land and Natural Resources	none	not req'd
o Department of Transportation	10/10/90	11/21/90
o University of Hawaii Environmental Center	none	not req'd
<u>County Administration/Agencies</u>		
o The Honorable Goro Hokama County Council Chairman	9/27/90	11/30/90
o The Honorable Hannibal Tavares Mayor	none	not req'd
o Department of Parks and Recreation	none	not req'd
o Department of Public Works	10/19/90	11/28/90
o Department of Water Supply	none	not req'd
o Office of Economic Development	none	not req'd

- o Planning Department
(2 letters)

10/2/90
10/8/90

11/20/90

Utilities

- o Maui Electric Company, Ltd.
- o Hawaiian Telephone Co.
- o The Gas Co.

10/12/90
11/12/90
none

11/23/90
11/27/90
not req'd

Private Organizations/Individuals

- o Haleakala Ranch
- o Kihei Community Association
- o Library Advisory Commission
- o Mr. and Mrs. Edward Tamori

none
9/28/90
none
none

not req'd
11/20/90
not req'd
not req'd



DEPARTMENT OF THE ARMY
U. S. ARMY ENGINEER DISTRICT, HONOLULU
BUILDING 230
FT. SHAFTER, HAWAII 96855-5440

RECEIVED
OCT - 4 1980
COMPTROLLER'S OFFICE
STATE OF HAWAII

October 1, 1990
ATTENTION OF:
Planning Division

Mr. Russel S. Nagata
State Comptroller
State of Hawaii
Department of Accounting
and General Services
P.O. Box 119
Honolulu, Hawaii 96810

Dear Mr. Nagata:

We have reviewed the Environmental Impact Statement Preparation Notice (EISP/N) for the proposed Kihei Public Library, Kihei, Maui. The following comments are offered.

- a. A Department of the Army permit would not be required for project construction at any of the five candidate sites described in the EISP/N.
- b. According to the Flood Insurance Rate Map (panels 1500030265B and 1500030265C, dated June 1, 1981 and September 6, 1989 respectively), the five candidate sites are classified as follows:
 - Site A (TMK 3-9-06: 11). The bulk of the parcel is in Zone A4 (areas of 100-year flood), with the remaining smaller portions in Zone V18 (areas of 100-year coastal flood with velocity hazards) and Zone C (areas of minimal flooding). Base flood elevations for the site range from 11.0 feet MSL (along Kenolio Road) to 12.0 feet MSL (along Kihei Road).

Site B (TMK 2-2-02: por. 54). The entire parcel is in Zone C.

DIVISION OF PUBLIC WORKS	
Mr. S. Nagata	10/1/90
Mr. [Name]	
Mr. [Name]	
Mr. [Name]	
Mr. [Name]	
Mr. [Name]	
Mr. [Name]	
Mr. [Name]	
Mr. [Name]	
Mr. [Name]	

-2-

Site C (TMK 3-9-11: 18). Portions of the parcel are in Zone AH (areas of 100-year shallow flooding), with a base flood elevation of 7 feet MSL; Zone AO (areas of 100-year shallow flooding), with an average depth of inundation of 1.0 feet MSL; and Zone C.

Site D (TMK 3-9-12: 13). Portions of the parcel are in Zone AH, with a base flood elevation of 7.0 feet MSL; Zone AO, with an average depth of inundation of 1.0 feet MSL; and Zone C.

Site E (TMK 2-02-02: por. 42). The entire parcel is in Zone C.

Sincerely,

C. J. Y.
Kisuk Cheung
Director of Engineering

JOHN WAINES
SECRETARY



STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
P. O. BOX 111, HONOLULU, HAWAII 96813

RUSSEL E. HAKATA
COMPTROLLER
JAMES N. YASUDA
DEPUTY COMPTROLLER
LETTER NO. (P)1961.0

NOV 23 1990

Mr. Kisuk Cheung
Director of Engineering
U. S. Army Engineer District, Honolulu
Department of the Army
Fort Shafter, Hawaii 96858-5440


Dear Mr. Cheung:

Subject: Kihei Public Library
EIS Consultation Phase

Thank you for your October 1, 1990 letter stating that a Department of the Army permit would not be required for any of the five sites. The Hawaii State Public Library System has tentatively selected Site D, Adjacent to Kalama Park, for the future library and Site C, Maehuli Beach Homesteads, as an alternative site. Your comments regarding the Flood Insurance Rate Map classifications for each of the sites will be incorporated into the Draft EIS.

We appreciate your input for this project.

Very truly yours,


RUSSEL E. HAKATA
State Comptroller



STATE OF HAWAII
 DEPARTMENT OF BUSINESS, ECONOMIC DEVELOPMENT, AND TOURISM
 LAND USE COMMISSION
 Room 114 Old Federal Building
 335 Merchant Street
 Honolulu, Hawaii 96813
 Telephone 548-4411

ESTHER UEDA
 EXECUTIVE OFFICER

JOHN WAHNE
 OFFICER



STATE OF HAWAII
 DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
 P. O. BOX 111, HONOLULU, HAWAII 96810

RUSSEL S. NAGATA
 COMPTROLLER

JAMES H. YASUDA
 SENIOR COMPTROLLER

LETTER NO. (P)1962.0

RECEIVED
 SEP 21 1990
 COMPTROLLER'S OFFICE
 STATE OF HAWAII

September 20, 1990

Russel S. Nagata, State Comptroller
 Department of Accounting and
 General Services, State of Hawaii
 1151 Punchbowl Street
 P.O. Box 119
 Honolulu, HI 96810

Dear Mr. Nagata:

Subject: EISPN for Site Selection for the
Kihei Public Library

We have no comments to offer except that based on Figure 11-2, "State Land Use Map", all sites except Site B, are designated within the State Land Use Urban District. Site B is designated within the State Land Use Agricultural District and may require a special use permit or a land use district boundary amendment.

Thank you for the opportunity to comment.

Sincerely,

Esther Ueda
 ESTHER UEDA
 Executive Officer

EU:dyk

DIVISION OF PUBLIC WORKS
 (202) 1-1-1015

1-1-1015	Approval	---
PW Secy	Sign	---
State Secy	Info	---
1-1-1015	File	---
1-1-1015	Site map	---
1-1-1015	Cons. Plan	---
1-1-1015	Final	---
1-1-1015	Final	---

NOV 23 1990

Ms. Esther Ueda
 Executive Officer
 Land Use Commission
 Department of Business, Economic
 Development and Tourism
 State of Hawaii
 Old Federal Building, Room 104
 335 Merchant Street
 Honolulu, Hawaii 96813

Dear Ms. Ueda:

Subject: Kihei Public Library
 EIS Consultation Phase

Thank you for your September 20, 1990 comments on the subject project. Site D, Adjacent to Kalamo Park, has been tentatively selected for the future library by the Hawaii State Public Library System and Site C, Waiohuli Beach Homesteads, as an alternative site. The requirements for a special use permit or land use district boundary amendment for Site B are noted on the Draft EIS.

Very truly yours,

Russel S. Nagata
 RUSSEL S. NAGATA
 State Comptroller



STATE OF HAWAII

DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES

P. O. BOX 178, HONOLULU, HAWAII 96801

MURIEL S. MAGATA

COMPTROLLER

JAMES H. YASUDA

DEPUTY COMPTROLLER

(P)2011.0

LETTER NO.

Honorable John C. Lewin
Page 2

Ltr. No. (P)2011.0

DEC 11 1990

Honorable John C. Lewin
Director of Health
Department of Health
State of Hawaii
P. O. Box 3378
Honolulu, Hawaii 96801

Dear Dr. Lewin:

Subject: Kihel Public Library
EIS Consultation Phase

Thank you for your November 15, 1990 comments on the subject project. The Hawaii State Public Library System has tentatively selected Site D, Adjacent to Kalahele Park, for the future public library and Site C, Maiohuli Beach Homessteadg, as an alternative site. Our responses to your comments are as follows:

1. Site Selection: Your position against Sites A, C and D for the reasons given and your position for Sites B and E will be included in the Draft EIS. The following comments are offered:
 - a. Site A was considered to be a viable site. However, its location far from the center of Kihel, the demolition of existing facilities, and the County's proposal to develop the site into a recreation center were considered to be negative impacts.
 - b. The County Department of Planning has expressed concern that Piliiani Highway would act as a barrier to Site B for library users on non-motorized vehicles. This barrier and the lack of adequate infrastructure are major objections to this site.
 - c. We feel that the advantages of Sites C and D outweigh the potential misuse of parking at these sites. The problem can be avoided with proper design and security measures.

- d. The County Department of Planning has stated that Site E is designated for park use and is intended for that purpose. Our main reservation about Site E concerns the timing of the Piliiani Village Project as related to the library.

Since the library facility will rely on the road and utility improvements scheduled for completion sometime in 1995, selection of Site E may incur additional costs. Construction of the library prior to completion of these improvements would involve either acquiring temporary access and utility connections through Kihel School, or construction of a portion of the Piliiani Village improvements.

2. Wastewater Disposal:

- a. The Draft EIS will state that the area is within a proposed "critical wastewater disposal area", as designated by the Maui Wastewater Advisory Committee, and that cesspools will not be allowed as a means of disposal.
- b. Thank you for the information that all sites are within the County's sewer system service area. Construction of an "offsite" sewerline would be required at Site B.
- c. The Draft EIS will state that connection to County sewer system will be required at all five candidate sites in accordance with Section 11-62-06(b) of the wastewater rules.

We appreciate your input for this project.

Very truly yours,

MURIEL S. MAGATA
State Comptroller

JOHN WAIKOE
GOVERNOR



RECEIVED

SEP 18 9 25 AM '90

STATE OF HAWAII, DEPARTMENT OF HUMAN SERVICES
P.O. Box 339
Honolulu, Hawaii 96809

DPIW

WINONA E. RUBIN
DIRECTOR
ALFRED K. SUGA
DEPUTY DIRECTOR
MERWYN S. JONES
DEPUTY DIRECTOR

RECEIVED
SEP 18 1990
COMPTROLLER'S OFFICE
STATE OF HAWAII

September 17, 1990

TO: Mr. Russel S. Nagata, State Comptroller
Dept. of Accounting and General Services

FROM: Winona E. Rubin

Subject: EISPN - Kihel Public Library

Thank you for the opportunity to review this project. We have no comment at this time.

DIVISION OF PUBLIC WORKS

Mr. [Name]	_____
Mr. [Name]	_____
Mr. [Name]	_____
Mr. [Name]	_____
Mr. [Name]	_____
Mr. [Name]	_____
Mr. [Name]	_____
Mr. [Name]	_____
Mr. [Name]	_____
Mr. [Name]	_____
Mr. [Name]	_____
Mr. [Name]	_____

AN EQUAL OPPORTUNITY AGENCY



RUSSEL S. NAGATA
Comptroller
JAMES H. TAILOA
Senior Comptroller
LETTER NO. (P)1964.0



STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
P. O. BOX 115, HONOLULU, HAWAII 96810

NOV 21 1990

Mr. Edward Y. Hirata
Director
Department of Transportation
State of Hawaii
869 Punchbowl Street
Honolulu, Hawaii 96813

Dear Mr. Hirata:

Subject: Kihai Public Library
EIS Consultation Phase

Thank you for your October 9, 1990 comments on the subject project. The Hawaii State Public Library System has tentatively selected Site D, Adjacent to Kalema Park, for the future public library and Site C, Waichuli Beach Homesteads, as an alternative site.

A discussion of potential traffic impacts for Site D will be included in the Draft EIS.

Very truly yours,
RUSSEL S. NAGATA
State Comptroller

JOHN WAHNEE
Assistant

EDWARD Y. HIRATA
Director
RECEIVED
Sub. T. KOCH (PRESIDENT)
JAMES H. TAILOA (VICE PRES.)
OCT 10 4 06 PM '90
RUSSEL S. NAGATA
COMPTROLLER

RECEIVED
OCT 10 1990
COMPTROLLER'S OFFICE
STATE OF HAWAII



STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION
869 PUNCHBOWL STREET
HONOLULU, HAWAII 96813

OCT 9 1990

MEMORANDUM

TO: The Honorable Russel S. Nagata, Comptroller
Department of Accounting and General Services

FROM: Edward Y. Hirata
Director of Transportation

SUBJECT: Environmental Impact State Preparation Notice
Kihai Public Library, Kihai, Maui

Thank you for your notice of September 11, 1990 requesting our review of the subject EISPN.

A traffic assessment should be prepared for this project and submitted for our review and approval. The proposed project will bear all costs of any required improvements.

TO: DIVISION OF PUBLIC WORKS
THIRD-FLOOR

Asst. Dir. Eng.	Approved
P.W. Sect.	Sign
Staff Sect. B.	Inv.
Planning B.	File
Prof. Mgmt. B.	Spec. Inv.
Design B.	Construction
Inst. B.	Invest. &
Qual. Cont. Eng.	Rep.
Leasing Sect. B.	



Council Chairperson
Goro Hoshino

Council Vice-Chairperson
Howard S. Kihune

Council Members
Linda Crockett Uyeke
Pui S. Kawano
Alice L. Lee
Rick Medina
Wynne K. Nishou
Verna M. Santos
Joe S. Tanioka



COUNTY COUNCIL

COUNTY OF MAUI
200 S. HIGH STREET
WAILUKU, MAUI, HAWAII 96793
September 25, 1990

Mr. Russel S. Nagata
State Comptroller
Department of Accounting and General Services
1151 Punchbowl Street
P.O. Box 119
Honolulu, Hawaii 96810
Dear Mr. Nagata:

SUBJECT: KIHEI PUBLIC LIBRARY (PAP 90-207)

Thank you for the opportunity to review the Environmental Impact Statement (EIS) Preparation Notice for the Kihei Public Library.

I fully support a new public library in Kihei to serve the rapidly growing Kihei, Wailua and Makana areas on Maui. The current facility is grossly inadequate to service the projected resident population of 22,900 persons by the year 2000.

I would like to offer the following information and comments for your consideration.

GENERAL INFORMATION

Site A: Kihei Community Complex

TMK: 2-9-06: 11
Owner: State of Hawaii (County of Maui - Executive Order 2958)
Area: 4.4 acres
State Land Use Classification: Urban
Kihei-Makana Community Plan Designation: Park
County zoning: Park

DEPARTMENT OF PUBLIC WORKS
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SEP 27 1 45 PM '90
SEP 27 1 45 PM '90

APPROVAL
P.M. Secy. _____
Asst. Secy. _____
Asst. Dir. _____
Asst. Dir. _____
Asst. Dir. _____
Asst. Dir. _____
Asst. Dir. _____
Asst. Dir. _____
Asst. Dir. _____
Asst. Dir. _____

September 25, 1990
Page 2

Atene B.

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RECEIVED
SEP 27 1990
COMPTROLLER'S OFFICE
STATE OF HAWAII

The property is located at the entrance to Kihei and is surrounded by single family and multi-family uses; Project District 2, a commercial project; and the Kihei Community Complex. The north-south arterial roadway proposed in the Kihei Traffic Master Plan will border the property's eastern boundary.

Site B: Futura County Civic Center

TMK: 2-2-02; portion of 54
Owner: Haleakala Ranch
State Land Use Classification: Agriculture
Kihei-Makana Community Plan Designation: Public
County zoning: Agriculture

The property is located mauka of Pilihi Highway. It is surrounded by public and agricultural uses; and Pilihi Highway.

Site C: Maiohulu Beach

TMK: 3-9-11: 18
Owner: Edward M. and Joan Tamori
Area: 2.31 acres
State Land Use Classification: Urban
Kihei-Makana Community Plan Designation: Single Family
County zoning: R-3 Residential District

The parcel is located in the heart of Kihei Town, makai of South Kihei Road. It is surrounded by single family residential uses.

Site D: Adjacent to Kalama Park

TMK: 3-9-12: 13
Owner: State of Hawaii (County of Maui - Executive Order 3058)
Area: 1.93 acres
State Land Use Classification: Urban
Kihei-Makana Community Plan Designation: Public
County zoning: Park

The property is located in Kihei Town, makai of South Kihei Road and adjacent to Kalama Park. It is surrounded by public and single family uses and Kalama Park.

Site E: Adjacent to Kihel School

TMK: 2-2-02; portion of 42
Owner: Haleakala Ranch
State Land Use Classification: Urban
Kihel-Makana Community Plan Designation: Park
County zoning: Agriculture

The property is located makai of Pillani Highway adjacent to Kihel Elementary School and Lokelani Intermediate School. It is surrounded by Project District 5, a residential project; single family, light industrial, and public uses. The north-south arterial roadway proposed in the Kihel Traffic Master Plan will border the property's western boundary.

ISSUES FOR CONSIDERATION:


1. Sewer availability. How will construction of the library coincide with the availability of wastewater treatment capacity at the Kihel Wastewater Treatment Plant? Of the 2 million gallons per day of expansion capacity at the Kihel Wastewater Treatment Plant, Ordinance No. 1787 allocated 1.2 million gallons per day for long-term residential developments, and the remaining 800,000 gallons for other uses. Sewage capacity is allocated according to the order of building permit issuance. The County Council may waive the application of the ordinance if it is shown that the project will have a minimal impact on sewage flow, and is necessary to the public health, safety and welfare.
2. Wetlands. The EIS should consider whether the site is located within a wetland area, and guarantees that proper mitigative measures will be implemented.
3. Compatibility with surrounding uses. How will compatibility with commercial development be addressed? Sites A and E are adjacent to proposed commercial projects.
4. Traffic. Sites A and E will abut the proposed north-south arterial road. How will construction of the new roadway impact construction of the library? Will access to the library be from the new north-south arterial road?

Site B is located mauka of Pillani Highway. What road improvements would be required to ensure the safety of children crossing the highway?

5. Ownership. Sites B, C, and E are under private ownership. Selection of these sites would require implementation of acquisition proceedings resulting in added costs and a longer development schedule.
6. Land Use Changes. With the exception of site C, Sites A and D are owned by the State of Hawaii; hence, land acquisition costs and development delays due to acquisition proceedings would be reduced.
7. Land Use Changes. With the exception of site C, selection of the other sites would require one or more land use changes. A district boundary amendment, community plan amendment, or change in zoning would require a public hearing by the Maui Planning Commission, and review and final approval by the County Council.

Again, thank you for the opportunity to comment on the EIS Preparation Notice for the Kihel Public Library. I would appreciate a copy of the draft EIS once it is available for review.

Respectfully submitted,


GORO HOKAMA
Council Chair

attachment
PAF207:MISC1ids

JOHN HAINES
DIRECTOR



STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
P. O. BOX 111, HONOLULU, HAWAII 96831

MICHELLE S. MAJATA
DIRECTOR
JAMES H. YALOWA
REPORT CONTROLLER
LETTER NO. (P)1975.0

The Honorable Goro Hokama
Page 2

Ltr. No. (P)1975.0

NOV 30 1990

The Honorable Goro Hokama
Council Chair
County Council
County of Maui
200 South High Street
Wailuku, Maui, Hawaii 96793

Dear Mr. Hokama:

Subject: Kihai Public Library
EIS Consultation Phase

Thank you for your September 25, 1990 comments regarding the subject project. The Hawaii State Public Library System has tentatively selected Site D, adjacent to Kalama Park, for the future public library and Site C, Malohua Beach Home-steads, as an alternative site. Our responses to your comments are as follows:

General Information

1. General Information - The information regarding zoning, land classification and surrounding land use for each of the five sites will be incorporated in the Draft EIS.
2. Site E, Adjacent to Kihai School - The Planning Department has informed us that the County zoning for the site is for park use in accordance with the Project District 5 (PD-5) development plan, rather than agriculture. Based on PD-5 information, we have reviewed, commercial areas, rather than industrial, are included within the project.

Issues for Consideration

1. Sewer Availability - Funding for construction of the library is currently scheduled for the 1991 fiscal biennium, by which time upgrade of the sewage treatment plant may be completed. We acknowledge that under the present ordinance, sewer treatment capa-

city is allocated according to the order of building permit issuance and therefore the availability of sewer capacity for this project cannot be assured. The possibility that the County Council may waive the application of the ordinance if the project has minimal impact on sewage flow and is necessary to the public health, safety and welfare will be noted in the Draft EIS.

2. Wetlands - The Draft EIS will indicate that all sites are outside of areas that have been designated as wetlands by the Corps of Engineers and the U. S. Fish and Wildlife Service.

3. Compatibility with Surrounding Uses - Under the zoning ordinance, libraries are a permitted use in commercial districts. The type of users and the amount of traffic generated by the library will probably be more compatible with commercial areas than other zoning districts.

4. Traffic - The Kihai Traffic Master Plan proposed a roadway to be located mauka of Site A, Kihai Community Complex. This roadway, which is being constructed as part of the Kihai Village townhouse development, is located directly mauka of the existing Kihai Library station and will connect Uwapo Road to Kenolio Road. The roadway will have no impact on the proposed library facility. Access to the proposed facility may be from either Kenolio Road or South Kihai Road. A discussion of the planned development within the area will be included in the Draft EIS.

Site E, Adjacent to Kihai School abuts the proposed North-South Collector Road. Access to the site will be from the portion of the collector road being constructed as part of the Piihahi Village project. Should the construction of the library precede the completion of the Piihahi Village project, either a temporary access through Kihai School or construction of a portion of the road improvements will need to be considered. A discussion of the planned development within the area will be included in the Draft EIS.

Improvements necessary to facilitate access of Site B, Future County Civic Center by pedestrians or persons on non-motorized vehicles include elevated pedestrian crossing and sidewalks. These improvements are mentioned in the Draft EIS but are not proposed to be included in the project. The difficulty in crossing the highway is noted as a consideration in the evaluation of the sites.

5. Ownership - We concur with your comments concerning advantages of selecting public verses privately-owned land and note that, although Site E is currently under private ownership, the land will be dedicated to the County as a park site. Therefore, acquisition of the site would also involve the County. Acquisition of Sites A or D would also involve the County since the sites are currently under County jurisdiction by Governor's Executive Order.

6. Land Use Changes - Your comments regarding necessary approvals for land use changes will be incorporated into the Draft EIS.

The Planning Department has indicated that the zoning code does not specifically state that a library is a permitted use within residential districts, requiring zoning interpretation for Site C.

The State Land Use Commission noted that obtaining a Special Use Permit is an option to the boundary amendment process.

We appreciate your input for this project.

Very truly yours,


RUSSSEL S. WAGATA
State Comptroller

HANNIBAL TAVERES
Mayor
ALVIN FUKUNAGA
Director



RECEIVED

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DEPARTMENT OF PUBLIC WORKS

COUNTY OF MAUI

250 SOUTH HIGH STREET
WAILUKU, MAUI, HAWAII 96793

October 19, 1990

State of Hawaii
Dept. of Accounting & General Services
P.O. Box 119
Honolulu, Hawaii 96810

Attn: Mr. Charles Inatsuka
Public Works Division

Dear Mr. Inatsuka:

SUBJECT: Kihei Public Library
EIS Consultation Phase
Your Letter #IP1724.0

We have reviewed the above request and offer the following comments:

1. Sites A, C & D are within the tsunami and/or flood zone. As such, the project on these sites must conform to Ordinance 1145, pertaining to flood hazard districts.
2. Sites B & E do not appear to have adequate infrastructure (i.e. water, sewer, electricity and/or telephone).
3. That roadway and/or widening lots shall be required to provide for at least 56' rights-of-way and improved to County standards, to include but not be limited to, pavement widening, construction of curb, gutter and sidewalk, and relocation of utilities underground.
4. Detailed drainage and erosion control plans including, but not limited to, hydrologic and hydraulic calculations, scheme for controlling erosion and disposal of runoff water, and an analysis of the soil loss using the HESL erosion formula, should be prepared. The plan shall provide verification that the grading and runoff water generated by the project will not have an adverse effect on the adjacent and downstream properties.

MARION SUZUMOTO, P.E.
Land Use and Code Administration
DANIEL MILLER, P.E.
Westwater Reclamation Division
FRED ARABO, P.E.
Engineering Division
BRUNN WASHIRO, P.E.
Solid Waste Division
GEORGE KAYA
Highways Division

SYSTEMS OF PUBLIC WORKS
Engineering Division
P. M. Sec'y. Mr. [Signature]
S. Sec'y. Mr. [Signature]
P. M. Sec'y. Mr. [Signature]
S. Sec'y. Mr. [Signature]
P. M. Sec'y. Mr. [Signature]
S. Sec'y. Mr. [Signature]
P. M. Sec'y. Mr. [Signature]
S. Sec'y. Mr. [Signature]
P. M. Sec'y. Mr. [Signature]
S. Sec'y. Mr. [Signature]

Page 2
Mr. Charles Inatsuka
Kihei Public Library
October 19, 1990

5. That paved parking and loading spaces be provided per the County's Off-Street Parking and Loading Ordinance. In addition, appropriate landscaping and fencing shall be provided.
6. That the existing Kihei Wastewater Treatment Plant is operating at capacity. A plan to expand the plant has been formulated. However, the planned expansion is not contemplated to be completed by mid 1991. The County cannot guarantee that sewage capacity will be available at time of building permit application.
7. That no clearing and grubbing material shall be disposed of at the County sanitary landfill. The developer shall submit a solid waste management plan acceptable to the Department of Public Works. For additional information, the developer is requested to contact the Solid Waste Division.

If further clarification is required, please contact Francis Cerizo of the Land Use and Codes Administration at 243-7373.

Yours Very Truly,

[Signature]
Francis K. Pukunaga
Director of Public Works

AS:sn

cc: Engineering Division
Wastewater Reclamation Division
Solid Waste Division
Planning Department

JOHN WILKINS
Director



STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
P. O. BOX 114, HONOLULU, HAWAII 96810

RUSSEL S. NAGATA
Director
JAMES N. YISUGA
Chief, Districts
LETTER NO. (P)1973.0

Mr. Alvin K. Fukunaga
Page 2

Ltr. No. (P)1973.0

NOV 28 1990

Mr. Alvin K. Fukunaga
Director
Department of Public Works
250 South High Street
Wailuku, Maui, Hawaii 96793

Dear Mr. Fukunaga:

Subject: Kihel Public Library
EIS Consultation Phase

Thank you for your October 19, 1990 comments on the subject project. The Hawaii State Public Library System has tentatively selected Site D, Adjacent to Kalama Park, for the future public library and Site C, Malohuli Beach Homestead, as an alternative site. Our responses to your comments are as follows:

1. Flood Hazard Districts - The Draft EIS will require that projects on Sites A, C, and D which are within the tsunami and/or flood zone must conform to Ordinance 1145, pertaining to flood hazard districts.
2. Infrastructure - Sites B and E presently do not have adequate infrastructure. However, adequate infrastructure for Site E will be provided with the construction of the Pihani Village project. The Draft EIS will discuss the infrastructure to be provided by the library project and that which will be provided by other planned projects.
3. Roadway - The requirement that the roadway right-of-way must have a minimum width of 56 feet and must meet Maui County Standards, will be included for all sites.
4. Drainage and Erosion Control - The Draft EIS will state that detailed drain and erosion control plans for the selected project site will be prepared during the design of the project.

5. Parking - The Draft EIS will state that parking and loading spaces will be provided in accordance with the County's Off-street Parking and Loading Ordinance. In addition, landscaping and fencing will be provided in accordance with County requirements.
6. Sewer - Thank you for the additional information on the wastewater treatment plant. Your letter states that the treatment plant expansion "is not contemplated to be completed by mid 1991." Based on further clarification with Mr. Cerizo of your office, we understand that the first phase of plant expansion will be completed by the end of 1990 and the second phase will be completed by mid-1991. The Draft EIS will state that the treatment plant expansion is expected to be completed by mid-1991.
7. Solid Waste - Thank you for the information on solid waste. The Draft EIS will include information concerning requirements for disposal of clearing and grubbing material and for preparation of a solid waste management plan.

Mery trulx ypur,

RUSSEL S. NAGATA
State Comptroller

GIANNIBAL TAVARES
Mayor



COUNTY OF MAUI
PLANNING DEPARTMENT
250 S. HIGH STREET
WAILUKU, MAUI, HAWAII 96793

CHRISTOPHER L. HART
Planning Director
JOHN E. MIN
Deputy Planning Director

Russel S. Nagat
PAGE 2
September 25, 1990

September 25, 1990

Mr. Russel S. Nagata
State Controller
Department of Accounting
and General Services
P.O. Box 119
Honolulu, Hawaii 96810

Dear Mr. Nagata:

Subject: Kihai Public Library
EIS Consultation Phase

The Planning Department has reviewed the Environmental Impact Statement Preparation Notice for site selection for the Kihai Public Library. Our review finds that the information contained in the report pertaining to the Special Management Area and the appropriate zoning designations for a proposed library site are accurate.

In addition, you are advised that all sites with the exception of site B are located within the Special Management Area and are subject to Chapter 205-A of the Hawaii Revised Statutes as amended and Article II, Special Management Area Rules and Regulations of the County of Maui.

Article II, Section 2-8 and 2-9 of the Special Management Area provides that "No development within the Special Management Area shall be approved unless the Authority has first found that:

- (1) The development will not have any substantial adverse environmental or ecological effect except as such adverse effect is minimized to the extent practicable and clearly outweighed by public health, safety, or compelling public interest. Such adverse effect shall include, but not be limited to, the potential cumulative impact of individual developments, each one of which taken in itself might not have a substantial adverse effect and the elimination of planning options.

(2) The development is consistent with the objectives and policies as enumerated in Chapter 205A, Hawaii Revised Statutes.

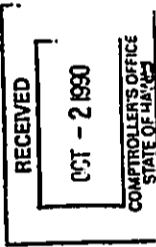
(3) The development is consistent with the county general plan, zoning, subdivision, and other applicable ordinances.

Thank you for the opportunity to comment on this matter. If further clarification is required, please contact this office.

Very truly yours,

Christopher L. Hart
CHRISTOPHER L. HART
Planning Director

cc: John Min
Ann Cua



OCT 2 1990
CONTROLLER'S OFFICE
STATE OF HAWAII

1	1st P.M. Sup.	2	Approved
1	P.M. Sec'y	2	SEA
1	Sub. Sec'y	2	Info
1	Public Aff. Dir.	2	File
1	Eng. Dir.	2	Design
1	Imp. Dir.	2	Construction
1	1st Asst. Dir.	2	Records
1	2nd Asst. Dir.	2	Mail

HANNIBAL TAVARES
Mayor



COUNTY OF MAUI
PLANNING DEPARTMENT
250 S. HIGH STREET
WAILUKU, MAUI, HAWAII 96793

CHRISTOPHER L. HART
Planning Director
JOHN E. MIN
Deputy Planning Director

Attn: J.E.M.

RECEIVED
OCT - 8 1990
COMPTROLLER'S OFFICE
STATE OF HAWAII

October 2, 1990

Mr. Russel S. Nagata, State Comptroller
State of Hawaii
Department of Accounting and General Services
P.O. Box 119
Honolulu, Hawaii 96810

Attn: Charles Inatsuka

Dear Sir:

Re: Kihai Public Library
EIS Consultation Phase

With reference to the above, this office would offer the following comments on a proposed public library for the Kihai area of Maui.

In the project description, under the title Project Need reference is made to "East Maui". The Kihai area is normally referred to as "South Maui". Also, notwithstanding the population projection of 22,900 persons by year 2000 indicated in the Kihai/Makena Community Plan, the actual population of the Kihai area will be higher due to unprecedented growth being experienced in the area. In the Project Description the matter of accommodating group room parking at a ratio of 1 stall per 100 sq. ft. and potential off-site drainage improvements should be considered. Finally in the section dealing with Infrastructure, reference is made to the Kihai Traffic Master Plan. Section D(6)(3) names the mauka/makai roadways one of which should be Ka'ono'ono not Kaonohu.

Site specifically we note that five sites have been selected for consideration as candidate sites for the proposed library. The obvious choice would be a site as centralized as possible and which can offer good access to the resident catchment area. Sites C, D, and E would offer the centralized criterium with sites C and D probably offering the best access. To utilize site A would likely require demolition of some of the existing facilities which could impact the community as the existing buildings are heavily used for various community based functions. Site B, although centrally located and accessible

Mr. Charles Inatsuka
October 2, 1990
Page 2

has the highway as a barrier which would impact persons wishing to use non-motorized vehicles, especially children. Site C is designated by the Kihai/Makena Community Plan (KMCP) for single family use and is currently zoned Residential (R-3). Libraries are not a permitted use in a residential district. Site D is designated by the KMCP for Public/Quasi Public use and is currently zoned Park. The intended zoning will be Public Quasi Public within which a library would be a permitted use. Site E has been designated as Park in Project District No. 5 and was intended to be used for that purpose. Without going into a complete in-depth analysis of each site, it would appear that this office might favor Site D which would be more in keeping with good planning objectives and would be more in compliance with local plans.

As the process continues, please keep this office informed. Should you require anything further, please do not hesitate to contact either the writer or staff planner Brian Miskae.

Yours very truly,

[Signature]
Christopher L. Hart
Director of Planning

cc: Mayor Hannibal Tavares
Charmalha Tavares, Director
Department of Parks and Recreation
B. Miskae



STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
P. O. BOX 118, HONOLULU, HAWAII 96781

RUSSEL S. NACHTA
COMPTROLLER
JAMES N. YASUDA
SENIOR COMPTROLLER
LETTER NO. (P)1955.0

Mr. Christopher L. Hart
Page 2

Ltr. No. (P)1955.0

NOV 20 1990

Mr. Christopher L. Hart
Director of Planning
Planning Department
County of Maui
250 South High Street
Wailuku, Maui, Hawaii 96793

Dear Mr. Hart:

Subject: Kihai Public Library
EIS Consultation Phase

Thank you for your September 25, and October 2, 1990 comments on the subject project. The Hawaii State Public Library System has tentatively selected Site D, Adjacent to Kalama Park, for the future library and Site C, Malohuli Beach Homeheads, as an alternative site. Our responses to your comments are as follows:

1. Project Description: Reference to Kihai being in "East Maui" has been revised to "South Maui."
2. Population: A statement about the likelihood of population growth in Kihai exceeding the projected year 2000 figure of 22,900 will be incorporated into the Draft EIS.
3. Parking: The stall requirements for group room parking at a ratio of 1 per 100 square feet for meeting facilities will be added to the project description.
4. Off-site drainage improvements: A statement will be included in the Draft EIS regarding possible requirements for the off-site drainage improvements as determined during the permit and plan review process by the County.

5. Infrastructure: Spelling of roadway Ka'ono'ulu will be corrected.

6. Site A: The potential impact of the demolition of the existing facilities on the community will be included.

7. Site B: A discussion of the potential impact of Pilihi Highway as a barrier to persons using non-motorized vehicles will be included.

8. Site C: Although the Zoning Ordinance does not specifically state that a library is a permitted use within a residential district (R-3), it is our interpretation that a library is a permitted use within the broadly defined category of "building used by government for public purposes." Use of the site for a library would also be quite similar to using the site for a school, which is permitted within Zone R-3. We have included a statement in the Draft EIS, that a zoning interpretation would be required and that the necessity of rezoning action is unlikely, for the reasons stated above.

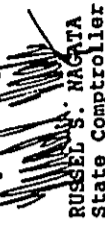
9. Site D: A statement regarding the County's "intended" zoning of Public/Quasi-public for the site has been included in our discussions.

10. Site E: The County's intention to utilize the site in accordance with the site's park zoning designation will be noted.

11. Special Management Area: Citing of State and County regulations governing sites within the SMA will be included in the Draft EIS.

We appreciate your input and will continue to keep you apprised.

Very truly yours,


RUSSEL S. NACHTA
State Comptroller

Maui Electric Company, Ltd. • 210 West Kamehameha Avenue • PO Box 398 • Kahului, Maui, HI 96732-0398 • (808) 871-8461

RECEIVED

OCT 12 8 35 AM '90

STATE OF HAWAII
DIVISION OF PUBLIC WORKS



October 11, 1990

Mr. Charles Inatsuka
Project Coordinator
Department of Accounting and General Services
1151 Punchbowl Street
P. O. Box 119
Honolulu, Hawaii 96810

Dear Mr. Inatsuka:

Re: Kihei Public Library
EIS Consultation Phase

We have reviewed the subject Kihei Public Library and have no comments. Please be aware that due to the increased construction activity on Maui, Maui Electric Company, Limited, may need a lead time of six months to a year to acquire certain equipment. This long lead time, along with design, permitting, and other processes, could further prolong the request for electrical service to the library.

Thank you for the opportunity to comment on the subject study. If there are any questions, please contact Reginald Foo at 871-2385.

Sincerely,

Edward L. Reinhardt
Edward L. Reinhardt
Manager, Engineering

ELR:rf

DIVISION OF PUBLIC WORKS
HONOLULU, HAWAII

1	Chief P.W. Engr.	Approved
	P.W. Sect.	Spec.
	Staff Serv. Br.	Inv.
2	Planning Br.	File
	Proj. Mgmt. Br.	Set. M.
	Design Br.	Contract
	Insp. Br.	Invest. &
	Qual. Cont. Engr.	Rep.
	Leasing Serv. Br.	



STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
DIVISION OF PUBLIC WORKS
P. O. BOX 119, HONOLULU, HAWAII 96810

JOHN WAINHE
Contractor

MUSSEL S. SAGATA
Contractor
JAMES H. YALUCA
Senior Consultant
(P)1968-0
LETTER NO.

NOV 23 1990

Mr. Edward L. Reinhardt
Manager, Engineering
Maui Electric Company, Ltd.
210 West Kamehameha Avenue
P. O. Box 398
Kahului, Maui, Hawaii 96732-0398

Dear Mr. Reinhardt:

Subject: Kihei Public Library
EIS Consultation Phase

Thank you for your October 11, 1990 letter stating that a lead time of six months to one year will be required by Maui Electric Company, Ltd. for equipment acquisition. Your letter will be included in the Draft EIS for consideration by the involved agencies in developing the project schedule.

The Hawaii State Public Library System has tentatively selected Site D, Adjacent to Kalamo Park, for the future public library and Site C, Waiohuli Beach Homesteads, as an alternative site.

Very truly yours,

Teuane Tomiraga
TEUANE TOMIRAGA

State Public Works Engineer

CI:hc

GTE Hawaiian Tel

Beyond the call

GTE Hawaiian Telephone Company Incorporated
P.O. Box 370 • Honolulu, HI 96810 • (808) 242-5376

JOHN WILLIAMS
DIRECTOR



STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
P. O. BOX 116, HONOLULU, HAWAII 96810

LETTER NO. (P)1966.0

Nov. 5, 1990

State of Hawaii
Dept. of Accounting and General Services
P.O. Box 119
Honolulu, HI 96810

Attn: Russ Nagata

Subject: Kihel Public Library

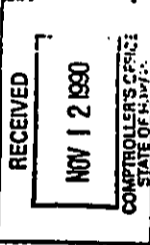
We have reviewed the proposed library sights and find no conflict at this time. However, the rapid growth of the Kihel area may attribute to delay in providing telephone service. This condition can be reduced with early notification of the approved sites and help in establishing communications with the electrical consultant preparing the working drawings.

We look forward to working with you and your consultant. If you have any questions you may contact Mr. William Murphy of OSP Engineering at 242-5261 or our Engineering Department at 242-5102.

Sincerely,

William Murphy
William Murphy
OSP Engineer

Ronald K. Saito
Ronald K. Saito
Supervising OSP Engineer



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NOV 13 11 27 AM '90
STATE OF HAWAII

Mr. Ronald K. Saito
Supervising OSP Engineer
GTE Hawaiian Telephone Co., Inc.
P. O. Box 370
Waiuku, Maui, Hawaii 96793

Dear Mr. Saito:

Subject: Kihel Public Library
EIS Consultation Phase

Thank you for your November 5, 1990 letter stating that you have not found any conflicts at any of the library candidate sites. However, we note that early coordination between our agencies is recommended to minimize any delay in providing telephone service.

The Hawaii State Public Library System has tentatively selected Site D, Adjacent to Kalamo Park, for the future public library and Site C, Waiohuli Beach Homesteads, as an alternative site.

Very truly yours,

Teuane Tomihaga
TEUANE TOMIHAGA
State Public Works Engineer

DEPARTMENT OF PUBLIC WORKS	DATE	INITIALS
Asst. Dir. Eng.		
Asst. Dir. Plan.		
Asst. Dir. Insp.		
Asst. Dir. Const.		
Asst. Dir. Maint.		
Asst. Dir. Purch.		
Asst. Dir. Comm.		
Asst. Dir. Adm.		
Asst. Dir. Legal		
Asst. Dir. Safety		
Asst. Dir. Traffic		
Asst. Dir. Energy		
Asst. Dir. Information		
Asst. Dir. Research		
Asst. Dir. Training		
Asst. Dir. Administration		



Post Office Box 662

Kihel, Maui 96753

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COMPTROLLER'S OFFICE
STATE OF HAWAII

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DIV. OF PUBLIC WORKS

September 26, 1990

Mr. Russel S. Nagata
State Comptroller
Department of Accounting and General Services
P.O. Box 119
Honolulu, Hawaii 96810

Re: Kihel Public Library
Letter dated September 11, 1990

Dear Mr. Nagata:

The timing for comments by October 5, 1990, does not allow us enough time to fully assess public opinion in our area regarding the four library sites: A, C, D, and E.

The four sites all considered favorable locations and the community is most pleased at the prospect of a public library in our fast growing area.

Site E, located next to Kihel schools, is most favored by parents; at least at our meeting of September 18th, but any of the proposed sites would be acceptable.

Sincerely,

Nancy Kitter

for Gene Thompson
President

GT:njrl

DIVISION OF PUBLIC WORKS	
COMMUNICATIONS UNIT	
TO	Approved
1. Mr. P. K. Lee	____
2. Mr. Secy.	____
3. Mr. Secy. B.	____
4. Mr. Secy. C.	____
5. Mr. Secy. D.	____
6. Mr. Secy. E.	____
7. Mr. Secy. F.	____
8. Mr. Secy. G.	____
9. Mr. Secy. H.	____
10. Mr. Secy. I.	____



STATE OF HAWAII
 DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
 DIVISION OF PUBLIC WORKS
 P. O. BOX 111, HONOLULU, HAWAII 96819

RYSEL E. MCGUIRE
 COMPTROLLER
 JAMES M. FARUQA
 STATE ENGINEER
 (P)1954.0

LETTER NO. _____

NOV 20 1990

Mr. Gene Thompson
 President
 Kihei Community Association
 P. O. Box 662
 Kihei, Maui, Hawaii 96753

Dear Mr. Thompson:

Subject: Kihei Public Library
 EIS Consultation Phase

Thank you for your September 26, 1990 comments regarding the subject project. The Hawaii State Public Library System has tentatively selected Site D, Adjacent to Kalama Park, for the future library and Site C, Maichuli Beach Homesteads, as an alternative site.

Please note that our study involves evaluation of five sites, not four as you have indicated.

We appreciate your informing us of the results of the poll taken at your September meeting, indicating parents' preference for Site E. Our preliminary evaluation of the five sites favors Sites C and D for the following reasons:

Site D, Adjacent to Kalama Park seems to offer the best potential for development as a library site, with major advantages being its ownership by the State, availability of utilities, the "public" Kihei-Makena Community Plan designation, and central location. The County Planning Department has also stated that based on their preliminary evaluation they might favor Site D since it is "more in keeping with good planning objectives and would be more in compliance with local plans".

Site C, Maichuli Beach Homesteads is an alternative to Site D. Although it is privately-owned, utilities are available and the location is central.

Mr. Gene Thompson
 Page 2

Ltr. No. (P)1954.0

Our major reservations about Site E, Adjacent to Kihei School concern the timing of the Piliani Village Project as related to the library project. The library facility will rely on road and utility improvements to be constructed by the Piliani Village Project which are scheduled for completion sometime in 1995. Construction of the library prior to completion of these improvements would involve either acquiring temporary access and utility connections through Kihei School, or incurring additional cost to construct a portion of the Piliani Village improvements.

The County Planning Department has also commented that Site E is designated for park use within Project District 5, and is intended to be used for that purpose.

Very truly yours,

TEUANE TOMIHARA
 State Public Works Engineer

CI:hc

XII. EIS PUBLIC REVIEW PHASE, COMMENTS AND RESPONSES

The following agencies, organizations and individuals provided comments on the Site Selection Study and Draft EIS. A total of 15 comment letters were received.

An asterisk (*) indicates those with comments which required responses. The comment and response letters are reproduced in this section. All other letters did not require responses and are reproduced in this section.

A. Federal Agencies

1. Department of the Army, U.S. Army Engineer District, Honolulu
2. Department of the Navy

B. State Agencies

1. Department of Business and Economic Development
2. Department of Defense
- *3. Department of Health
4. Department of Land and Natural Resources
5. Department of Transportation
- *6. Environmental Center, University of Hawaii
7. Office of Environmental Quality Control
8. Department of Agriculture
9. Office of State Planning
10. Housing Finance and Development Corporation

C. County Agencies

- *1. Department of Human Concerns
- *2. Department of Public Works
3. Department of Water Supply

D. Organizations and Individuals


- *1. Kihei Community Association

Mr. Choy
March 6, 1991
Page 2

Wastewater

The alternative sites for the subject project are within the County sewer service system. As stated in Section 11-62-06(b) of the Administrative Rules Chapter 11-62, "Wastewater Systems", all projects within county sewer service areas shall be connected. However, we do reserve the right to review all detailed wastewater plans for conformance to applicable rules.

Should you have any further questions, please contact Harold Yee of the Wastewater Branch at telephone 543-8287.


John C. LEWIN, M.D.

cc: OEQC
Fukunaga & Associates

March 6, 1991

To: Russel S. Nagata, Comptroller
Department of Accounting & General Services

From: Director of Health

Subject: Draft Environmental Impact Statement for the Site
Selection for the New Kihei Public Library
Kihei, Maui
Site A--Kihei Community Complex
TMK: 3-9-06: 11
Site B--Future County Civic Center
TMK: 2-2-02: Portion 54
Site C--Waiohuli Beach Homesteads
TMK: 3-9-11: 18
Site D--Adjacent to Kalama Park
TMK: 3-9-12: 13
Site E--Adjacent to Kihei School
TMK: 2-2-02: Portion 42

We have reviewed the material on the subject project submitted by your office. We have the following comments:

Noise and Radiation

The facility should be designed to minimize potential noise impact on adjacent residences from stationary equipment such as air conditioning units and exhaust fans.

Further, please note that under section V-A-1 titled Construction Noise, the provisions of Department of Health, Administrative Rules, Chapters 11-42 and 11-43 applies only to the island of Oahu. However, mitigative measures toward minimizing noise disturbances from construction activities should also be implemented on the neighbor islands.



STATE OF HAWAII

DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES

P. O. BOX 111, HONOLULU, HAWAII 96810

RUSSEL S. NGATA
COMPTROLLER
ROBERT P. FAUCI
DEPUTY COMPTROLLER

LETTER NO. (D)1567.1

JUN 4 1991

Honorable John Lewin
Director
Department of Health
State of Hawaii
Honolulu, Hawaii

Dear Dr. Lewin:

Subject: Kihei Public Library
Draft EIS (Public Review Phase)

Thank you for your March 6, 1991 comments on the draft EIS. Our responses to your comments are as follows:

1. Noise and Radiation

During the design phase, measures to minimize potential noise impact on adjacent residences from both permanent stationary equipment and construction activities will be incorporated in accordance with applicable codes and regulations.

2. Wastewater

We concur with your statements which are included in the draft EIS. During the design phase, we will coordinate the wastewater plans with your department.

We appreciate your input for this project.

Very truly yours,

RUSSEL S. NGATA
State Comptroller



RECEIVED

FEB 25 12 14 PM '91

University of Hawaii at Manoa

Office of Environmental Works

Environmental Center
A Unit of Water Resources Research Center
Crawford 317 • 2550 Campus Road
Honolulu, Hawaii 96822
Telephone (808) 956-7361

February 22, 1991
RE:0570

Governor, State of Hawaii
c/o Office of Environmental Quality Control
Central Pacific Plaza
220 South King Street, 4th Floor
Honolulu, Hawaii 96813

Dear Governor:

Draft Environmental Impact Statement (EIS)
New Kihei Public Library Site Selection
Kihei, Maui

The above referenced project includes the building of a 15,500 square foot public library on one of five sites under consideration within the Kihei service area.

The Environmental Center has reviewed this Draft EIS with the assistance of Glenn Shepherd, former geologist of Maui Community College; and Jacquelin Miller and Lee Lyttle, Environmental Center.

General Comment

Given the nature and scale of the proposed action, the document was found to be well prepared and presented a reasonable methodology for analyzing a number of diverse sites.

Project Need (page I-3)

The year 2000 population projection of 22,900 for the planning area, which is used as the basis for the facility's size and site area, appear to be low. Maui County's Office of Economic Development estimates that the existing population of the Maalaea to Maiea to be already almost 16,400. As correctly pointed out, the area is experiencing unprecedented growth. A longer term, more realistic planning view should be discussed in this section.

It is also unclear if the alternative sites include room for expanding both the building and the required parking area due to growth.

AN EQUAL OPPORTUNITY EMPLOYER

Governor, State of Hawaii
February 22, 1991
Page 2

Proposed Project (page I-3)

In a multi-site evaluation process such as this, it is understandable why many of the design details have not been presented. Nevertheless, these details could potentially include elements which would significantly affect the local environment. Once a site is decided upon, it is recommended that the detail design phase of the project be open to community input. Further, should any extraordinary grading or construction techniques be proposed, additional environmental review should be undertaken.

Soils (page II-18)

It is unclear if core samplings from the various sites were done to verify the 1972 U.S. Soils Conservation Service survey. Statements about foundation stability are questionable without this type of data.

Traffic (page V-11)

Given questionable population forecasts, the traffic impact sections should be updated along with any required mitigation. Further, Alternative D, the preferred site, is rated as poor for pedestrian access. Measures, such as pedestrian paths and walkways, should be detailed to mitigate this drawback. This section also states that the right-of-way is 40 feet, yet the Public Works Department has indicated, in its consultation letter in Section XI, that the minimum right-of-way should be 56 feet. This should be clarified. If 56 feet is required, then a discussion of the impacts to adjacent properties that will be affected by the taking of lands for road right-of-ways should be included.

Land Use Plans, Policies, and Controls

Does the State library or Maui Library district have a service plan under which this activity falls and which details its goals for the future?

Public Health and Safety (page V-6)

It is stated that about 50 percent of 'Alternative D', the preferred alternative, is in a flood hazard area. The data presented indicates that the library structure would have to be elevated by a minimum of 3 feet. Our reviewers question, however, whether building in a flood plain is wise and constitute good public policy even if the site is rated high on other criteria.

Thank you for the opportunity to comment on this document.

Yours truly,

John T. Harrison, Ph.D.
Environmental Coordinator

- cc: DACS
Royce Fukunaga, Fukunaga and Associates
Roger Fujitoka, WERC
Glenn Shepherd
Jacquelin Miller
Lee Lyttle



STATE OF HAWAII

DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES

P. O. BOX 111, HONOLULU, HAWAII 96822

LETTER NO. (P)1453.1

APR 30 1991

Dr. John Harrison
Environmental Coordinator
Environmental Center
University of Hawaii at Manoa
2550 Campus Road
Honolulu, Hawaii 96822

Dear Dr. Harrison:

Subject: New Kihei Public Library
Draft EIS (Public Review Phase)

Thank you for your February 22, 1991 comments on the Draft EIS for the New Kihei Public Library. Our responses to your comments are as follows:

1. Project Need

- a. Although numerous population projections have been made for the Kihei area, we are using the population projection of 22,900 for the year 2000 from the Kihei-Makana Community Plan which reflects the current public sentiment to control the rate of growth. Please note that the County is currently in the midst of a General Plan review that will attempt to address the rate of growth throughout the island.
- b. The alternative sites were sized on the basis of providing sufficient space for a projected building size of 15,500 square feet and appropriate parking areas. Given the current information on population projections, the Hawaii State Public Library System feels that the sites are adequate for any anticipated growth.

2. Proposed Project

Since this is a site selection and environmental assessment process, all of the pertinent environmental concerns will be addressed and exposed.

However, should the design process uncover elements that would significantly affect the environment or propose any extraordinary grading or construction techniques, a revised assessment would be prepared.

3. Soils

We did not attempt to verify the 1972 U. S. Soils Conservation Service survey with core samplings from the various sites. However, we feel that the survey results should be representative of the general characteristics of the area and are sufficient for the purposes of evaluation. Upon selection of a final site, a soil investigation will be undertaken to insure that any potential soil problems are mitigated.

4. Traffic

The section on traffic assesses the degree and extent to which the facility will impact local traffic at each of the five sites. Therefore, it is closely aligned with the County's Kihei Traffic Master Plan (KTRP) which projects full development of the area by the year 2008. Please note that required improvements follow recommendations contained in the KTRP.

The poor rating for pedestrian access of Alternative D is a measure of the site's physical constraints which allow access only from one side of the property. It is not a measure of accessibility afforded by physical facilities such as off-site pedestrian paths and walkways which are beyond the jurisdiction of the HSPS. We included this criterion because we feel that it is better to enter the library site from three sides rather than one.

The existing right-of-way of Waimahaihai Street is 40 feet. The 56 feet right-of-way mentioned in the Public Works Department's consultation letter is a future requirement the County will impose for the area. This setback requirement will be included as part of the site requirements for the library. Therefore, since the taking of lands for the road right-of-ways will be a County function, we feel that such impacts should be addressed by the County when they implement such requirements.

Dr. John Harrison
Page 3

Ltr. No. (P)1453.1

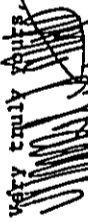
5. Land Use Plans, Policies and Controls

The Hawaii State Public Library System develops policies and goals for the operation of public libraries throughout the State. On Maui this is done in concert with input from the Maui Library Advisory Commission (LAC). The "service plan" and future goals are continually discussed in the deliberations between the Maui LAC and State Library System.

6. Public Health and Safety

Approximately one-half of the preferred alternative is within the flood fringe district and is subject to shallow flooding to a depth of one-foot during the 100-year storm. This problem can be mitigated by raising the finished floor elevation above elevation seven feet MSL.

Although construction of a facility within a flood plain may be questionable, we feel that the flood problems in this area are mitigable.

Very truly yours,

RUSSEL S. MAGATA
State Comptroller



DEPARTMENT OF
HUMAN CONCERNS
COUNTY OF MAUI

ECONOMIC DEVELOPMENT DIVISION

200 SOUTH HIGH STREET, WAILUKU, HAWAII 96793

LINDA CROCKETT LINGLE
MAYOR
STEPHANIE AVEIRO
DEPUTY MAYOR
HENRY OLIVA
DEPUTY MAYOR

(808) 243-7710

January 22, 1991

Honorable John Waihee, Governor
State of Hawaii
c/o The Office of Environmental
Quality Control
465 S. King Street, Room 104
Honolulu, Hawaii 96813

Dear Governor Waihee:

Subject: Environmental Impact Statement For The New Kihai
Public Library

The Office of Economic Development have reviewed the subject Environmental Impact Statement and find that, in general it has adequately identified and addressed the major environmental impacts which can be anticipated to result from the proposed project.

However, we feel that there is a need to address the possibility of a multi-purpose use of the facility, i.e., after school program. If this is possible, then the site next to the Kihai School would be the prime site.

We have no other comments to offer at this time; however, we thank you for the opportunity to review and express our comments.

Very truly yours,

Fred Matsumoto
FRED MATSUMOTO
Economic Development Coordinator

cc: DAGS
1151 Punchbowl Street
Kalanimoku Bldg., Room 430
Honolulu, HI 96813
Attn: Charles Inatsuks

Royce S. Fukunaga
c/o Fukunaga & Associates, Inc.
1388 Kapiolani Blvd., 2nd Floor
Honolulu, HI 96814



STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
DIVISION OF PUBLIC WORKS

P. O. BOX 111, HONOLULU, HAWAII 96810

LETTER NO. (P)1304.1

AUGUST S. NAGATA
COMPTROLLER
RECEIVED
DIVISION OF PUBLIC WORKS
HONOLULU, HAWAII

MAR 25 1991

Mr. Fred Matsumoto
Economic Development Coordinator
Economic Development Division
Department of Human Concerns
County of Maui
200 South High Street
Wailuku, Maui, Hawaii 96793

Dear Mr. Matsumoto:

Subject: Kihai Public Library
Draft EIS (Public Review Phase)

Thank you for your January 22, 1991 comments on the draft EIS for the subject project.

Your comment favoring the site next to Kihai School has merit. The problem is that this site depends on extensive infrastructure development for the adjacent Piilani Village project. Since these improvements are not anticipated until 1995, such infrastructure costs would have to be borne by the State.

We appreciate your input for this project.

Very truly yours,

Teuane Toming
TEUANE TOMING
State Public Works Engineer

CI:jkc

LINDA CROCKETT LINGLE
Mayor
GEORGE N. KAYA
County



COUNTY OF MAUI
DEPARTMENT OF PUBLIC WORKS

215 SOUTH KING STREET
HONOLULU, MAUI, HAWAII 96813

March 1, 1991

Governor, State of Hawaii
C/O Office of Environmental Quality Control
465 South King Street, Room 104
Honolulu, Hawaii 96813

Gentlemen:

Re: Site Selection for the New Kihei Public Library at Kihei,
Maui, Hawaii (2-2-02:42, 54; 3-9-06:11; 3-9-11:18;
3-9-12:13)

We have reviewed the subject application and offer the following comments:

1. That the architect and owner is advised that some project sites are subject to possible tsunami and flood inundation. As such, said project must conform to Ordinance No. 1145, pertaining to flood hazard districts.
2. That road widening lots be provided for the adjoining halves of adjacent County streets to provide for a future 56-foot rights-of-way and improved to County standards, to include but not be limited to, pavement widening, construction of curb, gutter and sidewalk, and relocation of utilities underground. Said lot shall be dedicated to the County upon completion of the improvements.
3. That the existing roadways do not meet County standards based on roads located in urban district.
4. That a final detailed drainage and erosion control plan for each site including, but not limited to, hydrologic and hydraulic calculations, scheme for controlling erosion and disposal of runoff water, and an analysis of the soil loss using the HESL erosion formula, be submitted for our review and approval. The plan shall provide verification that the grading and runoff water generated by the project will not have an adverse effect on the adjacent and downstream properties.

RON SHIMOTO, P.L.
Land Use and Codes Administration
EASSIE MILLER, P.E.
Assistant to the Administrator
RALPH H. NAGAMINE, P.E.
Engineer in Charge
Solid Waste Division
HELVIN HIPOLITO
Staff Assistant

Page 2
March 1, 1991
Office of Environmental Quality Control
TKN: 2-2-02:42, 54; 3-9-06:11;
3-9-11:18; 3-9-12:13

5. That paved parking spaces, loading spaces, appropriate landscaping, and fencing be provided per the County's Off-Street Parking and Loading Ordinance.
6. That a library is a permitted use at Sites A, C, D, and E. Site B is within the State Land Use agricultural district and requires a special use permit from the County's Maui Planning Commission.
7. That sites within the County's special management area (SMA), requires SMA permit for all proposed improvements.
8. That bicycle accessibility be considered at all proposed sites and addressed in the site selection.
9. That vehicle, pedestrian, and bicycle circulation patterns be analyzed at the "on-site" and "off-site" areas.
10. That on Page II-11, please note corrections, 4.0 million gallons per day (MGD) instead of 4.2 MGD, and 6.0 MGD instead of 6.2 MGD.
11. That the existing Kihei Wastewater Treatment plant is operating at capacity. A plan to expand the plant has been formulated and under construction. The project is contemplated to be completed by the end of May, 1991.
12. That no clearing and grubbing material shall be disposed of at the County sanitary landfill. The developer shall submit a solid waste management plan acceptable to the Department of Public Works. For additional information, the developer is requested to contact the Solid Waste Division.

If you have any questions, please contact the Land Use and Codes Administration at 243-7373.

Very truly yours,

George N. Kaya
GEORGE N. KAYA
Director of Public Works

LL/mt

cc: Maui County Planning Department
DAGS
Fukunaga & Assoc., Inc.

Mr. George N. Kaya Ltr. No. (P)1639.1

RUSSEL S. MIGHTA
COMPTROLLER
COUNTY OF MAUI
JUN 25 1991
SEALY COMPTROLLER

LETTER NO. (P)1639.1



STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
DIVISION OF PUBLIC WORKS
P. O. BOX 111, HONOLULU, HAWAII 96819

JUN 25 1991

Mr. George N. Kaya
Director
Department of Public Works
County of Maui
250 South High Street
Wailuku, Maui, Hawaii 96793

Dear Mr. Kaya:

Subject: Kihei Public Library
Draft EIS (Public Review Phase)

Thank you for your March 1, 1991 comments on the subject project. We offer the following responses to your comments:

1. The project will meet the requirements of Ordinance No. 1145, pertaining to flood hazard districts.
2. The project will be designed in accordance with County standards and include 56-foot wide road widening lots. Road widening lots will be dedicated to the County upon completion of construction.
3. We acknowledge that the roadways in the project service area do not meet County standards for roads located in an urban district.
4. A drainage and erosion control plan will be submitted for County approval during the design phase of the project.
5. Paved parking and loading spaces, landscaping and fencing shall meet the requirements of the County Off-Street Parking and Loading Ordinance.
6. We acknowledge that a library is a permitted use at Sites A, C, D and E and that Site B is located within the State Land Use agricultural district which requires a special use permit from the Maui County Planning Commission.

7. We acknowledge that construction within the County Special Management Area (SMA) will require an SMA permit.
8. Bicycle access was considered in the rating of the candidate sites as part of the site selection process.
9. Vehicle, pedestrian and bicycle circulation patterns and impacts will be analyzed during the design phase of the project.
10. The EIS will be revised to show that the current and future design capacities of the Kihei Wastewater Treatment Plant are 4.0 MGD and 6.0 MGD, respectively.
11. We acknowledge that the Kihei Wastewater Treatment Plant is operating at capacity and that expansion of the plant is expected to be completed by the end of May 1991.
12. A solid waste management plan will be submitted for County approval during the design phase of the project.

We appreciate your input for this project.

Very truly yours,

TEUANE TOMIHAGA
State Public Works Engineer

MY:bk



Post Office Box 662

Tel: 879-5390

Department of Accounting and General Services
Division of Public Works
Planning Branch
PO Box 119
Honolulu, HI 96810-0119

Subject: Kihai Public Library
EIS Public Review Phase

To Whom It May Concern:

The undersigned has read the draft Environmental Impact Statement and discussed the report with the board of directors of the Kihai Community Association.

First, I would like to compliment and thank the department for a most complete, well-thought-out report which keeps the best interest of our community in mind. We appreciate the opportunity to review and comment on the report.

We are pleased with the site proposed for the new library. This site will allow for more rapid implementation than might otherwise be the case. We are also pleased that the new library will adjoin and relate to Kalama Park, our largest county park and one of the most beautiful in the islands.

Although it is probably premature to comment on the building and site design, a number of suggestions came up at our recent board meeting:

1. Additional vehicular access through Kalama Park to the library. Such an access would be safer and easier in some cases. We would have to work this out with the Maui Parks and Recreation Department but site design might take this into consideration.
2. Relationship of the building to Kalama Park:
 - a. View of the park and water from the main parts of the library.
 - b. Because the Kalama Park side of the building is the lee side, a shaded outdoor courtyard would add to the use and enjoyment of the facility.

RECEIVED
FEB 14 9 33 AM '91
Kihai, Maui 96753
DIV. OF PUBLIC WORKS
February 8, 1991

Mr. Tolson	_____
Mr. DeLoach	_____
Mr. Mohr	_____
Mr. Bishop	_____
Mr. Casper	_____
Mr. Callahan	_____
Mr. Conrad	_____
Mr. Felt	_____
Mr. Gale	_____
Mr. Rosen	_____
Mr. Sullivan	_____
Mr. Tavel	_____
Mr. Trotter	_____
Tele. Room	_____
Miss Holmes	_____
Miss Gandy	_____

In general, taking full advantage of the beautiful view from the site could make the new Kihai Library a superior facility.

Be assured of the cooperation and support of our association and the community for this long-awaited addition to our rapidly growing area.

Sincerely,

Gene Thompson
Gene Thompson, President

cc: Mr. Meyer Ueoka
Mrs. Mary Helen Ivey

JOHN WAIHEE
GOVERNOR



STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
DIVISION OF PUBLIC WORKS
P. O. BOX 118, HONOLULU, HAWAII 96810

MUSSEL S. HIGATA
COMPTROLLER
ROBERT P. VEITCH
DEPUTY COMPTROLLER
LETTER NO. (P)1300.1

MAR 25 1991

Mr. Gene Thompson
President
Kihei Community Association
P. O. Box 562
Kihei, Maui, Hawaii 96753

Dear Mr. Thompson:

Subject: Kihei Public Library
Draft EIS (Public Review Phase)

Thank you for your February 8, 1991 comments on the subject project. Upon initiation of the design phase, we will request our consultant to consider your suggestions on the building and site design.

We appreciate your input for this project.

Very truly yours,

TEVANE TOMINAGA
State Public Works Engineer

CI:jk

DEPARTMENT OF THE NAVY
 COMMANDER
 NAVAL BASE PEARL HARBOR
 BOX 110
 PEARL HARBOR, HAWAII 96860-5020

IN REPLY REFER TO
 5090
 Ser 00F2/0016
 17 JAN 1991



The Office of Environmental Quality Control
 465 South King Street, Room 104
 Honolulu, HI 96813

Gentlemen:
 SITE SELECTION FOR THE NEW KIHEI PUBLIC LIBRARY

The Draft Environmental Impact Statement (DEIS) for Site Selection for the new Kihai Public Library, Kihai, Maui has been reviewed, and we have no comments to offer. Since we have no further use for the DEIS, it is being returned to your office.

Thank you for the opportunity to review the draft.

Sincerely,

W.K. Liu

W. K. LIU
 Assistant Base Civil Engineer
 By direction of
 the Commander

Copy to: (w/o encl)
 DAGS
 Fukunaga & Associates, Inc.

DEPARTMENT OF THE ARMY
 U. S. ARMY ENGINEER DISTRICT, HONOLULU
 BUILDING 210
 FT. SHAFTER, HAWAII 96868-5440

February 19, 1991

REPLY TO
 ATTENTION OF
 Planning Division

Dr. Bruce Anderson
 Acting Interim Director
 Office of Environmental
 Quality Control
 465 South King Street, Room 104
 Honolulu, Hawaii 96813

Dear Dr. Anderson:

We have reviewed the Draft Environmental Impact Statement for the Site Selection for the New Kihai Public Library, Kihai, Maui. Our comments in response to the Preparation Notice (letter dated October 1, 1990) have been incorporated into the document. We have no additional comments.

Sincerely,

Clarence S. Joffe
 Clarence S. Joffe
 Acting Director of Engineering

Copies furnished:

- ✓ Department of Accounting and General Services
 1151 Punchbowl Street
 Kalanimoku Building, Room 430
 Honolulu, Hawaii 96813

Royce S. Fukunaga
 c/o Fukunaga and Associates, Inc.
 1388 Kapiolani Boulevard, 2nd Floor
 Honolulu, Hawaii 96814

RECEIVED
 10/22/91
 10:00 PM '91

DIVISION OF PUBLIC WORKS ACTUAL FOR YOUR	
10	Approval
11	Permit
12	Inspection
13	Plan
14	Spec. & Est.
15	Contract
16	Inv. & Insp.
17	Q. & Cost. Eng.
18	Training Serv. Br.



**DEPARTMENT OF BUSINESS
AND ECONOMIC DEVELOPMENT**

ENERGY DIVISION, 333 MERCHANT ST., 8th FL., HONOLULU, HAWAII 96813 FAX: (808) 531-5243

JOHN WAIHEE
GOVERNOR
ROGER A. UELAND
COMMISSIONER
BARBARA B. MURPHY
DEPUTY DIRECTOR
LESLIE S. MATSUOKA
DEPUTY DIRECTOR

JOHN WAIHEE
GOVERNOR



**STATE OF HAWAII
DEPARTMENT OF DEFENSE**
OFFICE OF THE ADJUTANT GENERAL
349 DELMOND ROAD, HONOLULU, HAWAII 96819-1005

ALPHA 1 UNIT
HONOLULU, HAWAII
WALTER M. MATSUOKA
LIEUTENANT COLONEL
HAWAII AIR NATIONAL GUARD

January 23, 1991

January 22, 1991

Engineering Office

The Honorable John Waihee
Governor, State of Hawaii
State Capitol
Honolulu, Hawaii 96813

Dear Governor Waihee:

Subject: Site Selection for the New Kihel Public Library
Kihel, Maui
THK: 2-2-02-42, 54; 3-9-06:11; 3-9-11:18; 3-9-12:13

We wish to inform you that we have no comments to offer on the subject environmental impact statement preparation notice.

Thank you for the opportunity to review the document.

Sincerely,

Barbara Kim Stanton
for
Barbara Kim Stanton
Acting Director

BKS:MHK/hkeis23

cc: Charles Inatsuka, Department of Accounting and General Services
Royce S. Fukunaga, Fukunaga and Associates, Inc.
Dr. Harvin T. Miura, Office of Environmental Quality Control

Governor, State of Hawaii
c/o The Office of Environmental Quality Control
465 South King Street, #104
Honolulu, Hawaii 96813

Dear Governor:

Site Selection for the New Kihel Public Library

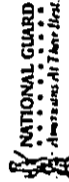
Thank you for providing us the opportunity to review the above subject project.

We have no comments to offer at this time regarding this project.

Sincerely,

Walter M. Matsuoka
Walter M. Matsuoka
Lieutenant Colonel
Hawaii Air National Guard
Contracting & Engineering Officer

cc: Mr. Charles Inatsuka, Dept. of
Accounting & General Services
Mr. Royce S. Fukunaga
Fukunaga and Associates, Inc.



JOHN WISHKE
CONTROLLER OF ACCOUNTS

RECEIVED
FEB 25 2 26 PM '91



DEPARTMENT OF LAND AND NATURAL RESOURCES
STATE HISTORIC PRESERVATION DIVISION
33 SOUTH KING STREET, 6TH FLOOR
HONOLULU, HAWAII 96813

WILLIAM W. MITT. CURRIERSON
DIRECTOR OF LAND AND NATURAL RESOURCES

EDITH W. LAKE
ADMINISTRATIVE ASSISTANT

INDUSTRY DEVELOPMENT
SOIL CONSERVATION
CONSERVATION AND
COMMERCE AFFAIRS
RESOURCES ENFORCEMENT
CONTRACTS
FORESTRY AND WILDLIFE
MANAGEMENT
LAND MANAGEMENT
STATE PARKS
WATER RESOURCES MANAGEMENT

MEMORANDUM

TO: Russell S. Nagata, Comptroller
Department of Accounting and General Services

FROM: Don Hibbard, Administrator
State Historic Preservation Division

SUBJECT: Chapter 6Z Compliance -- Review of the Draft EIS for the
the Site Selection for the New Kihei Public Library
Kihei, Maui
TKM 2-2-02:42, 54; 3-9-06:11; 3-9-11:18; 3-9-12:13

February 22, 1991

JOHN WISHKE
CONTROLLER



STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION
869 PUNCHBOWL STREET
HONOLULU, HAWAII 96813-5097

REC'D

91 MAR 12 09:45

March 11, 1991

OFFICE OF ENVIRONMENTAL
QUALITY CONTROL

MEMORANDUM

TO: Dr. Bruce Anderson, Deputy Director
Office of Environmental Quality Control

FROM: Edward Y. Hirata
Director of Transportation

SUBJECT: DRAFT ENVIRONMENTAL IMPACT STATEMENT,
SITE SELECTION FOR THE NEW KIHAI
PUBLIC LIBRARY, KIHAI, MAUI

Thank you for the opportunity to review and comment on this document.

This document identifies five candidate sites for the New Kihei Library and the site (Site D) adjacent to Kalama Park (TKM 3-9-12:13) has been selected for the new public library.

Our comments are limited to historic preservation concerns which are addressed in pages 11-19 (item 9) and V-3 (item 8) of this document. Page 11-19 is accurate in stating that there are no sites listed on the National Register in the site selection area. The two historic sites mentioned as listed on the Hawaii Register of Historic Places are not located in the selected site or the other candidate sites.

In page V-3, this document states that an archaeological inventory survey was conducted in the selected site and that no archaeological sites were identified. It also states that the archaeologist recommends archaeological monitoring during grading. The survey report has been attached to the draft EIS as Appendix C. We reviewed this report and we concur with its findings and recommendation. It appears that this project will have "no effect" on significant historic sites, with monitoring to cover contingency concerns.

Should you have any questions, please contact Ms. Annie Griffin at 587-0013.

cc: Royce Fukunaga, Fukunaga & Associates, Inc.
The Office of Environmental Quality Control

WHS: ps. subd copies to appropriate parties

EDWARD Y. HIRATA
DIRECTOR

DEPUTY DIRECTORS
AL PANG
JOYCE Y. OHME
JEANNE K. SCHULTZ
CALVIN M. TSUDA

BY REPLY REFER TO
HWY-PS
2.5924

Thank you for your transmittal of January 14, 1991, requesting our review of the subject DEIS.

The placement of the proposed public library at the tentatively selected site (adjacent to Kalama Park), or the alternative site (Waiohuli Beach Homesteads) will not impact our State highway facilities.

JOHN WAIHEE
GOVERNOR



State of Hawaii
DEPARTMENT OF AGRICULTURE
1424 So. King Street
Honolulu, Hawaii 96814-2512
February 14, 1991

YUKIO KITAGAWA
CHAIRPERSON, BOARD OF AGRICULTURE
ILIMA A. PIIANAIKA
DEPUTY TO THE CHAIRPERSON
FAX: 548-6100

Mailing Address:
P. O. Box 22159
Honolulu, Hawaii 96823-2159



STATE OF HAWAII
OFFICE OF ENVIRONMENTAL QUALITY CONTROL
45 SOUTH KING STREET, ROOM 104
HONOLULU, HAWAII 96813

January 17, 1991

Dr. Bruce Anderson
Acting Director
TELEPHONE NO
548-8913

RECEIVED
JAN 17 9 58 AM '91
HAWAII PUBLIC WORKS
1005

Mr. Teuane Tominaga
State Public Works Engineer
Department of Accounting and General Services
Division of Public Works
P.O. Box 119
Honolulu, HI 96810

Dear Mr. Tominaga:

SUBJECT: Draft Environmental Impact Statement for the
Selection for the New Kihei Public Library, Kihei,
Maui

To: Office of Environmental Quality Control
From: Yukio Kitagawa, Chairperson
Board of Agriculture
Subject: Draft Environmental Impact Statement (DEIS) for
Site Selection for New Kihei Public Library
Department of Accounting and General Services
TKK: 3-9 (3 sites)
2-2 (2 sites) Kihei, Maui

We have reviewed the document listed above and have no
comments to offer at this time.

Thank you for the opportunity to submit comments on this
project.

Sincerely,

Bruce S. Anderson

Bruce S. Anderson, Ph.D.

Thank you for the opportunity to comment.

c: Department of Accounting and General Services
Fukunaga and Associates, Inc. /

SEARCHED
SERIALIZED
INDEXED
FILED
JAN 17 1991
FBI - HONOLULU





OFFICE OF STATE PLANNING

Office of the Governor

STATE CAPITAL, HONOLULU, HAWAII 96813 TELEPHONE 808/541-5913

FORM NO. 1 (1-79)



STATE OF HAWAII
DEPARTMENT OF BUDGET AND FINANCE
HOUSING FINANCE AND DEVELOPMENT CORPORATION
SEVEN WATERFRONT PLAZA, SUITE 200
HONOLULU, HAWAII 96813
FAX (808) 542-8841

FORM NO. 1 (1-79)

JOSEPH K. CONANT
RECEIVING DIRECTOR

IN REPLY REFER TO:

91:PLNG:99214
RECEIVED
FEB 4 1 00 PM '91
STATE OF HAWAII
PUBLIC WORKS

February 28, 1991

February 21, 1991

To: Governor, State of Hawaii
c/o OEQC

From: Joseph K. Conant
Executive Director

Subject: DRAFT ENVIRONMENTAL IMPACT STATEMENT FOR THE SITE
SELECTION FOR THE NEW KIHEI PUBLIC LIBRARY

Thank you for the opportunity to review the subject report. We have no comments to offer.

Enclosed is the draft EIS.

JT:eks

Enclosure

c: Charles Inatsuka, DAGS
Royce S. Fukunaga, Fukunaga and Associates, Inc.

Dr. Bruce Anderson
Office of Environmental Quality Control
465 South King Street, Room 104
Honolulu, Hawaii 96813

Dear Dr. Anderson:

Subject: Environmental Impact Statement (EIS)
for the New Kihei Public Library
Kihei, Maui

We have reviewed the Environmental Impact Statement for the site selection for the New Kihei Public Library to serve the Maalaea, Kihei, Maileia, and Makena areas on the Island of Maui. According to the EIS, this new facility would provide a permanent library to replace the Kihei Library Station.

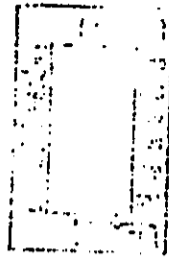
We have reviewed the document and have no comments to offer at this time.

Thank you for the opportunity to comment.

Sincerely,

Harold S. Masumoto
Harold S. Masumoto
Director

cc: DAGS
Royce S. Fukunaga





DEPARTMENT OF WATER SUPPLY
COUNTY OF MAUI
P.O. BOX 1108
WAILUKU, MAUI, HAWAII 96793-7108

January 29, 1991

Honorable Governor John Waihee
c/o Office of Environmental
Quality Control
465 South King Street, Room 104
Honolulu, Hawaii 96813

Dear Governor Waihee:

Re: Environmental Impact Statement
Site Selection for the New Kihei Public Library

Please be advised that Fukunaga and Associates, Inc. has been in contact with us regarding the foregoing. They have indicated that supplemental information relating to fire protection at each site will be included in the revised EIS.

They have indicated that they will continue to be in contact with us on the information to be added to the revised EIS.

Sincerely,

Ree W. Shikuma
Director

cc: Department of Accounting and General Services
1151 Punchbowl Street
Kalanimoku Building, Room 430
Honolulu, Hawaii 96813
Attn: Charles Inatsuka

Royce S. Fukunaga
c/o Fukunaga and Associates, Inc.
1388 Kapiolani Boulevard, 2nd Floor
Honolulu, Hawaii 96814

"By Water All Things Find Life"

XIII. LIST OF PREPARERS OF THIS DOCUMENT

FUKUNAGA & ASSOCIATES, INC.

Royce S. Fukunaga: President
Stanford University, BSCE 1963
Stanford University, MSCE 1964
Registered Professional Engineer, Hawaii, 1967

Beverly G. Ing: Project Engineer
University of Hawaii, BSCE 1981
Registered Professional Engineer, Hawaii, 1986

Edlyn Hayashida: Graphic Designer

APPENDIX A
LIST OF POTENTIAL SITES

This appendix includes a list of the twenty-three sites identified during the initial selection process as potential sites for the public library facility. Each site was evaluated using a set of minimum criteria to identify a smaller number of candidate sites.

APPENDIX A

POTENTIAL SITES

SITE	TMK	OWNER	AREA (AC)	EXISTING USE	REMARKS
1.	3-9-06:11	STATE OF HI, EX. ORD. CO. MAUI	4.4	COM. CTR	OLD KIHEI SCHOOL- CANDIDATE SITE A
2.	2-2-2:54	HALEAKALA RANCH	2,920.48	VACANT	FUTURE CO. CIVIC CTR.- CANDIDATE SITE B
3.	2-2-2:58-62	R&T PARTNERS		VACANT	R&T PARK
4.	3-9-08:19, 27,30	AZEKA'S BUILDING CORP.	5.1	POST OFC., MARKET	POST OFFICE TO BE RELOCATED
5.	3-9-04:61	STATE OF HAWAII	11.5	BOAT RAMP	APPROX. 8 ACS AVAILABLE
6.	3-9-35:1	PIMENTAL	7.51	HOUSE	LISTED @ \$2.25 MILLION
7.	3-9-35:2	STOOPS	7.6	HOUSES	LISTED @ \$2.5 MILLION
8.	3-9-35:48	CHANG	5	SUBDIVI- SION	NEW SUBDIVISION
9.	3-9-01:149	KAONOULU RANCH	81	VACANT	FLOOD MGT AREA, FUTURE HOUSING
10.	2-2-42:42	HALEAKALA RANCH	188.41	VACANT	PIILANI VILLAGE PROJECT
11.	3-9-40:86	AKINA	2	VACANT	OFF WELEKAHAO
12.	3-9-27:1	AKINA	10.5	HOUSE	FUTURE HOUSING
13.	3-9-07:7	MANN	7.2	VACANT	LISTED AT \$5.8 MILLION
14.	3-9-09:13	STATE OF HAWAII	6	VACANT	REGULATION RESERVOIR
15.	3-9-09:28	ROMAN CATHOLIC CHURCH	4.2	CHURCH	
16.	3-9-10:19	APO	6.1	VACANT	POSSIBLE WETLANDS
17.	3-9-11:17	AKINA	2.5	HOUSES	
18.	3-9-11:18	TAMORI	2.3	VACANT	CANDIDATE SITE C
19.	3-9-12:13	STATE OF HI, EX. ORD. CO. MAUI	1.9	VACANT	ADDITION TO KALAMA PARK - CANDIDATE SITE D
20.	3-9-17:26	KIRCHMEYER	3.1	VACANT	FUTURE HOUSING
21.	3-9-17:31	AMERICAN REFLEX	3.14	VACANT	FUTURE N-S COLLECTOR
22.	3-9-17:23	MOHALA ASSOC.	3.26	VACANT	LISTED AT \$1.42 MILLION
23.	2-22-2:por 42	HALEAKALA RANCH	188.41	VACANT	FUTURE PARK SITE TO BE DEDICATED TO MAUI CO.- CANDIDATE SITE E

APPENDIX B
CANDIDATE SITE EVALUATION

This appendix includes results of each candidate site evaluation relative to building site and community criteria and cost considerations. Descriptions of the criteria are contained in Section IV of this EIS for the new Kihei Public Library.

A. BUILDING SITE AND COMMUNITY CRITERIA RESULTS

Site A: Kihei Community Complex
TMK 3-9-06: 11

Building Site Criteria

a. Environmental Characteristics

- 1) Slope.....Good
Average slope is less than 5%.
- 2) Shape.....Good
A rectangular 2.0 acre site with L:W ratio of 2 to 1 can be accommodated within the existing 4.4 acre site.
- 3) General Soil Stability for Foundation.....Good
Soil Phase:
Pulehu silt loam, 0 to 3% slopes (PpA).
Coarse, gravelly or sandy alluvium at depth of 5 feet. High shear strength.

Dune land (DL) consisting of drifted and piled sand, along South Kihei Road.
- 4) Soil Depth for Site Work.....Good
Description: 5 feet of silt loam to coarse, gravelly or sandy alluvium substratum.
- 5) Natural Beauty.....Good
Existing scenic views, plants, etc.: Yes
Potential for beautification: Yes
Crossed by overhead lines: No

b. Roadways and Utilities

- 6) Adequacy of Roadways.....Good
Frontage along South Kihei Road and Kenolio Road.
- 7) Adequacy of Water Service.....Fair
6" cast iron waterline available within South Kihei Road. 2" galvanized line runs along South boundary. Fire hydrant is located on South Kihei Road.
- 8) Adequacy of Sewer Service.....Good
8" gravity interceptor sewer is located in South Kihei Road and Kenolio Road. 2" force main in South Kihei Road runs to sewage pump station at corner of South Kihei and Uwapo Roads.
- 9) Adequacy of Drainage Facilities.....Fair

Drainage from area presently allowed to sheet flow across South Kihei Road towards ocean.

- 10) Adequacy of Electrical & Telephone Service...Good
Overhead lines available along South Kihei Kenolio Road.

c. Accessibility

- 11) Automobile Access.....Fair
Access provided on two short sides along South Kihei Road and Kenolio Road.
- 12) Pedestrian Access.....Fair
Number of sides access available: 2
- 13) Traffic Flow.....Good
South Kihei Road is major arterial road. Kenolio Road is local through-road being widened by Aina Kihei townhouse development.

Community Criteria

a. Government

- 14) State Land Use Designation.....Good
District Designation: Urban
- 15) Special Management Area.....Poor
Entire site within SMA. SMA permit required.
- 16) National Flood Insurance Program.....Poor
Makai portion of site is within Coastal High Hazard District (V18). Majority of site is within the Flood Fringe District (A4), base flood elev=11.0 to 12.0 ft. MSL
- 17) County Zoning Ordinance.....Fair
Zoning designation: Park
Rezoning required.
- 18) Kihei-Makena Community Plan.....Fair
Land Use Category: Park
County plan amendment required.

b. Community Effects

- 19) Existing Use and Community Displacement.....Fair
Some of the existing uses may have to be integrated into the new public library facility. Youth Center and Parks and Recreation office would remain on the 4.4 acre site.

- 20) Surrounding Land Use.....Good
Beach park, Park District 2 commercial
development, and single family and
multi-family homes surround the area.
- 21) Land Ownership.....Good
Site is owned by the State of Hawaii and is
occupied by the County of Maui, Department
of Human Concerns, under Executive Order 2958
for "Recreation Site". Agreement with the
County would have to be reached to use site.
- 22) Aesthetic Value.....Fair
The site has some aesthetic value to the
community: Yes
The facility will obstruct scenic vistas: No

Site B: Future County Civic Center
TMK 2-2-02: por. 54

Building Site Criteria

a. Environmental Characteristics

- 1) Slope.....Good
Average slope is less than 4%.
- 2) Shape.....Good
A rectangular 2.0 acre site with L:W
ratio of 2 to 1 can be accommodated
within Civic Enter area.
- 3) General Soil Stability for Foundation.....Good
Soil Phase: Waiakoa extremely stony silty
clay loam (WID2), well-drained.
- 4) Soil Depth for Site Work.....Poor
Depth to Bedrock: 20 to 40 inches.
- 5) Natural Beauty.....Fair
Existing scenic views, plants, etc.: No
Potential for beautification: Yes
Crossed by overhead lines: No

b. Roadways and Utilities

- 6) Adequacy of Roadways.....Good
Site fronts Piilani Highway, with one
12' lane in each direction, 10 foot paved
shoulders and gutters.
- 7) Adequacy of Water Service.....Poor
Nearest available service is 36" concrete
pipe approximately 850 feet north of site.
Water line will have to be extended mauka of
Piilani Highway.
- 8) Adequacy of Sewer Service.....Poor
Sewer lines unavailable above Piilani
Highway. Area is below the State's UIC line
and must be sewerred.
- 9) Adequacy of Drainage Facilities.....Fair
Drainage facilities along Piilani Highway
fronting the project consist of a bridge
crossing at Waipulani Gulch and a box
culvert approximately 1000 feet north.
- 10) Adequacy of Electrical & Telephone Service...Good

c. Accessibility

- 11) Automobile Access.....Fair
Frontage to be provided on Piilani Highway.
Left-turn movements entering and exiting
facility may be difficult due to volume
and speed of traffic along Piilani Highway.
- 12) Pedestrian Access.....Poor
Number of sides access available: 1
No sidewalks or pedestrian crossings
provided along Piilani Highway.
Elevated pedestrian walkway would be
required to accommodate pedestrian access.
- 13) Traffic Flow.....Good
Piilani Highway is major arterial road.

Community Criteria

a. Government

- 14) State Land Use Designation.....Fair
District Designation: Agriculture
Adjacent to Urban District (located below
Piilani Highway). Special Use Permit or
State Land Use district boundary amendment
required.
- 15) Special Management Area.....Good
Site is outside of SMA.
- 16) National Flood Insurance Program.....Good
Entire site is within Zone C, area of minimal
flooding.
- 17) County Zoning Ordinance.....Fair
Zoning designation: Agriculture
Rezoning required.
- 18) Kihei-Makena Community Plan.....Good
Land Use Category: Public/Quasi-public

b. Community Effects

- 19) Existing Use and Community Displacement.....Good
Site is vacant.
- 20) Surrounding Land Use.....Good
Planned facilities within County Civic Center
include police and fire station. Phase III-B
of R&T Park and Silversword Golf Course are
directly adjacent.

21) Land Ownership.....Fair
Land is owned by single land owner.

22) Aesthetic Value.....Fair
The site has some aesthetic value to the
community: Yes
The facility will obstruct scenic vistas: No

Site C: Waiohuli Beach Homesteads
TMK 3-9-11: 18

Building Site Criteria

a. Environmental Characteristics

- 1) Slope.....Good
Average slope is less than 5%.
- 2) Shape.....Poor
L:W ratio is greater than 2:1. TMK:3-9-11:58
is carved out of the northeast corner of
property. Northern exposure can be
accommodated.
- 3) General Soil Stability for Foundations.....Poor
Soil Phase: Jaucas Sand (JaC), a poor,
unstable, and highly erodible soil.
Workability is difficult.
- 4) Soil Depth for Site Work.....Good
Substratum consists of sandy soil.
- 5) Natural Beauty.....Fair
Existing scenic views, plants, etc.: No
Potential for beautification: Yes
Crossed by overhead lines: No

b. Roadways and Utilities

- 6) Adequacy of Roadways.....Good
Site fronts South Kihei Road and Halama
Street.
- 7) Adequacy of Water Service.....Fair
6" cast iron water line available within
South Kihei Road and Halama Street. Five
hydrants are located within 250 feet of the
site.
- 8) Adequacy of Sewer Service.....Good
27" gravity line is available within South
Kihei Road. 8" gravity line available within
Halama Street.
- 9) Adequacy of Drainage Facilities.....Fair
Drainage from area presently allowed to
sheet flow across Halama Street.
- 10) Adequacy of Electrical & Telephone Service...Good
Existing overhead power and communications
service available.

c. Accessibility

- 11) Automobile Access.....Fair
Access on two short sides along South
Kihei Road and Halama Street.
- 12) Pedestrian Access.....Fair
Number of sides access available: 2
- 13) Traffic Flow.....Good
South Kihei Road is major arterial. Halama
Street is local through-street.

Community Criteria

a. Government

- 14) State Land Use Designation.....Good
District Designation: Urban
- 15) Special Management Area.....Poor
Entire site is within SMA.
SMA permit required.
- 16) National Flood Insurance Program.....Poor
Within Flood Fringe District, Zone AH with
base flood elevation of 7 feet, Zone AO
With 1 foot flood depth. Portion is outside
of flood district, Zone C, area of minimal
flooding.
- 17) County Zoning Ordinance.....Fair
Zoning Designation: R-3 (Residential)
Zoning permitted use interpretation
required. Rezoning action not
anticipated.
- 18) Kihei-Makena Community Plan.....Fair
Land Use Category: SF (Single-Family)
Community plan amendment required.

b. Community Effects

- 19) Existing Use and Community Displacement.....Good
Site is vacant.
- 20) Surrounding Land Use.....Good
Site is surrounded by residential lots.
Business area and Kalama Park are 900 feet
south of site.
- 21) Land Ownership.....Fair
Site is owned by one land owner.

22) Aesthetic Value.....Fair
The site has some aesthetic value to the
community: Yes
The facility will obstruct scenic vistas: No

Site D: Adjacent to Kalama Park
TMK 3-9-12: 13

Building Site Criteria

a. Environmental Characteristics

- 1) Slope.....Good
Average slope is less than 5%.
- 2) Shape.....Good
L:W ratio = 1.7 to 1.
- 3) General Soil Stability for Foundations.....Poor
Soil Phase: Dune land (DL), very severe
erosion hazard.
- 4) Soil Depth for Site Work.....Good
Substratum consists of sandy soil.
- 5) Natural Beauty.....Good
Existing scenic views, plants, etc.: Yes
Potential for beautification: Yes
Crossed by overhead lines: No

b. Roadways and Utilities

- 6) Adequacy of Roadways.....Good
Waimahaihai Street is 40 foot County road
right-of-way.
- 7) Adequacy of Water Service.....Fair
6" cast iron water line located within
Waimahaihai Street. Three hydrants are
located within 250 feet of the site.
- 8) Adequacy of Sewer Service.....Good
8" gravity sewer line is available within
Waimahaihai Street, connecting to 36" line
within South Kihei Road.
- 9) Adequacy of Drainage Facilities.....Fair
Existing runoff from area presently
sheet flows toward ocean.
- 10) Adequacy of Electrical & Telephone Service...Good

c. Accessibility

- 11) Automobile Access.....Fair
Frontage of long side of site is along
Waimahaihai Street.
- 12) Pedestrian Access.....Poor
Number of sides access available: 1

- 13) Traffic Flow.....Fair
Access is not directly off major arterial.
Access off of South Kihei provided by
Waimahaihai Street. Halama Street connects
to Waimahaihai Street and provides through-
access back to South Kihei Road.

Community Criteria

a. Government

- 14) State Land Use Designation.....Good
District Designation: Urban
- 15) Special Management Area.....Poor
Entire site within SMA.
SMA permit required.
- 16) National Flood Insurance Program.....Poor
Site is within the Flood Fringe District and
is subject to 100-year shallow flooding, Zone
AH (flood elevation of 7 feet above MSL) and
Zone AO (average flood depth of 1 foot).
- 17) County Zoning Ordinance.....Fair
Zoning designation: Park
Rezoning required. County has indicated
that intended zoning is for public/quasi-
public use.
- 18) Kihei-Makena Community Plan.....Good
Land Use Category: Public/Quasi-public

b. Community Effects

- 19) Existing Use and Community Displacement.....Good
Site is vacant.
- 20) Surrounding Land Use.....Good
Site is adjacent to County Fire Station,
Kalama Park, residential areas, plant
nursery, and commercial areas mauka of
South Kihei Road.
- 21) Land Ownership.....Good
Site is owned by the State of Hawaii and is
reserved for use by the County of Maui for
"Addition to Kalama Park" (Executive Order 3058).
Agreement with the County would be required for
use of site.
- 22) Aesthetic Value.....Fair
The site has some aesthetic value to the
community: Yes
The facility will obstruct scenic vistas: No

Site E: Adjacent to Kihei School
TMK: 2-2-02: por. 42

Building Site Criteria

a. Environmental Characteristics

- 1) Slope.....Good
Average slope is less than 5%.
- 2) Shape.....Good
A rectangular 2.0 acre site with L:W ratio of 2 to 1 can be accommodated within the 13 acre park site.
- 3) General Soil Stability for Foundations.....Good
Soil Phase: Waiakoa extremely stony silty clay loam (WID2) and Puone sand (PZUE). Majority of the 15 acre site is within Waiakoa extremely silty clay loam which has good characteristics for use as road fill. Less than one-third of the 13 acre site is within the Puone sand area.
- 4) Soil Depth for Site Work.....Poor
Depth to bedrock: 20 to 40 inches
- 5) Natural Beauty.....Fair
Existing scenic views, plants, etc.: No
Potential for beautification: Yes
Crossed by overhead lines: No

b. Roadways and Utilities

- 6) Adequacy of Roadways.....Fair
The Piilani Village project will provide construction of a portion of the North-South Collector Road to the park site with a network of subdivision roadways. Improvements will also be made by Piilani Village/DAGS to increase capacity of Lipoa Street.
- 7) Adequacy of Water Service.....Good
18" cast iron and 36" concrete pipe water lines run along makai boundary. The Piilani Village project will provide water service to the planned park site, however, water connection could also be made to existing main in Lipoa Street.
- 8) Adequacy of Sewer Service.....Good
The Piilani Village project will provide sewer to the planned park site, however, sewer service could also be made to existing main in Lipoa St.

- 9) Adequacy of Drainage Facilities.....Fair
Drainage facilities incidental to the road construction will be provided by the Piilani Project, however, a natural gully runs through the park site and will require evaluation should the site be selected.
- 10) Adequacy of Electrical & Telephone Service...Good
Existing overhead power and communications service is available.

c. Accessibility

- 11) Automobile Access.....Fair
The portion of the North-South Collector fronting the library is to be constructed as part of the Piilani Village project. Should the library be built independent of the Piilani Village project, temporary access through the Kihei School parking lot may have to be arranged; or a portion of the Collector road will have to be constructed as part of the library project.
- 12) Pedestrian Access.....Poor
Number of sides access available: 1
Access will be provided off the North-South Collector to be constructed as part of the Piilani Village project. The "poor" rating is based on the number of sides access is available from and does not reflect the generally "good" accessibility that will be provided by Piilani project's planned sidewalks and bikeways.
- 13) Traffic Flow.....Good
Good traffic flow would be provided with completion of the North-South Collector fronting the site and proposed subdivision road network planned in the Piilani Project.

Community Criteria

a. Government

- 14) State Land Use Designation.....Good
District Designation: Urban
- 15) Special Management Area.....Poor
Entire site is within SMA.
SMA permit required.
- 16) National Flood Insurance Program.....Good
Entire site is outside of the flood hazard district.

17) County Zoning Ordinance.....Fair
Zoning designation: Park
Rezoning required.

18) Kihei-Makena Community Plan.....Fair
Land Use Category: Park
Community plan amendment required.
County has indicated that area is
intended for park use.

b. Community Effects

19) Existing Use and Community Displacement.....Good
Site is vacant.

APPENDIX C
ARCHAEOLOGICAL INVENTORY SURVEY

Report 765-113090

Archaeological Inventory Survey Potential Kihei Public Library Site D

Land of Kamaole, Wailuku District
Island of Maui (TMK:3-9-12:13)

by

Theresa K. Donham, M.A.
Supervisory Archaeologist

Prepared for

State of Hawaii
Department of Accounting and General Services
c/o Fukunaga & Associates
1388 Kapiolani Blvd., 2nd Floor
Honolulu, Hawaii 96814

December 1990



Paul H. Rosendahl, Ph.D., Inc.

Archaeological • Historical • Cultural Resource Management Studies & Services

305 Mohouli Street • Hilo, Hawaii 96720 • (808) 969-1763 • FAX (808) 961-6998
P.O. Box 12835 • Tamuning, Guam 96911 • (671) 649-3045 • FAX (671) 649-2611

SUMMARY

At the request of Mr. Royce S. Fukunaga of Fukunaga & Associates, Inc., representing the State of Hawaii - Department of Accounting and General Services, Paul H. Rosendahl, Ph.D., Inc. (PHRI) conducted an archaeological inventory survey of the approximately 1.93-acre potential Kihei Public Library Site D, located at Kihei, in the Land of Kamaole, Wailuku District, Island of Maui (TMK:3-9-12:13). The survey was conducted November 14, 20, and 24, 1990. Field work consisted of a total surface pedestrian survey and a subsurface auger coring.

All cultural material identified during the surface survey appeared to be secondary refuse, deposited within the modern era (post-1940). The majority of the refuse observed was most likely deposited within the last twenty years. No archaeological sites were recorded during the surface survey. Two features previously identified as possible archaeological features were relocated and determined to be portions of a

relatively long secondary deposit of pushed soil and disturbed structural stone derived from an unknown source.

No cultural deposits or non-recent cultural materials were located during the subsurface survey, which consisted of 14 systematically spaced auger corings.

Findings of the surface and subsurface survey indicate that there is a relatively undisturbed sand dune formation in the western portion of the project area. No cultural remains were identified here during auger coring; however, subsurface deposits and features such as human burials are known to be present in coastal dunes. If this natural feature is modified in the process of property development, archaeological monitoring is recommended. Monitoring is also recommended if the secondary deposit of structural material is moved, in order to determine if possible intact portions of a feature, such as a wall, are present beneath the deposit.

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by Lehua Kalima, B.A.	A-1

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INTRODUCTION

BACKGROUND

This report presents the results of an archaeological inventory survey conducted at the potential Kihei Public Library Site D, located at Kihei in the Land of Kamaole, Wailuku District, Island of Maui (TMK-3-9-12:13). The survey was conducted by Paul H. Rosendahl, Ph.D., Inc. (PHRI) at the request of Mr. Royce S. Fukunaga of Fukunaga & Associates, Inc., on behalf of their client, the State of Hawaii - Department of Accounting and General Services. The overall purpose of the survey was to make a general assessment, in conjunction with the preparation of an Environmental Impact Statement (EIS), concerning the presence or absence of, and potential impacts of the project on, any sites of possible archaeological significance within the project area.

Surface survey of the 1.93-acre parcel was conducted November 14, 1990; subsurface survey consisting of 14 systematically spaced auger corings, was conducted November 20 and 26, 1990. All field work was conducted by Supervisory Archaeologist Theresa K. Donham, M.A., and Supervisory Archaeologist Diane Guerriero, B.A. Twenty-seven labor-hours were expended during the field work portion of the survey.

Described in this final report are project objectives and the scope of work, field methods and procedures, and survey findings. Also included is background information, such as previous archaeological work and historic documentary research. Recommended further actions are also discussed.

SCOPE OF WORK

The basic purpose of an inventory survey is to identify—to discover and locate on available maps—all sites and features of potential archaeological significance. An inventory survey is extensive rather than intensive in scope, and is conducted basically to determine the presence or absence of archaeological resources within a specified project area. This level of survey indicates both the general nature and variety of archaeological remains present, and the general distribution and density of such remains. It permits a general significance assessment of the archaeological resources and facilitates formulation of realistic recommendations and estimates for any subsequent mitigation work as might be necessary or appropriate. Such work could include further data collection involving detailed recording of sites and

features, and selected test excavations; and possibly subsequent data recovery research excavations, construction monitoring, interpretive planning and development, and/or preservation of sites and features with significant scientific research, interpretive, and/or cultural values.

The basic objectives of the present inventory survey were: (a) to identify all sites within the project area; (b) to evaluate the potential general significance of all identified resources; (c) to determine the possible impacts of proposed development on the identified resources; and (d) to define the general scope of any subsequent data collection and/or other mitigation work that might be necessary or appropriate.

Based on a review of available background literature, general familiarity with the Kihei/Kula area, and based on discussions with Mr. Fukunaga of Fukunaga & Associates, the following specific tasks were determined to constitute an appropriate scope of work for the survey:

1. Conduct limited archaeological and historical documentary background research involving review and evaluation of readily available archaeological and historical literature, historic documents and records, and cartographic sources relevant to the immediate project area;
2. Conduct a 100%-coverage surface survey of the entire project area;
3. Conduct limited subsurface testing (by hand-powered coring tools) of appropriate and accessible portions of the project area (a) to determine the presence or absence of potentially significant buried cultural features or deposits, and (b) to obtain suitable samples for age determination analyses; and
4. Analyze background and field data, and prepare appropriate reports.

PROJECT AREA DESCRIPTION

The potential Kihei Public Library Site D is a 1.93-acre undeveloped property situated at the northern end of Kalama

Beach Park (Figures 1 and 2). It is bounded on the north by Waimahaihai Street, on the west by Kihei Fire Station, on the south by Kalama Park, and on the east by private residences. The parcel is rectangular and measures approximately 68.6 m N-S by 113.9 m E-W. The exact elevation of the project area could not be determined from available maps; it appears to range around 3.0 m above mean sea level (AMSL). The surface elevation of most of the project area is currently below that of the adjacent parcels to the south and east, which have apparently been filled for development. Remnants of three shallow drainage channels cross the property on a north-south axis. A linear dune formation, also oriented north-south, is present at the western end of the property. The dune rises an average of 1.50 m above the level of most of the project area.

The project area is situated approximately 105.0 m from the shoreline, and approximately 70.0 m south of the Keokea-Kamaole Ahupua'a boundary. In terms of traditional Hawaiian settlement patterns, the project area is within the coastal settlement zone, a band generally defined as extending 400-600.0 m inland of the shoreline. This zone was utilized for permanent and temporary habitation in conjunction with a variety of subsistence and economic activities. Subsistence activities included plant cultivation, livestock husbandry, fishing, aquaculture, and marine and terrestrial plant gathering. Ceremonial and burial sites were located in the coastal zone, and were most common in or near the areas of aggregated permanent habitation.

The climate of the Kihei area is characteristically hot and arid, with day time temperatures ranging between 80 and 90 degrees F, and night temperatures between 70 and 75 degrees F. Annual rainfall averages around 10-12 inches.

The low-lying portion of the project area, which comprises c. 75-80% of the project area, is within the 100-year flood hazard zone. The ground water level is relatively shallow here, and is subject to rising after moderate amounts of rainfall. During the subsurface survey, which was conducted during and immediately after a brief period of rainfall, ground water entered all auger corings located in low lying areas. The surface of the water table ranged from 0.93 to 1.45 m below ground surface.

The Soil Conservation Service includes the project area within a zone of dune lands, which consists of hills and ridges of drifting aeolian sand (Foote et al. 1972:29). In general, the sand which comprises dune land is derived from coral and marine shells; it generally remains unfixed, and soil horizons are undeveloped. The coralline dune land is most evident in

the western portion of the project area. The low-lying portion of the project area contains a surface deposit of alluvial silts and clays, which overlie layers of cemented sand and submerged coarse beach sands. This deposition is discussed in further detail below.

Vegetation within the project area consists predominantly of koa-haole (*Leucaena leucocephala* [Lam.] de Wit) and kiawe (algaroba, *Prosopis pallida* [Humb. and Bonpl. ex Wild.] HBK). Most of these trees are mature, and several are quite large. A number of the larger trees appear to be on the verge of falling, or have fallen. In addition to the naturally fallen trees, push-piles of kiawe are present around the perimeter of the project area, and are a major impediment to access. In general, kiawe deadfall or push piles cover approximately 40% of the total surface area of the project area. Ground cover is relatively sparse over most of the open portions of the project area, and a surface duff layer of kiawe beans and leaf litter is present. There are numerous patches of grass, and small vine plants.

Due to its proximity to residential and commercial areas, the project area has been subjected to repeated use as a refuse dump site. Piles of recent trash in plastic bags and discarded vegetation from lawn maintenance lie along the north and west boundaries; abandoned junk cars and equipment are present along the east boundary, and park-related debris is scattered along the south boundary. The drainage channel along the eastern side of the dune formation has been used as a small-scale landfill dump. The interior of the project area is littered with remains of semi-permanent camp sites, and miscellaneous rubbish. The area is frequented by the neighborhood children, who have constructed various play areas under the kiawe and koa-haole canopy.

PREVIOUS ARCHAEOLOGICAL WORK

Project Area

In 1981, Mr. Charles Keau conducted a surface survey of the 1.93 acre project area, at the request of Mr. Nolle R. Smith, director of the State of Hawaii - Department of Parks and Recreation (Keau 1981). Two features were identified by Keau and described as being "possible archaeological features." Both features were located at the northeast corner of the property and were designated as Features A and B of Site 1.

Feature A, interpreted as a possible ko'a, or fishing shrine, was located on a "mound of mixed dirt and sand," and

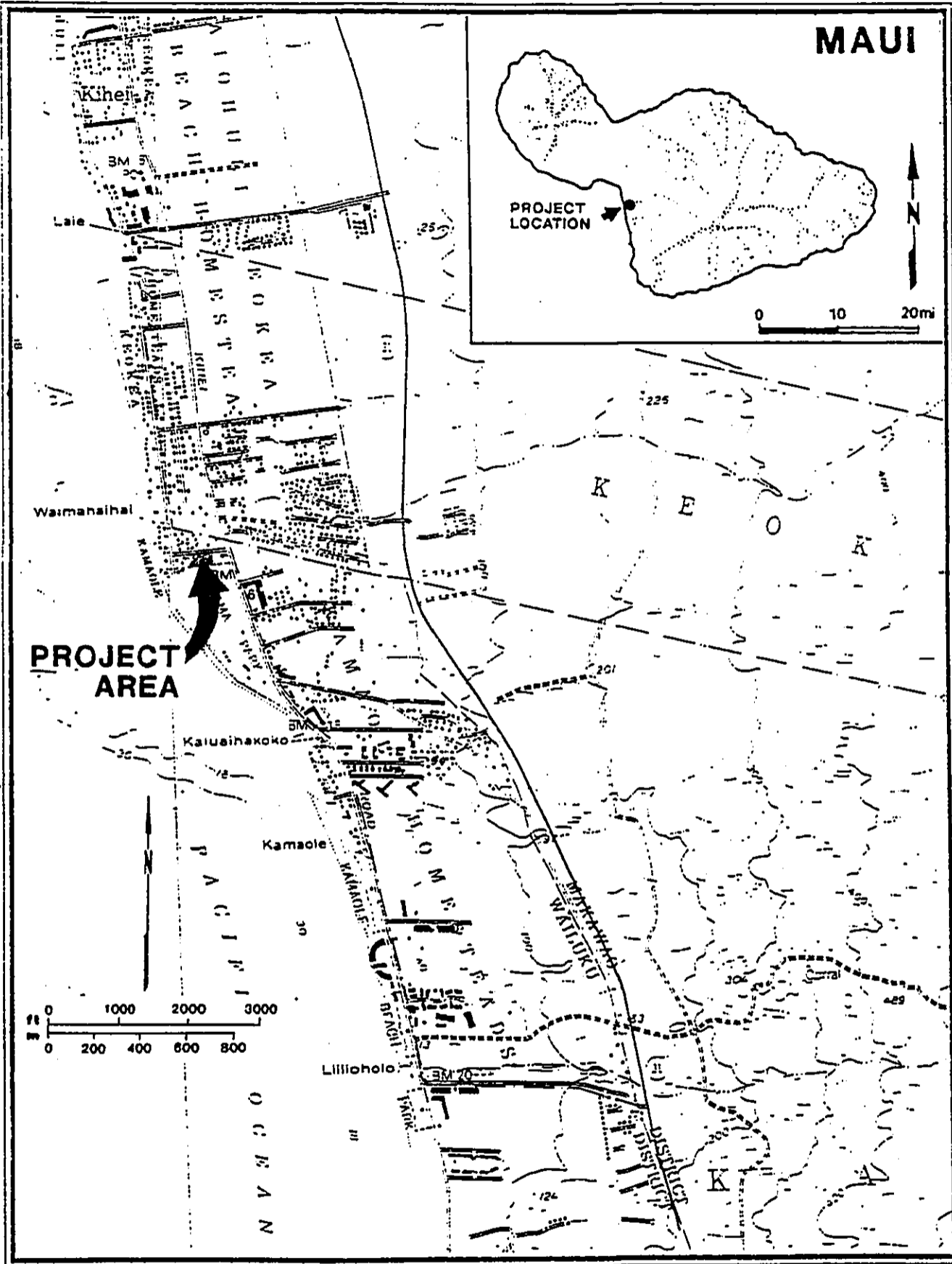


Figure 1. PROJECT LOCATION MAP

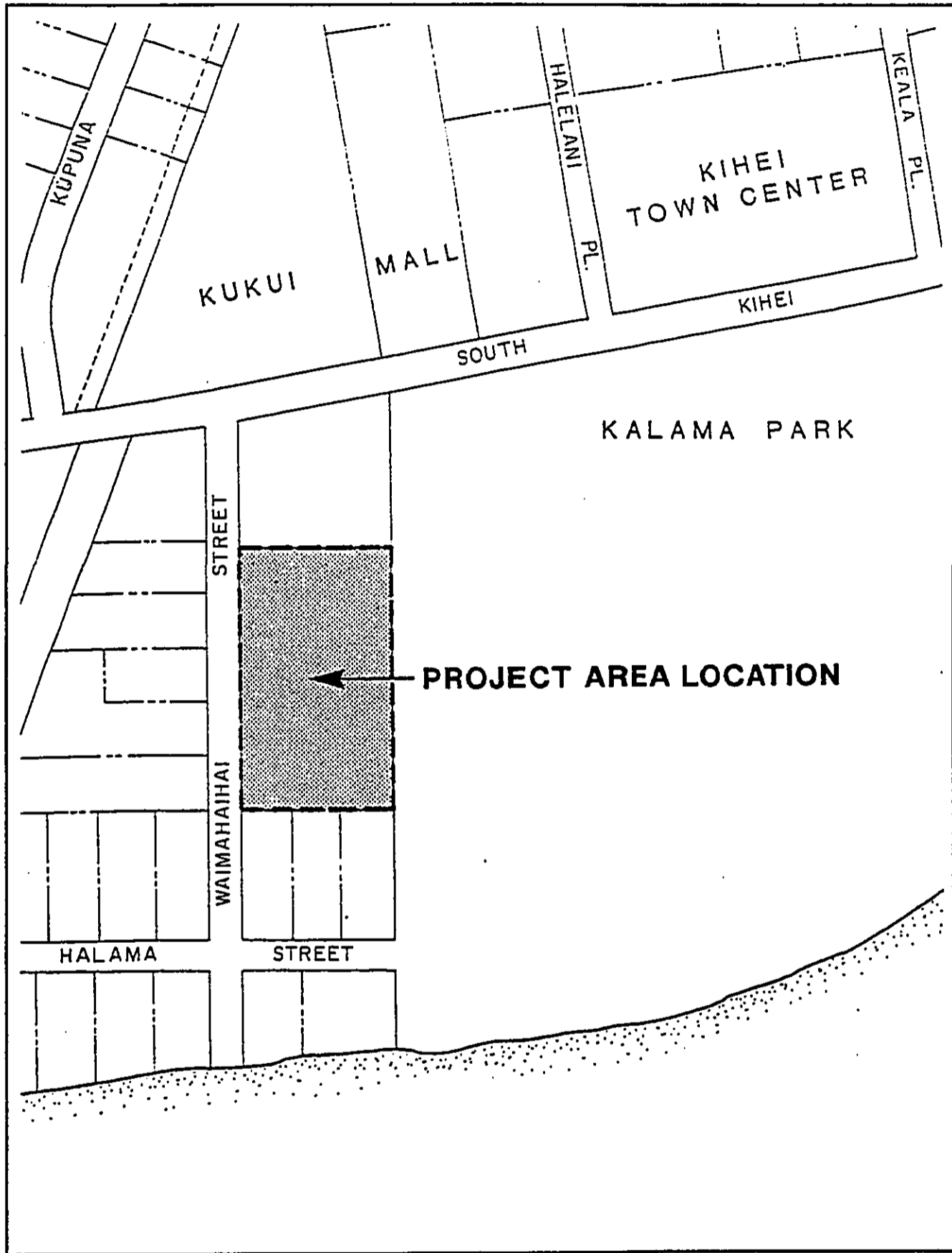


Figure 2. PROJECT AREA LOCATION MAP

is described as follows:

The south wall is a single stone alignment. Approximate measurement is 3.7 m length by 40 cm in height. Stones are porous lava, and the sizes range from 'baseball' to 20 x 30 cm. With the exception of two stones; the southeast corner stone measures 70 x 60 x 50 cm and 25 cm thick. On the right top corner are markings or scratches that are caused by heavy equipment...The other stone I know is a Kii. A possible Ku'ula Pohaku. Its measurements are 60 x 20 x 25 cm. Along the base of this stone are two corals, and on the corner of this structure is a broken piece of branch coral (Keau 1981:1).

Feature B was located approximately 10 m southwest of Feature A, and consisted of a stone alignment 1.7 m long and c. 0.4 m wide. Keau notes that, "Like Feature A, historic artifacts are found on the surface - papers, plastic pipe, bottles and some other. No midden or prehistoric artifacts found" (Keau 1981:2).

Based on his findings, Keau recommended that the project area be more closely examined by professional archaeologists. He also recommended that the features be tested in order to determine significance. These features and their depositional context are discussed in the findings section.

Kamaole

Prior to the enactment of cultural resource management laws, very few site inventory surveys were conducted in east Maui. Principal among the early site inventories for the Island of Maui was Walker's (1931) survey, which identified 266 heiau and petroglyph sites. Walker identified only two sites (198, 199) along the entire coastline from Maalaea to Makena. These were associated with a fishpond located near Keawakapu, south of Kihei (1931 map). Three heiau sites were, however, recorded in the uplands of Kamaole, between 2,000 and 3,000 ft AMSL (Walker 1931). These included Wailuku Heiau (Site 205), Kolea Heiau (Site 206) and Site 207, name unknown (Walker 1931).

Wailuku Heiau had been previously described by Thrum (see Appendix for quotation), and according to Walker, had been later used as a house site. It was reported to Walker that Wailuku was a sacrificial heiau and that drums were heard at the site on the nights of Kane. Kolea Heiau, also previously

reported by Thrum, was described by Walker as a large, L-shaped enclosure with terraced sides and an interior platform and an open, unpaved court. The Site 207 heiau was described as being near Wailuku Heiau and consisting of a small platform (Walker 1931).

Walker's survey, other less extensive surveys, and excavations conducted in Maui County prior to 1970 were summarized by Emory and Hommon (1972) in a broad cultural resource management plan prepared for the County of Maui. At the time of their study, Emory and Hommon reported that there were eight development projects comprising over 50 acres in progress along the coast in Kamaole (Emory and Hommon 1972:33). Archaeological research, consisting of excavation at one C-shaped structure, was recommended for only one of these development projects.

Two previous reconnaissance surveys have included relatively small portions of land in lower Kamaole. The earliest of these was a reconnaissance survey of the proposed Piilani Highway corridor, which is located approximately 0.8 km inland of the eastern boundary of the project area. This corridor was examined by Cox (1976), who located two C-shapes in Keokea, and a small cave near the northern end of Kamaole (Site 224). Cox recovered volcanic glass dated at AD 1724-1784 from a small cave in Kamaole (Cox 1976).

The following year, Cordy conducted a survey of nine drainage gullies and an inland corridor through the barren scrub zone between Kealia Pond and Wailea (1977). His survey corridor through Kamaole incorporated a strip 300-350 ft wide, along the makai side of the Piilani Highway corridor, and both sides of a major drainage channel at the southern end of Kamaole. Cordy located 12 sites within Kamaole, including four historic cart or horse trails or paths (Sites 1716, 1718, 1719, and 1721), four additional historic period features such as ranch walls, water ditches, etc. (Sites 1713, 1714, 1717, and 1720), three prehistoric period temporary habitation sites (1715, 1723 and 1724), and one prehistoric site of unknown function (Site 1722).

Site 1715 was located near the northern border of Kamaole, approximately 152.0 m makai of Cox's Site 224. Cordy described Site 1715 as consisting of three C-shaped structures.

Kihei/Wailea/Makena Area

Two reconnaissance surveys were recently conducted for housing development projects along the makai side of Piilani Highway, in Keokea and Waiohuli, immediately north of Kamaole (Donham 1989, 1990a). In Keokea, 13

new sites and three of Cordy's 1977 survey sites were identified within a 74-acre project area. Among the 30 features recorded during that survey nine were terraces, seven were enclosures, four were C-shapes, four were rock piles, two were midden scatters, one was an alignment, and one was a modified outcrop (Donham 1990a). Additional data recovery was recommended for six of the Keokea sites.

In Waiohuli, a 114-acre project area between Piilani Highway and the existing subdivision was surveyed. Five new sites and two previously identified sites were located; they consisted of six alignments, two rock piles, two cairns, a bifaced wall segment, and historic structural remains (Donham 1989). Additional testing was recommended and was later conducted at a cairn site (Site 2475) thought to be a possible burial monument. The site was found to be a component feature of a hillside terrace system used for dryland agriculture (Donham 1990b).

Since 1970 numerous archaeological studies have been conducted along the coastal portion of Wailuku and Makawao Districts. These studies, in conjunction with resort development, are concentrated in the Wailea/Makena area, located approximately three miles south of the project area. One of the earliest contract projects in the Wailea/Makena area was Kirch's survey and subsequent excavations at Palauea (Kirch 1969, 1970, 1971). Kirch's analysis of two coastal site complexes (SIHP Sites 1028 and 1029) offered hypotheses regarding pre-contact period settlement patterns, subsistence, and social organization for leeward east Maui (Kirch 1971).

Kirch proposed that coastal settlement along the arid coastline of Palauea was non-permanent, or transient, and was primarily for purposes of gathering sea resources. Permanent habitation sites were hypothesized to have been in upland resource zones, where intensive agriculture was conducted (Kirch 1971:83-85). Kirch also hypothesized that the residential complex examined (Site 1028) was probably occupied by a single descent group, whereas the heiau site (1029) was probably used or upkept by all occupants of the ahupua'a (Kirch 1971:83-85). A single radiocarbon date range (AD 1545-1745) was assayed from a charred post excavated at Site 1028 (Kirch 1971:76).

Subsequent to Kirch's study, a number of reconnaissance and testing projects have been conducted in the Wailea/Makena area (Barrera 1974; Barrere 1975; Bordner 1980;

Bordner and Cox 1982; Clark 1974; Cleghorn 1974, 1975; Cordy 1978; Dicks and Haun 1987; Dobyons 1988; Donham 1990c,d; Haun 1978,1988; Hommon 1975; Jourdan and Sinoto 1979; Schilt and Dobyons 1980; Shapiro and Haun 1988; Sinoto 1978; Walker, Rosendahl, and Haun 1985). These studies have been summarized and discussed in a report recently completed by Donham (1990c).

SUMMARY OF HISTORIC DOCUMENTARY RESEARCH

Historic background studies conducted in the Wailea/Makena area include an overview of Wailea and the Kula District by Barrere (1975), a regional political history with specific reference to the Makena area, by Cordy and Athens (1988), and two background studies of Palauea and Makawao District (Yoklavich 1988, Kalima and Wong-Smith 1990). In the Kihei area, historic background information, primarily focused on Land Commission Awards, was compiled by Cox (1976) and Cordy (1977). Similar studies for Keokea and Waiohuli were completed by EISC (1982) and Wong Smith (1990). Background information regarding Kamaole has been compiled by Kalima and is presented in the Appendix.

Kalima's report discusses the following topics: legendary references to Makawao and Kamaole, Thrum's listing of Kamaole heiau sites, general cultivation practices for the region, land tenure in Kamaole, and background information on Kalama Park.

Kamaole Ahupua'a was designated as Government Land during the Mahele of 1848, and was apparently used primarily for the keeping of government cattle. Numerous small parcels were sold or leased within the ahupua'a; some of these grants may date to the pre-Mahele government land sales, which were conducted for a brief period in Makawao. Cordy (1977) located, in the Mahele testimonies, at least seven coastal houselots among the Land Commission kuleana awarded in Kamaole. The individuals who were granted houselots along the coast were also awarded inland agricultural lands, consisting of Irish potato patches, taro patches, and sweet potato patches. These inland awards were described as being in kula lands or in the barren zone (Cordy 1977:70-71).

Kalima could not locate specific references to the project area regarding land grants or Land Commission Awards.

FIELD METHODS AND PROCEDURES

A 100% surface pedestrian survey was conducted at the project area November 14, 1990, by the report author. The survey commenced at the northeastern corner of the property and consisted of parallel sweeps, oriented north to south and south to north. Each sweep was marked with pink flagging tape in order to insure complete coverage of the area. The northern and southernmost areas of most sweeps were covered with piled vegetation and debris, making surface observation impossible. The surface was generally visible for approximately 60% of the project area.

The subsurface survey was conducted November 20 and 26, 1990, by one or two persons. It consisted of excavating 14 hand-powered auger cores, spaced at 15.0 to 20.0 m intervals on a grid system. The cores were numbered consecutively, beginning at the northeastern corner of the grid pattern (Figure 3). The north-south lines were oriented 330-150 degrees Az., and the east-west lines were oriented 60-240 degrees Az. In some areas, the locations of cores had to be adjusted due to large kiawe deadfall piles.

The coring tool used produced holes 0.08 m in diameter, and collected soil column sections approximately 0.20 m long. Coring holes were excavated to depths ranging from 0.37 to 2.13 m. Average coring depth was 1.34 m.

During auger core excavation, all soil removed was screened through 1/8" mesh hardware cloth. Each soil layer encountered during excavation was identified and described on standard PHRI Soil Stratigraphy forms. The depth range,

thickness, moist and dry color, texture, structure, consistence and inclusions present in each layer were recorded, in addition to any notes on cultural layers, portable remains, deposition and the specific setting of the core location. Soil descriptions followed U.S. Soil Conservation Service soil description guidelines, and the Munsell Color Notation was used for color identification. The "water level" as used here refers to the level of the standing water that immediately seeped into and partially filled the open coring holes.

All auger holes were excavated until they had to be terminated due to excessive slumpage and water infilling, or due to impenetrable cemented sand or rock(s). Two of the corings were terminated due to rocks; three were terminated at impenetrable cemented sand or possible buried (and submerged) reef formations; all others were excavated as deep as allowable into the groundwater zone. All holes were backfilled upon completion of the stratigraphy forms and measuring of the water level.

The soil screened during auger core excavation was examined for portable artifacts, faunal remains, and charcoal. Recent bottle glass was noted and discarded, as were faunal remains determined to be natural inclusion in the sand. No materials were observed that warranted collection.

After completion of the systematic pedestrian survey, the previously located features (Keau 1981) were cleared and examined. An additional portion of one feature—a portion that had not been previously described—was also cleared and examined. The previously located features were described on standard PHRI Feature Record Forms.

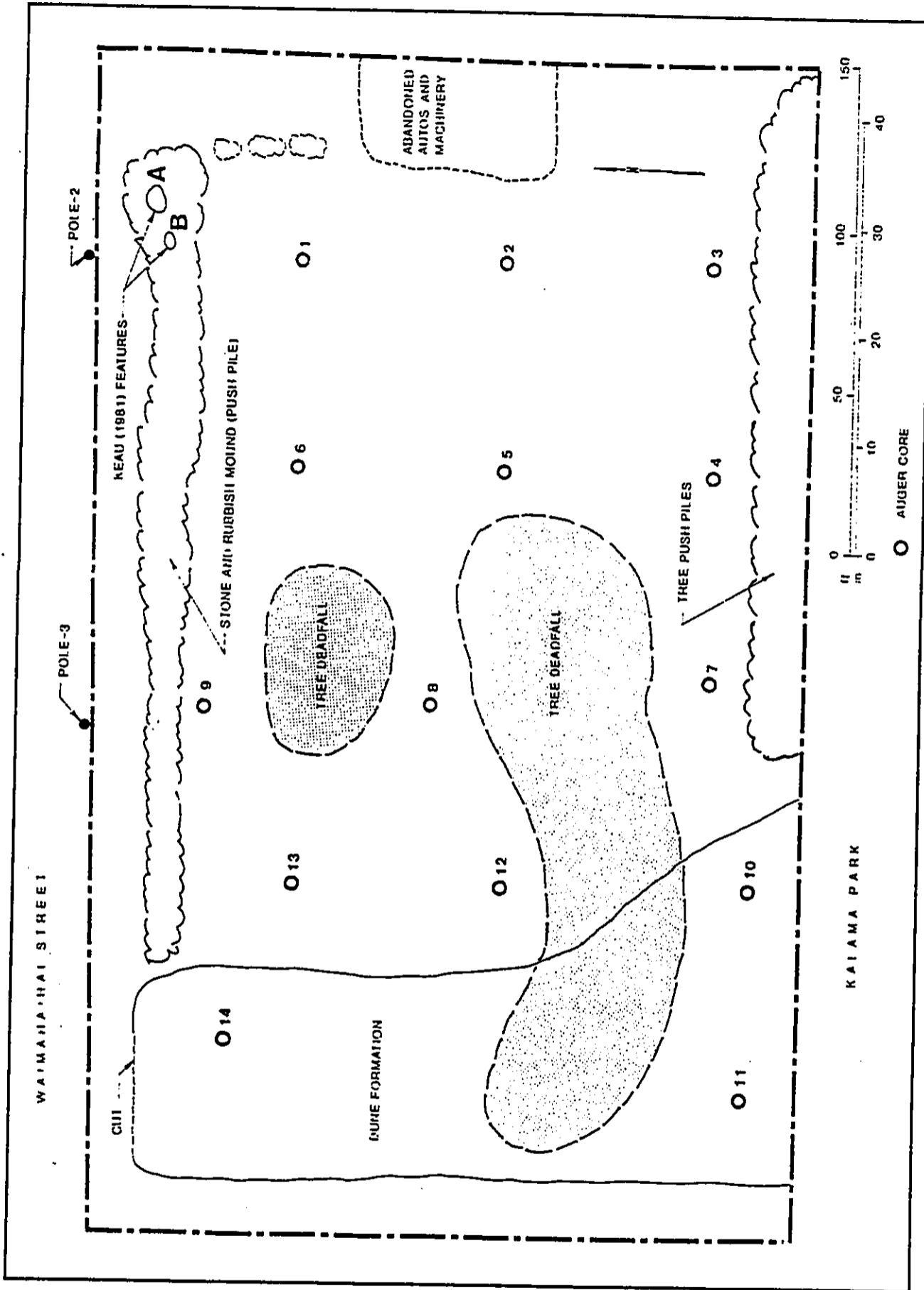


Figure 3. AUGER CORE LOCATION MAP

FINDINGS

SURFACE FINDINGS

A single feature worth note was located during the surface survey. It consists of a what appears to be a secondary deposit of structural remains, located along the northern edge of the project area (Figure 3). The deposit is a generally low, linear mound of mixed sand and dirt that contains subangular and vesicular basalt boulders and cobbles, waterworn coral cobbles and pebbles, beach conglomerate cobbles, and branch coral; also, waterworn basalt boulders, cobbles, and pebbles, and much modern rubbish.

The mound is 77.5 m long and 3-8.0 m wide. Maximum width is at the eastern end, which is located 11.0 m west of the northeastern corner of the project area. The western end is 26.0 m from the northwestern corner of the property. Maximum height of the mound from the surface of Waimahaihai Street is 1.38 m, as measured with an eye level. At the eastern end of the mound, a deposit of road surfacing gravel and broken pieces of structural concrete appears to be eroding from the base. From the eastern end, boulders, cobbles and miscellaneous concrete pieces are scattered in a linear pattern to the south, and appear to be the trailings of a bulldozer cut that went through the mound, possibly to make an access road along the eastern edge of the property.

Most portions of the feature were covered with rubbish, lawn trimmings, and deadfall, and considerable effort was made to follow the entire extent of the mound in search of possible structural remnants. Three areas of relatively concentrated stone and traces of disturbed alignment-like patterns were observed. These areas were situated around trees, and the clustering appeared to be caused, at least in part, by the tree roots. One of these areas included the previously identified features described by Keau (see Previous Archaeological Work).

The feature (A) described by Keau as a possible shrine was located at the eastern end of the linear mound, where the mound is broadest and highest. The area around the feature was cleared of vegetation, and it was discovered that the stone pattern mapped by Keau was actually a small portion of a much larger scattering of boulders and cobbles. The stone described as a Kii was no longer in the position as mapped by Keau, and was lying loosely on the surface. Boulders and cobbles were scattered on the surface and were partially buried in the area between Feature A and Feature B, previously described as a possible burial alignment. The scattering of rocks and mound feature continued west from Feature B for an additional 60.0 m. Weathered coral and

branch coral, as well as waterworn cobbles, were located along the entire length of the mound; there was no concentration of coral in the Feature A locale.

The mound was examined for any traces of midden remains; none were located. Several trowel probes were made, revealing buried modern bottle glass, leather boots, rubber tires, etc. Boulders and cobbles are also buried in the deposit, which appears to have been produced by machinery.

The western end of the mound occurs at the eastern edge of the dune formation. The dune appears to have been cut at this point, either during road construction or small-scale sand borrowing. Waterworn cobbles and other structural stones are scattered at the base of the cut, and a few stones are still lodged in tree roots along the exposed dune face, suggesting that the feature may have crossed the dune. The exposed dune face here is 2.0 m above the surface of Waimahaihai Street. It was closely examined for portable remains; only modern bottle glass was located. The soil adhering to the roots of toppled trees was also examined and found to contain no portable remains.

The feature could represent the disturbed remains of a wall. Based on the size range of structural stone present, it most likely would have been a relatively wide, core-filled wall. Several long, rectangular boulders similar to the kii located by Keau are present along the length of the mound, some of which are up to 0.9 m long. There are also relatively small cobbles (core filling) and numerous subangular pahoehoe pieces, similar to those used in faced walls. It is possible that the wall was located where the mound is currently located; however, it could have also been pushed from a nearby location, most likely from the north side.

Based on the findings of the surface survey, it appears that the two features previously identified by Keau are only portions of a larger feature that consists of a secondary deposit of possibly prehistoric structural remains mixed with historic debris. The most likely interpretation of the stone structural remains, given the long, linear pattern of the feature, is that it was once a wall. It is not certain at this time whether there might be intact portions of the wall at the base of the mound. It does not, however, seem likely that there are intact portions, given the massive size of some of the boulders that are now lying loosely on the mound surface. These stones would have been at or near the wall base, if such a structure existed; they are clearly in a secondary context now.

SUBSURFACE FINDINGS

Fourteen auger cores were excavated in a systematic pattern across the project area (Table 1). The soil stratigraphy for all cores appeared to be relatively undisturbed, although it is likely that surface sand had been removed from the dune area in the vicinity of Cores 10 and 11, located immediately north of the tennis court parking area.

Two general profile types were observed; these were present in two distinct topographic zones—the dune formation and the low-lying area. Dune profiles were identified in Cores 10, 11, and 14. These profiles consist of five to seven sand layers, and include a surface layer of sand. Core 10, located along the eastern slope of the dune, contained a thin alluvial band of silty clay between 0.96 and 1.02 m below surface. Cores 11 and 14, along the upper slopes of the dune, contained no alluvial layers. The ground water level was encountered at 1.22 to 1.84 m below surface in these cores. No cultural deposits, portable remains, or carbonized materials were located in these cores.

The remaining 11 cores exhibit relatively similar profiles—a surface layer, of silty loam or silty clay loam over silty clay, which extends to an average depth of 0.67 m. Beneath the alluvial silty clay are three to five layers of sand, which grade from fine loamy sand to coarse, white sand in water. Average depth of the water level in the cores is 1.14 m, and ranges from 0.93 to 1.45 m. In general, the water level was higher in cores placed in the southwestern portion of the project area.

No cultural layers or carbonized materials were identified in the soil removed from the cores, and all portable remains located were recent. Small Echinoid pieces and small fragments of Crustacea shell were noted in sand layers; these were determined to be natural inclusions.

The soil profiles in the low-lying portion of the project area indicate that although the land was formed from aeolian and beach sand deposits, it has recently been built up by alluvium, with limited introduction of aeolian sand.

Table 1.

SUMMARY OF AUGER CORES

Core	Layer	Depth	Texture	Color	Comments
1	I	0-35	sil	5YR3/3	Surface duff, some humus
	II	35-45	sic	5YR3/3	Large peds, plastic
	III	45-59	sl	7.5YR3/4	Sand c. 30%
	IV	59-82	ls	10YR5/6	Few pieces of Echinoid in upper 10 cm
	V	82-114	s	10YR7/6	Pieces of Crustacea, wet
	VI	114-130	s	10YR7/6	5/1 mottling, cemented peds common
	VII	130-157+	s	10YR7/3	Submerged, some cementation
2	I	0-18	sicl	5YR3/3	Surface duff
	II	18-67	sic	5YR3/4	Extremely plastic
	III	67-89	ls	7.5YR4/4	Cemented peds present
	IV	89-101	ls	10YR5/6	Loose, fine sand
	V	101-108	scl	5YR3/4	Sand/clay transition zone
	VI	108-115	sic	5YR3/2	Same as Layer II
	VII	115-118	ls	10YR5/4	Numerous cemented peds
	VIII	118-146+	s	10YR7/3	Very fine white sand, water level at -120
3	I	0-10	sil	5YR3/3	Kiawe duff, humus
	II	10-35	sic	5YR3/4	Small amount of sand
	III	35-52	sic	5YR4/4	Minimal silt content
	IV	52-89	sic	7.5YR3/2	Platy peds, sand lens at base of layer, 1 cm thick
	V	89-94	sicl	7.5YR2/0	Black silt, not present in other cores
	VI	94-137+	s	10YR7/3	Fine sand with scattered coarse pieces of coral and shell; water level at -123
4	I	0-15	sil	5YR3/3	Surface duff, humus
	II	15-60	sic	5YR3/4	Medium peds, plastic
	III	60-77	cl	5YR3/2	Increase in loam
	IV	77-88	sic	5YR3/1	Distinct peds, no rocks
	V	88-100	ls	10YR3/3	Organic, mottled sand
	VI	100-115	s	10YR6/3	Fine, white sand, very wet; water level at -110
	VII	115-133+	s	10YR7/3	Submerged white sand with tiny basalt, coral pebbles
5	I	0-16	sil	5YR3/3	Surface duff, humus
	II	16-79	sic	5YR3/4	Medium peds, plastic
	Rock	-79			
6	I	0-17	sil	7.5YR3/2	Green bottle glass sherd
	II	17-39	sic	5YR3/3	Very moist, sticky
	III	39-64	sl	10YR3/2	Few cemented peds, sand increases with depth
	IV	64-76	ls	10YR5/4	Abrupt horizon
	V	76-95	s	10YR6/4	Cemented layer 80-84; water level at -95
	VI	95-117	s	10YR7/3	Very fine sand, submerged, tiny cemented peds
	VII	117-133+	s	10YR8/2	Coarse coral sand with weathered shell fragments
7	I	0-15	sil	7.5YR3/2	Thin duff on surface
	II	15-75	sic	5YR3/4	Layers of weathered gravel at -52 and -75; lower zone mottled with darker clay
	III	75-84	s	10YR5/4	Some cemented peds
	IV	84-93	s	10YR7/4	Fine sand, very wet
	V	93-115	s	10YR7/3	Numerous pebble-size cemented peds, shell pcs; water level at -115
	VI	115-136	s	10YR6/1	Mostly cemented, submerged, numerous coarse coral and shell pieces
	VII	-136+			Impenetrable cemented sand/possible reef

Table 1. (cont.)

Core	Layer	Depth	Texture	Color	Comments
8	I	0-18	sil	5YR3/3	No duff present
	II	18-63	sic	5YR3/3	Layer of gravel 56-63
	III	63-77	sl	10YR3/3	Loose, dark loam
	IV	77-80	ls	10YR4/3	Abrupt boundary
	V	80-99	ls	10YR5/3	Extremely wet, some cementation
	VI	99-115	s	10YR7/4	Fine sand, water level at base of layer, -115
	VII	115-145 -145+	s	10YR7/1	Becomes coarse, some shell, submerged Impenetrable cemented sand/possible reef
9	I	0-25	sicl	7.5YR3/2	More clay than normal
	II	25-37	ls	10YR4/3	Small angular gravel
	Rock	-37			Appears to be basalt bedrock (?)
10	I	0-31	ls	10YR3/6	On dune formation, no duff
	II	31-96	s	10YR6/6	Medium-grain size
	III	96-10	sic	5YR4/4	Buried alluvial lens
	IV	102-111	sis	5YR4/4	Silt leached from III
	V	111-119	s	10YR5/6	Cemented layer at -115
	VI	119-146	s	10YR7/4	Coarse, heavily cemented, very wet below -122; water level at -140
	VII	-146+			Impenetrable cemented sand/possible reef
11	I	0-28	ls	10YR5/4	On dune formation, no duff
	II	28-86	s	10YR6/6	Fine, sterile sand
	II	86-115	s	10YR7/6	Coarse with coral and shell pcs., angular rock flecks
	III	115-139	s	10YR6/1	Coarse, water level at -122
IV	139-157+	s	10YR8/1	Coarse, weathered grains, submerged	
12	I	0-10	sicl	5YR3/3	Thin surface duff
	II	10-59	sic	5YR4/3	Gravel at -43 and at base of layer, dark mottling
	III	59-66	sc	7.5YR3/4	Unusual sand/clay mix
	IV	66-70	sis	10YR4/4	Alluvial lens
	V	70-75	s	10YR6/4	Very wet, mostly cemented
	VI	75-87	s	10YR7/3	Fine, homogenous sand; water level at -93
	VII	87-125	s	10YR8/1	Coarse coral sand, grey (6/2) mottling, submerged
13	I	0-13	sicl	7.5YR3/2	Modern rubbish
	II	13-71	sic	5Y4/3	Black mottling below -65
	III	71-83	ls	10YR4/4	Cemented throughout
	IV	83-127	s	10YR6/4	Water level at -106
	V	127-140+	s	10YR7/3	Submerged, some shell fragments and cemented pebbles
14	I	0-11	s	10YR5/4	Humic sand-black mottling
	II	11-135	s	10YR5/6	Dune formation
	III	135-139	sis	7.5YR4/4	Thin alluvial lens
	IV	139-175	s	10YR6/4	Coarse, grain size enlarges with depth
	V	175-213+	s	10YR7/3	Water level at -184, medium grain, some tiny basalt pieces

CONCLUSION

DISCUSSION

During the surface survey of the potential Kihei Public Library Site D two previously identified features described by Keau in 1981 were relocated. Based on the present work, these features have been determined to be portions of a more extensive secondary deposit of structural stone and twentieth century rubbish. A possible interpretation for the source of the structural stone in the deposit is that it represents the remains of a bifaced, core-filled wall that was pushed over by machinery. There is no indication that the wall formed an enclosure or otherwise turned south within the project area; the wall may have functioned as a boundary. The modern ahupua'a boundary is only c. 70.0 m to the north of this feature.

It is not likely that intact portions of the original structure are present. If they are, they would not be in good condition, and would be difficult to locate unless a relatively large area of the deposit is removed. During the present project an attempt was made to excavate into the deposit by hand; however, large boulders and other materials would have required the removal of a considerable area in order to reach the base of the deposit. Such excavation would be most effectively conducted by machinery.

The subsurface auger coring did not identify any potentially significant cultural remains. The survey did, however, confirm the presence of dune formation that appears to be relatively undisturbed. The western and eastern portions of the dune have been cut into; however, the c. 20.0 m wide formation is intact across most of the project area. As

indicated in the background section, in the traditional Hawaii coastal sand dunes were often selected for habitation or for human burials.

RECOMMENDATIONS

Based on the findings of the surface and subsurface survey, it is recommended that archaeological monitoring be conducted if the dune formation at the western end of the property is to be excavated or in any way modified during development. No buried features or deposits were located in the dune; however, isolated features could be present between the coring locales.

It is also recommended that if the secondary deposit of structural debris is moved, limited monitoring take place at the onset, in order to determine if there are any intact wall sections or other intact structural remains at the base of the deposit.

It should be noted that the evaluations and recommendations presented in this final report have been based on a 100% surface and limited subsurface inventory survey of the project area, and are thus subject to the limitations of such surveys. There is always the possibility, however remote, that potentially significant, unidentified subsurface cultural features will be encountered in the course of future archaeological investigations or subsequent development. In such situations, archaeological consultation should be sought immediately.

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APPENDIX

HISTORICAL DOCUMENTARY RESEARCH

by Lehua Kalima, B.A.

The proposed site (D) for the Kihei Public Library is within the ahupua'a, of Kama'ole, in the Wailuku District of Maui. Ahupua'a boundaries are said to have been fixed about "twenty generations back in Hawaiian tradition" and remain largely unchanged (Yoklavich 1989:2). The larger land divisions, the districts, were fixed at the same time and were made up of a number of ahupua'a. With the establishment of new governmental forms in the mid-nineteenth century, the names and boundaries of the districts have been less stable than those of the ahupua'a. Until 1859, the district name for the western side of East Maui was Honua'ula (Red Earth) (ibid.). From 1859 until 1909 this section of land was included in the Wailuku District "for taxation, educational and judicial purposes" (ibid.). In 1909 more changes were made in the district boundaries by the legislature "for the election, taxation, educational, judicial, city, county, and all other purposes" (ibid.). A wide strip of land running from the west coast to the East Maui shore was named the Makawao district. Minor adjustments have been made to this district since its development, and Kama'ole Ahupua'a has again been put into the Wailuku District.

The project area is adjacent to the present Kalama Beach Park, near the coast, along the border of Keokea and Kama'ole. Few references to the ahupua'a of Kama'ole could be found, so to present a more general account of the area, the Makawao district (sometimes referred to as Kula) will also be discussed in this report.

Kama'ole literally means "childless," and Makawao means "watchful eyes of Wa-o = timeless or eternity" (Puku'i et al. 1974). Most Kama'ole references mention the general area of Makawao district and Kula (kula-o-ka-ma'o-ma'o or Land of Mirages, where lost souls wandered until they could find their way to rest [Ashdown n.d]). In her notes on Maui, Sterling (n.d.) says that "Makawao includes the ancient districts of Hamakualoa and Hamakuapoko and Honuaula. The last was transferred to Wailuku district where it never geologically belonged".

SAYINGS AND LEGENDS

Several old oral traditions concerning the Makawao area have survived to the present, including the following:

O 'Alelele ke kawa kaulana o Makawao.

'Alelele, the famous diving pool of Makawao. Refers to Makawao, Maui (Puku'i 1983:2355).

E hu'e mai 'oe i ke koai'e o Makawao!

Try uprooting the koai'e tree of Makawao!
I defy you to tackle a lad of Makawao! A boast from a native of Makawao, Maui (ibid:298).

Ka ua 'Ukiu o Makawao.

The 'Ukiu rain of Makawao.
Refers to Makawao, Maui (ibid:1602).

The rain of Makawao was described by Mrs. Miverva Kalama to E. Sterling in this way: "ukiurain - a soft drizzle (the ua kama'aina [familiar rain] of Makawao) when the kiu rain cloud from Makawao meets the nalu rain cloud from Kula then the rain comes, the typical Makawao rain" (Sterling n.d.).

A passage in Edward G. Beckwith's Journal of a Tour on Maui, also speaks of the unusual rain in Makawao:

We noticed a peculiar meteorological phenomena through the whole ride. The trade wind which blows from the ocean across the Northwestern slope of Haleakala, is highly charged with vapor, which is condensed by the cool mountain air, and falls in abundant rains over the region of Makawao. Along the west side of the mountains about half way to the summit, lay a long line of cumulo stratus clouds, and between this and the nimbus there was but little space. The former lay along side of the mountain, apparently immovable, while the latter would advance and recede, now coming very near and coquettishly scattering its shining rain-drops beneath the very head of immovable cumulus, and now retreating as though afraid of its more dignified companion. While mentioning this latter peculiarity to a gentleman this evening, he remarked that it was this feature of the clouds

which gave the place its name - Makawao, Mako = to be afraid, wao = a cloud (IN Sterling n.d.).

Sterling notes that this is incorrect. Afraid is maka'u and cloud is ao. Mrs. Pukui says Makawao is the "kuahiwi - a mountain region. wao = a general term for inland region, usually not precipitous and often uninhabited."

One old saying was found that related specifically to Kama'ole:

'Aluka ka 'ina i kai o Kama'ole.

Thick with sea urchins in the sea of Kama'ole. Applied to a person laden with somebody else's work. A chief was once traveling along the beach at Kama'ole, Kula, Maui. A woman, not recognizing him as a chief, asked him to carry her bundle of sea urchins, which he did. Other women came along and did likewise until the chief was loaded with them (Puku'i 1983:114).

Other legends refer to Kama'ole as a battle place. Samuel Kamakau, a 19th century native historian, gives this account:

Kauhi was a son of Kekaulike and a good soldier. He had led the attack in the wars carried on by Kekaulike, and was the commander-in-chief in the battles of his father's time. These were the battles of Ki'imaumuku and Kipuka'ohelo at Kama'ole, and of Kaeulu and Kahalemamalekoa at Kaupo, by which he established peace for his father as ruling chief of Maui...(Kamakau 1961:73).

Another tale, concerning the greed of a chief in this area, is related by Kamakau and Abraham Fornander:

While Kahekali was carrying on the war on Oahu and suppressing the revolt of the Oahu chiefs, [Kamakau dates this 1785] a serious disturbance on Maui had occurred which gave him much uneasiness. It appears that he had given the charge of his herds of hogs that were running in the Kula district and on the slopes of Haleakala to a petty chief named Kukeawe. This gentleman, not satisfied with whatever he could embezzle

from his master's herds, made raids upon the farmers and country people of Kula, Honuaula, Kahikinui, and even as far as Kaupo, robbing them of their hogs, under pretext that they belonged to Kahekali. Indignant at this tyranny and oppression, the country people rose in arms and a civil war commenced. Kukeawe called the military forces left by Kahekali at Wailuku to his assistance; a series of battles were fought, and finally Kukeawe was killed at Kamaole-i-kai, near Palauea, and the revolted farmers remained masters of the situation (Fornander 1969:228).

This uprising of the country people was called the "Battle of the pig-eating Ku-keawe" ('Aipua'a-a-Ku-keawe) (Kamakau 1961:142).

HEIAU

T.G. Thrum lists four heiau said to have existed within Kama'ole Ahupua'a. Of the four mentioned, however, he himself had only seen the remains of one, Wailuku Heiau:

The heiau known as Wailuku, in Kamaole, Kula (Formerly reported) was visited and found to be of the platform type, some 40 x 60 feet in size, in ruins. Its upper end showed a low terraced wall, while the lower wall must have been ten feet high in its day. This heiau is held to be of the severe or pookanaka class, and is much revered from the alleged frequency of drum and other sounds emanating therefrom on the nights of Kane (Thrum 1921:146).

Of the other three he briefly writes:

Wailuku heiau, in ili of Kawililipoa, Kamaole, mauka. not seen.

Kolea heiau, in ili of Kawililipoa, for sacrifice, not seen.

Heiau, name unknown, in same ili, on sea plain, 200 feet makai or west of lower road and same distance south of Mormon church. Destroyed probably a kahua (Thrum 1918:128).

TRADITIONAL AGRICULTURE

Handy describes traditional agriculture in the Kula area of Maui:

Kula was always an arid region throughout its long low seashore, vast stony kula lands, and broad uplands. On the coast, where fishing was good, and on the lower westward slopes of Haleakala, a considerable population existed, fishing and raising occasional crops of potatoes along the coast, and cultivating large crops of potatoes inland, especially in the central and northeastern section...where rainfall drawn round the northwest slopes of Haleakala increases toward Makawao. Few Hawaiians, except cowboys, live in Kula now, and, so far as I observed, no sweet potatoes are planted (Handy 1940:161)

In their discussion of Hawaiian sweet potato planting techniques, Handy and Handy (1972:131) mention the kula area as a place:

Where potatoes are planted in crumbling lava combined with humus, as on eastern Maui and in Kona, Hawaii, the soil is softened and heaped carelessly in little pockets and patches utilizing favorable spots on slopes.

In an "Account of planting on Hawaii" from the Hawaiian Newspaper Ka Nupepa Ku'oko'a, March 24, 1922, Handy and Handy wrote:

Rocky lands in the olden days were walled up all around with the big and small stones of the patch until there was a wall (kuaiwi) about 2' high.

Kuykendall (1968:313) described the transition from traditional subsistence agriculture to the production of cash crops:

...Before that time the whalers had created a limited market for fresh vegetables, fresh meat, and fruit; the great increase in the number of whaleships after 1840 caused a corresponding increase in the demand for such products of the soil. In bulk and value, potatoes (sweet and Irish) ranked first in this traffic. In the early days only sweet potatoes

had been obtainable at the islands, but after 1830, if not sooner, cultivation of the Irish potato was taken up and during the 1840s and 1850s became of great importance. It was shortly before 1840 that Irish potatoes were first raised in the Kula district, which proved to be so well adapted to them that it soon came to be called the "potato district." Jarves describes the region as it appeared to him in July 1846:

It ranges along the mountain (Haleakala) between 2000 and 5000 feet elevation, for the distance of 12 miles. The forest is but partially cleared, and the seed put into the rich virgin soil. The crop now in the ground is immense. The fields being all in blossom have a fine appearance, spreading as they do, over the broad surface of the mountain.

From this upland region the potatoes were carried down to the shore and taken to Lahaina or were sold directly to ships which called at Kalepolepo. In the spring of 1847 it was estimated that the crop would amount to 20,000 barrels...In 1854, G.D. Gilman estimated that the local Hawaiian market, including whaleships, could be depended on to consume about 20,000 barrels of Irish potatoes.

LAND TENURE

Although there were many small parcels granted during the Mahele, The indices to Land Commission Awards states that Kama'ole was Government Land from the beginning. The numerous parcels may be a result of an experiment conducted by the administration of Kamehameha III prior to the Mahele of 1848. Kuykendall (1968:282) recounts this experiment with fee ownership and the reasons for it:

It will be remembered that the year 1845, during which the new land law was being written and in part enacted, was disturbed by an anti-foreign agitation, accompanied by a rather pointed suggestion that lands be given or sold to the common people, and that the legislative committee, in its reply to the petitions of the people, approved the idea of selling land to Hawaiian subjects. This was directly in line with the suggestions contained

in Dr. Judd's report as minister of the interior, and there were frequent allusions to the subject in the proceedings of the legislature. The agitation among the people probably hastened the decision of the government to make an experimental beginning without waiting for the new law to go into operation. The places selected for the experiment were the Makawao district of Maui and Manoa valley on Oahu.

During the King's tour of Maui in December, 1845, and January 1846, the party visited Makawao and it was announced that the entire district, with the exception of McLane's plantation, was to be offered for sale to the people in fee simple. Rev. J.S. Green, pastor of the Hawaiian church at Makawao, undertook to manage the business of selling the land. In afterwards relating his experience in connection with the project, Green said he called the people together, showed them his instructions from the government, and explained the plan to them.

A few of them purchased at once, others had less confidence that lands thus purchased would be secure, but soon abandoned their scruples, while others still could not for a long time, be persuaded that there was not some catch about it - some design to enrich the chiefs at their expense. But nearly all of these were finally talked out of their suspicions and took up each a small piece of land (letter in Polynesian, July 14, 1849).

Another missionary, Rev. Richard Armstrong, assisted the enterprise by making surveys. The land was sold at one dollar per acre, and nearly a hundred parcels were taken up, most of them ranging from 5 to 10 acres. Altogether about nine hundred acres were purchased by the people of the district.

Various notes for Kama'ole Ahupua'a are contained the Land File Index at the State Archives:

KAMAOLE AND KEOKEA

Ex. 1916 Oct. 24.
Commissioner of Public Lands to Governor

Submitting Land Patent No. 6706 to Frank Sommerfield and Patrick Cockett, in the above place, Kula Maui, given in exchange for certain lands to be used for roadway & right of way, for the kula pipe line, for approval.

Privy Council, Ahp. of Kamaole

Res. confirming the sale of the above Ahupuaa to several persons as per list. vol. 7, p. 231

Res. refusing the appl. of Henry Dimond and Edwin O. Hall for the above land.

Res. Instructing the Min. of Int. to engage Wm. P. Alexander to survey the above land and such other govt. lands in Kula.

Res. refusing James Humphries appl. for the above land.

Res. refusing to grant any portion of the above land to Naunau, Naukana and Makaiauleo as the land has been reserved for the use of the Govt. cattle.

Res. Manu's Appl. for the purchase of 30 acres of Gov't. land of the above. Res. that the applicant be and is hereby directed to bargain with Wm. P. Alexander Govt. Agent for the sale of said land.

Int. Dept. 1870, Mar. 31

In report from the Gov. of Maui (Nahaolelua) for the quarter ending this date, showing that \$77.50 had been rec'd from the Govt. lands rented to John Ross at the above place &c.

Ex. (C.P.L.) 1920, June 4 Commissioner of Public Lands to Governor

Submitting for approval transfer from Angus McPhee to C.C. Conrardt of Kiawe Bean License effecting Gov.t land at the above tract, Kula, Maui &c.

Int. Dept. Doc. no. 311

In list of royal patents and land claims, showing that Royal Patent no. 420 issued to Kanakaole and Royal Patent No. 472 issued to Kamoia for lands in the above Place, are still in the archives of the Probate Court of Maui.

Int. Dept. Doc. no 355

List showing amounts paid by the following persons for lands in the above tract, Maui, &c.

Ahulau..\$11.50	Jeremia..\$15.50
Ilae..\$207.	Ili..\$48.
Opunui..\$28.	L.S. Ma..\$66.
Hakolo..\$15.50	Harry..\$36.
Hilaa..\$110.	Holani..\$51.
James Humphries..\$691.	Kaalauka..\$148.
Kaili..\$6	Kaui..\$47.
Joane Marie (Kau)..\$26.	Kauhiaka..\$97.
Kaumea..\$166.50	Kaheiaunui..\$15.50
Kahoopii..\$15.	Kalauao..\$201.
Kaluhala..\$46	Kalama..\$64.
Kalamaona..\$15.50...	

A total of 63 more individuals were listed, among whom were Kuihelani who payed \$442; David Malo who payed \$143.75; and the biggest spender, John Richardson who payed \$1,084.00. John Sniffin bought two lots, one for \$267.50 and \$192.00. The Swinton family bought five lots, which went to various family members, Jane, Martha, Harrietta, Helen and Henry.

Later cards (from 1861 on) show that J. Richardson and P. Nahaolelua (Governor of Maui) had received payment for parcels of land.

In all the Kama'ole Land File Index contains over 100 cards, evidence of the many changes that took place in ownership.

In September, 1977 Ross Cordy conducted a flood control study of seven ahupua'a in the Kihei area, including Kama'ole. Figure A-1 is taken from Cordy's report, and various archaeological sites are indicated. Site 1715 is nearest the proposed project area. This site consisted of three C-shape structures mauka of the project area. None of the 12 sites identified by Cordy in Kama'ole Ahupua'a were in the

coastal zone. He classified eight of these sites as historic and four as prehistoric. Of the eight historic sites, three of them (1718, 1719, 1721) functioned as cart/vehicle paths; one (1716) as a foot/horse path; one (1720) as an aqueduct; one (1717) ranch related; and two (1713 and 1714) as unknown. Of the four pre-historic sites he listed, three of them functioned as temporary housing sites (1715, 1723, 1724) and one (1722) was classified as unknown.

Cordy also compiled a data sample of Mahele testimony in order to provide information on the type of settlement within the inland and coastal zones of the seven ahupua'a he studied. The notes for Kama'ole Ahupua'a are listed in Table 1.

KALAMA BEACH PARK

The proposed project site is north of and adjacent to Kalama Beach Park. The following is a brief history of the park contained in Beaches of Maui County, by John Clark:

Kalama Beach Park was named in honor of Samuel E. Kalama, the Maui County Chariman and executive officer for the twenty year period from 1913 to 1933. Born Sept. 1, 1869, Kalama began his public career in 1888 when he was named clerk and tax accessor of the Makawao District. In 1893 he was appointed captain of the Makawao Police and also clerk of the road board. In 1899 he began a three-year term as deputy sheriff of the Makawao district. Kalama was elected as a Maui representative to the territorial legislature in 1902, and then again as senator, serving from 1904 to 1912. In 1912 he was successful in his bid for the chairmanship of the Maui Board of Supervisors, the equivalent of being mayor of Maui County. Kalama took over the position in 1913 and held it until the day of his death, on February 27, 1933. The park was officially dedicated with a public ceremony in May 1953.

Kalama Beach Park covers over thirty-six acres and contains a multitude of facilities, including twelve pavilions, three restrooms and showers, picnic tables, barbecue grills, playground equipment, one soccer field, one baseball field, tennis courts, a volleyball/basketball court, a caretaker's

Table 1.

MAHELE TESTIMONY		
LCA & Awardee	Inland	Coastal
8881..Kalsuwao	Moku mau'u irish potato patches kula land in 'ili Kaukakea	House lot (at Kaluahakoko, 'ili Kaukakea
10890..Naihe	Kula land, pasture taro, Irish potato plots	House lot ('ili Kaluahakoko "which I occupy permanently")
10891..Holani	Pasture 'ili (Pahalona) taro, some Irish potato House lot ('ili Pahalona)	House lot (Kaukakea 'ili, wife belonged to Kaluahakoko & he worked lands there)
6445..Kamoa	Moku mau'u Irish potatoes in the barren zone, pasture	2 small houses
6471..Ka'ili	Moku mau'u, irish potato patches	House lot
8038..Abulau	claim - 'ili Paie (extends from sea mountain); sweet potato patches, pasture 'ili	House lot in unknown location

(Cordy 1977:70-71).

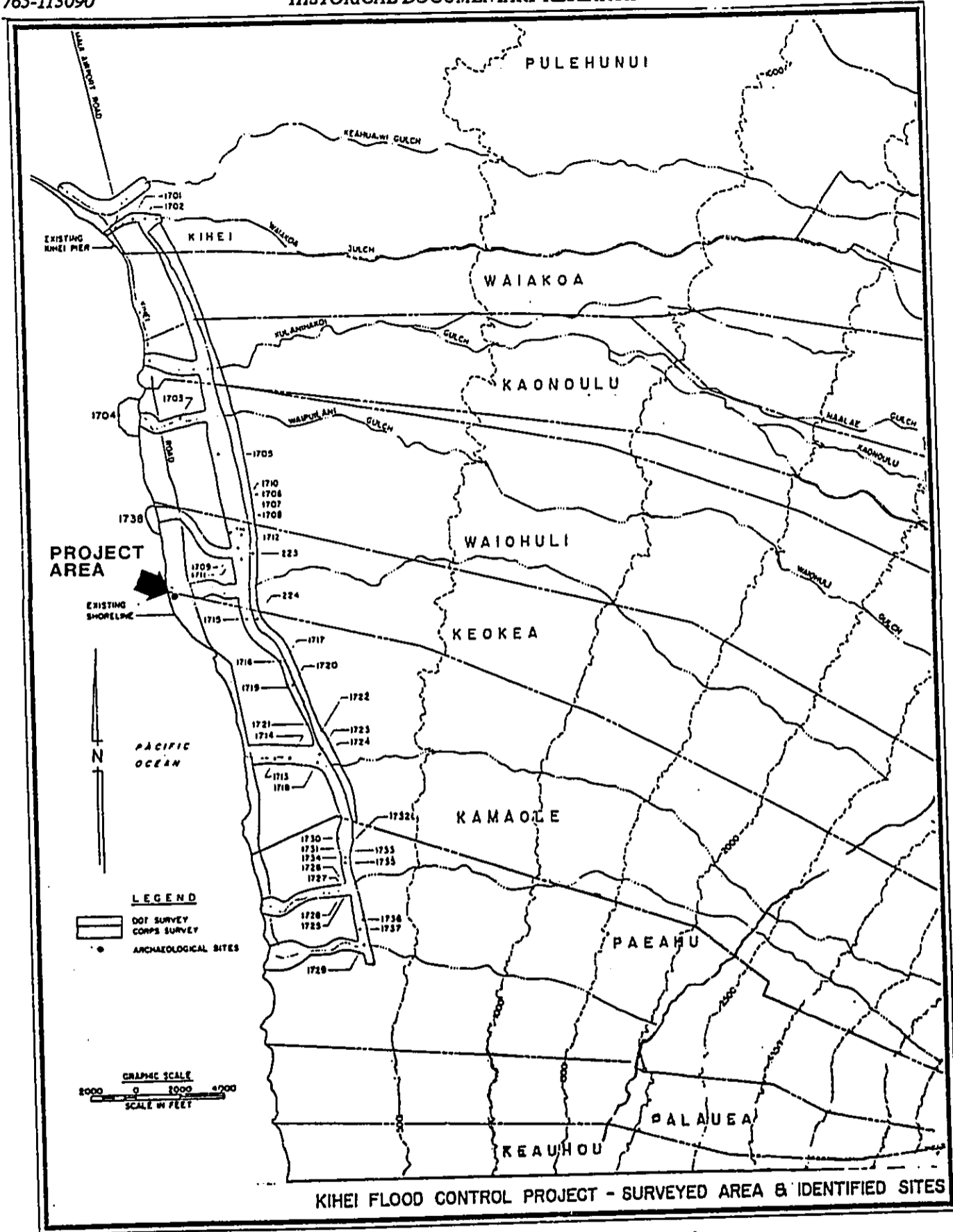


Figure 1-A. Map of Kihei Area with Site Locations
Taken from Ross H. Cordy 1977

residence, and a paved parking lot....

The building of the revetment fronting Kalama Beach Park created a great deal of controversy. Opponents of the project claimed the wall would permanently obliterate the beach, obstruct access to the water from the park, and create a "child trap" because the huge boulders have openings between them to allow drainage through the wall. Proponents, however, cited the fact that although the beach experiences seasonal erosion and accretion, the net effect has been erosion. Surveys made in 1912 and in 1961 showed that the shoreline had receded three hundred feet during this forty-nine year period. The erosion impaired the recreational use of the park and threatened the highway embankment at the south end of the beach. In the early 1970's an erosion control project was completed which included construction of a revetment along the threatened highway, construction of a twenty-five foot berm along the makai length of the park, and construction

of a three thousand foot long revetment seaward of the berm. The sloped revetment was designed to protect the berm from erosion and to encourage accretion of sand on the seaward side.

The south end of Kalama Beach Park is the site of the former Kihei Boat Ramp. It was officially closed on July 1, 1983, and replaced by the present ramp... A popular surfing site is located directly offshore the old ramp.

To the north of Kalama Beach Park is a fairly long white sand and coral rubble beach that fronts several residential communities. ...Two sections of this beach are known as Waimahaihai and Kawililipoa (Clark 1989:46).

The project area is next to a recreational facility, and near Kihei School. *No significant archaeological sites were found near the project area, and historical evidence does not indicate that any significant sites are likely to be present.*

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