

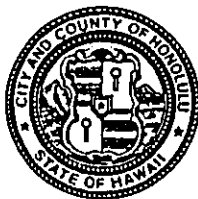
7-11 Hawaii Inc

DEPARTMENT OF LAND UTILIZATION
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 7TH FLOOR • HONOLULU, HAWAII 96813
PHONE: (808) 523-4414 • FAX: (808) 527-8743

RECEIVED

JEREMY HARRIS
MAYOR



'96 JUL -5 P1:51

PATRICK T. ONISHI
DIRECTOR

LORETTA K.C. CHEE
DEPUTY DIRECTOR

(OFC. OF ENVIRONMENTAL
QUALITY CONTROL) 95/SMA-061 (DT)
96-03571

July 1, 1996

The Honorable Gary Gill, Director
Office of Environmental Quality Control
220 South King Street, 4th Floor
State of Hawaii
Honolulu, Hawaii 96813

Dear Mr. Gill:

**SPECIAL MANAGEMENT AREA ORDINANCE
CHAPTER 25, ROH
Environmental Assessment/Determination
Negative Declaration**

Owner/Applicant: 7-Eleven Hawaii, Inc.
Agent : Yamasato, Fujiwara, Aoki & Associates,
Inc.
Location : 85-010 Farrington Highway, Makaha, Oahu
Tax Map Key : 8-5-18: 18
Request : Special Management Area Use Permit
Proposal : To demolish the existing retail
convenience store and construct a new
store and parking lot
Determination : A Negative Declaration Is Issued

Attached and incorporated by reference is the Final Environmental Assessment (FEA) prepared by the applicant for the project. Based on the significance criteria outlined in Chapter 200, State Administrative Rules, we have determined that preparation of an Environmental Impact Statement is not required.

We have enclosed a completed OEQC Bulletin Publication Form and four copies of the FEA. If you have any questions, please contact Dana Teramoto of our staff at 523-4648.

Very truly yours,

Handwritten signature of Patrick T. Onishi in cursive script.
PATRICK T. ONISHI
Director of Land Utilization

PTO:am
Enclosures

g:feasma61.djt

74

1996-07-23-0A-FEA-7-11 HAWAII Inc

JUL 23 1996

FILE COPY

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ENVIRONMENTAL ACCESSMENT STUDY

DEPT. OF LAND UTILIZATION
CITY & COUNTY OF HONOLULU

for

SEVEN-ELEVEN HAWAII, INC.
85-310 FARRINGTON HIGHWAY
MAKAHA, OAHU, HAWAII
TAX MAP KEY : 6-5-18:18

PREPARED BY:
YAMASATO, FUJIWARA, AOKI & ASSOCIATES, INC.
1100 WARD AVENUE, SUITE 760
HONOLULU, HAWAII 96814

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□□□□□ FUJIWARA
□□□□□ AOKI +
□□□□□ ASSOCIATES, INC

~~1996 APR 19 PM 1:42~~

~~DEPT. OF LAND UTILIZATION
CITY & COUNTY OF HONOLULU~~

ENVIRONMENTAL ACCESSMENT STUDY

for

SEVEN-ELEVEN HAWAII, INC.
85-010 FARRINGTON HIGHWAY
MAKAHA, OAHU, HAWAII
TAX MAP KEY : 8-5-18:18

1996 JUN -5 PM 2:09
DEPT. OF LAND UTILIZATION
CITY & COUNTY OF HONOLULU

PREPARED BY:
YAMASATO, FUJIWARA, AOKI & ASSOCIATES, INC.
1100 WARD AVENUE, SUITE 760
HONOLULU, HAWAII 96814

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□□□□□ FUJIWARA
□□□□□ AOKI +
□□□□□ ASSOCIATES, INC

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FINAL ENVIRONMENTAL ASSESSMENT

FOR

SEVEN-ELEVEN HAWAII, INC.
85-010 FARRINGTON HIGHWAY
MAKAHA, OAHU, HAWAII
TAX MAP KEY : 8-5-18:18

I. GENERAL INFORMATION:

Applicant : Seven-Eleven Hawaii, Inc.
1755 Nuuanu Avenue, 2nd Floor
Honolulu, Hawaii 96817
Chuck Jones, Property Manager

Agent : Yamasato, Fujiwara, Aoki, &
Associates, Inc.
1100 Ward Avenue, Suite 760
Honolulu, Hawaii 96814
Myrtle Kimura

Tax Map Key : 8-5-18 : 18

Lot Area : 19, 994 S.F.

Land Use
Approvals
Granted :

1. 90/SMA-17
Aloha Petroleum applied to replace and relocate the gas pump area. Permit approved with provision landscaping installed per DLU approval and shall conform to the Statewide Uniform Design Manual.
2. 93/VAR-53
Aloha Petroleum applied for Canopy and pump signage - Partial Approval.

II. DESCRIPTION OF PROPOSED ACTION:

A. GENERAL DESCRIPTION:

Seven-Eleven Hawaii, Inc. proposes to demolish its existing single story convenience store and construct a newly located convenience store to conform with the American Disability requirements. The parking shall be repaired and restripped to allow for conveniently located accessible stalls and aisle fronting the store. (See Exhibit A, B, C, D & K)

III. TECHNICAL AND ENVIRONMENTAL CHARACTERISTICS :

A. SURROUNDING USE:

The proposed site is located at the corner of the 4 lane Farrington Highway and 2 lane Makaha Valley Road. Ewa across Makaha Valley Road is a vacant Corner Store zoned B-2. Mauka and Diamond Head of the site are zoned R-5. Adjoining the Diamond Head side of the lot is a vacant residential lot. Makai across Farrington Highway is Lahilahi Beach Park zoned P-2 which extends along the coastline. (See Exhibit G)

B. FLOOD HAZARD:

The Flood Insurance Map, Panel 35-C, shows the site falls within Zone AE, with elevation requirement of 12 ft. at the front property and the rear falls within AE, with elevation of 11 ft. (See Exhibit H)

C. EXISTING USE:

The existing 2,480 sq. ft. convenience store was erected in 1980 on the 19,994 sq. ft. property. Aloha Petroleum later became an Accessory Gas Station with Seven-Eleven.

D. PHYSICAL CHARACTERISTICS:

The building design will be the typical design of all the Seven-Eleven stores though out the State. Alterations to the design shall be subject to requirements of DLU or Waianae Neighborhood Board.

Parking will increase and handicap stalls, convenient accessible route, aisle space, and ramps provided shall conform to ADA requirements.

Restoration of the existing landscape areas shall proceed after completion of construction of the building and parking.

Modifications to the parking decreased the size of front right planter. (See Exhibit A)

E. INFRASTRUCTURE CONSIDERATIONS:

The existing business required water, electricity, and sewer.

A private refuse firm shall maintain the disposal of solid waste.

Liquid waste will be disposed of by existing sewer system.

F. ACCESS TO SITE:

Currently traffic ingress and egress is from Farrington Highway or exit Makaha Valley Road. Recommendations from State of Hawaii Department of Transportation and City and County Transportation Services have prompted Seven-Eleven and Aloha Petroleum to further study the traffic situation at this site.

IV. ECONOMIC AND SOCIAL CHARACTERISTICS :

- A. Anticipated plans for demolition of existing Seven-Eleven store is scheduled for January 1996, provided the necessary site preparation, building, grading, & SMA permits have been obtained.

Construction of the proposed convenience store and renovated parking shall commence immediately after acquired permits and continue till completion by April 1996.

Estimated cost is \$750,000.00.

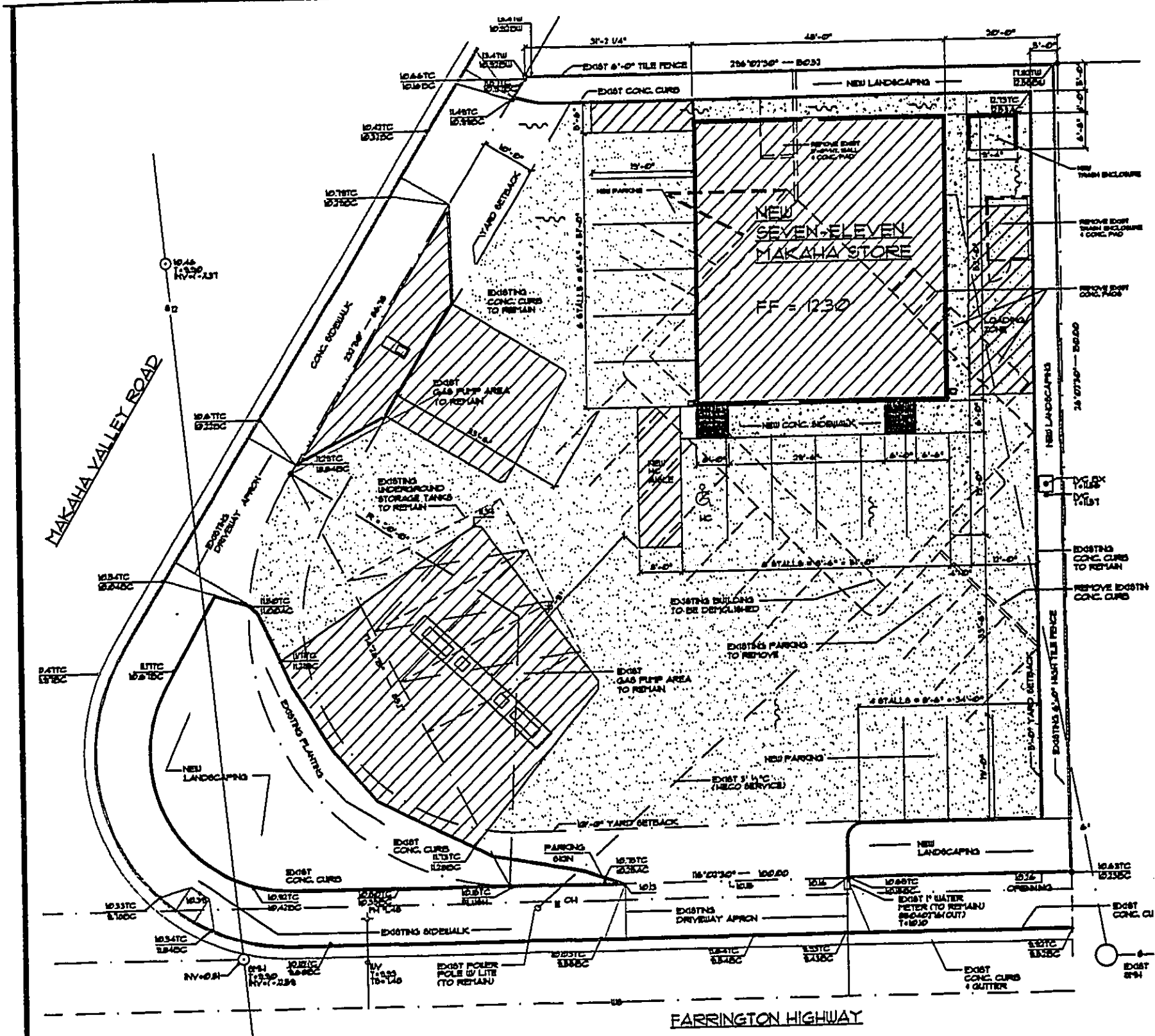
Landscaping plans shall be submitted in conjunction with the building permit and subject to review and approval.

- B. Existing Makaha Store employees shall have the option of relocating to a nearby Seven-Eleven store maintaining current work schedules or they may take leave of absence or vacation until the completion of the new Seven-Eleven Makaha store is operational.

V. AFFECTED ENVIRONMENT :

A. CONSTRUCTION IMPACT:

The construction site shall be temporary contained within a screened fenced area. Building materials and equipment will be stored at the site which will help to mitigate the transporting of vehicles and materials. Minimal excavation, hauling and the leveling of earth is anticipated since the site previously had been graded for the existing store.



SITE PLAN
SCALE: 1/8" = 1'-0"

LEGEND
 --- EXISTING TO BE REMOVED
 --- NEW

BUILDING REQUIREMENTS

TMK: 8-5-18: 18
 ZONE: B-2
 LOT AREA: 13,994 SF.
 MAXIMUM LOT COVERAGE: 25% = 4,998.50 s.f.
 SETBACK: 5 ft. - SIDE & REAR
 SETBACK: 10 ft. - STREET FRONT
 HEIGHT SETBACK: 40 ft. MAX.
 FLOOD ZONE: AE (REFER TO FLOOD INSURANCE MAP, PANEL 35-C INDICATED ELEVATION SHALL BE AT 12 ft. ABOVE SEA LEVEL)

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 CITY & COUNTY OF HONOLULU

EXISTING FLOOR AREA: 2,400 SF
 NEW FLOOR AREA: 2,544 SF
 LOT COVERAGE: 12%

PARKING REQUIREMENTS

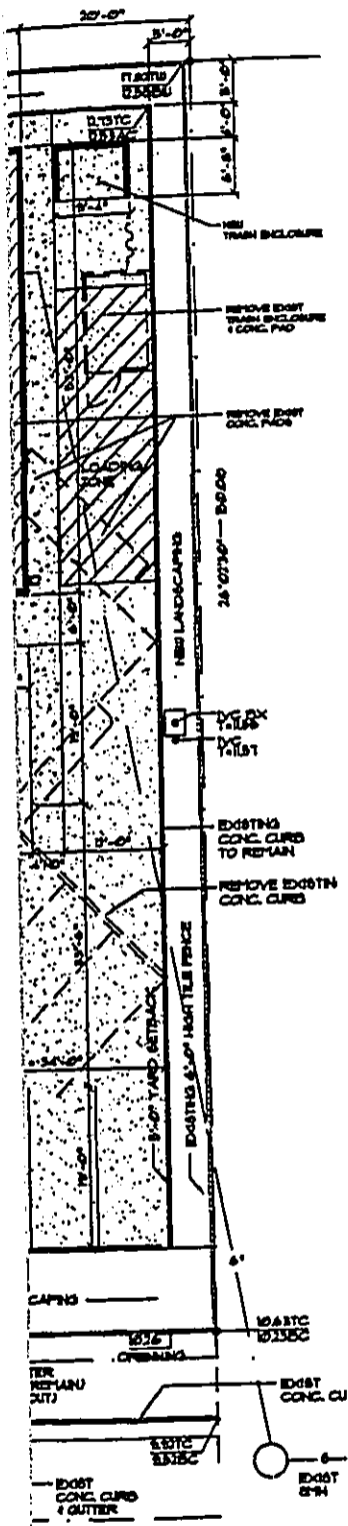
ONE (1) STALL PER 400 s.f.
 2,544 s.f. / 400 s.f. = 7 STALLS MINIMUM

PARKING PROVIDED

NEW PARKING : 15 STALLS
 HANDICAP SPACE : 1 STALL
 TOTAL : 16 STALLS
 LOADING SPACE : 1 STALL

LEGEND

- AC ASPHALT CONCRETE
- B BOTTOM
- BC BOTTOM CURB
- BU BOTTOM WALL
- BX BOX
- CONC. CONCRETE
- E ELECTRIC LINE
- ELEC ELECTRIC
- HT. HEIGHT
- INV. INVERT
- MH MANHOLE
- S SEWER
- SL STREET LIGHT
- SMH SEWER MANHOLE
- T TOP
- TC TOP CURB
- TW TOP WALL
- UP UTILITY POLE
- U WATER
- WM WATER METER



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GENERAL NOTES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES

REVISION • DATE • DESCRIPTION PROJECT

NEW
 SEVEN-ELEVEN
 MAKAHA STORE

85-010 FARRINGTON HIGHWAY
 MAKAHA, OAHU

TMK: 8-5-18: 18

SHEET TITLE

SITE PLAN
 BUILDING CODE INFORMATION

JOB NO. DRAWING NUMBER

DRAWN MK

CHECKED MHT

DATE 1-11-1998

SHEET OF

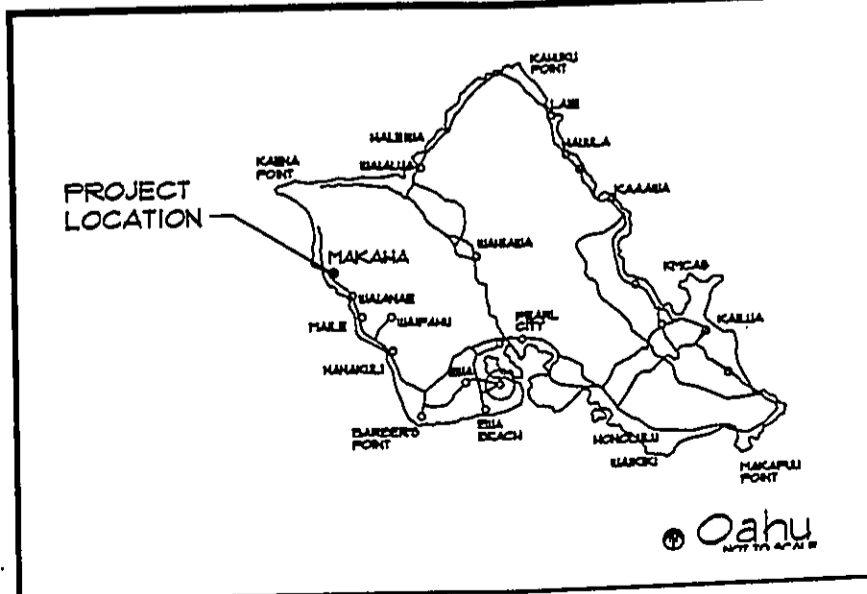
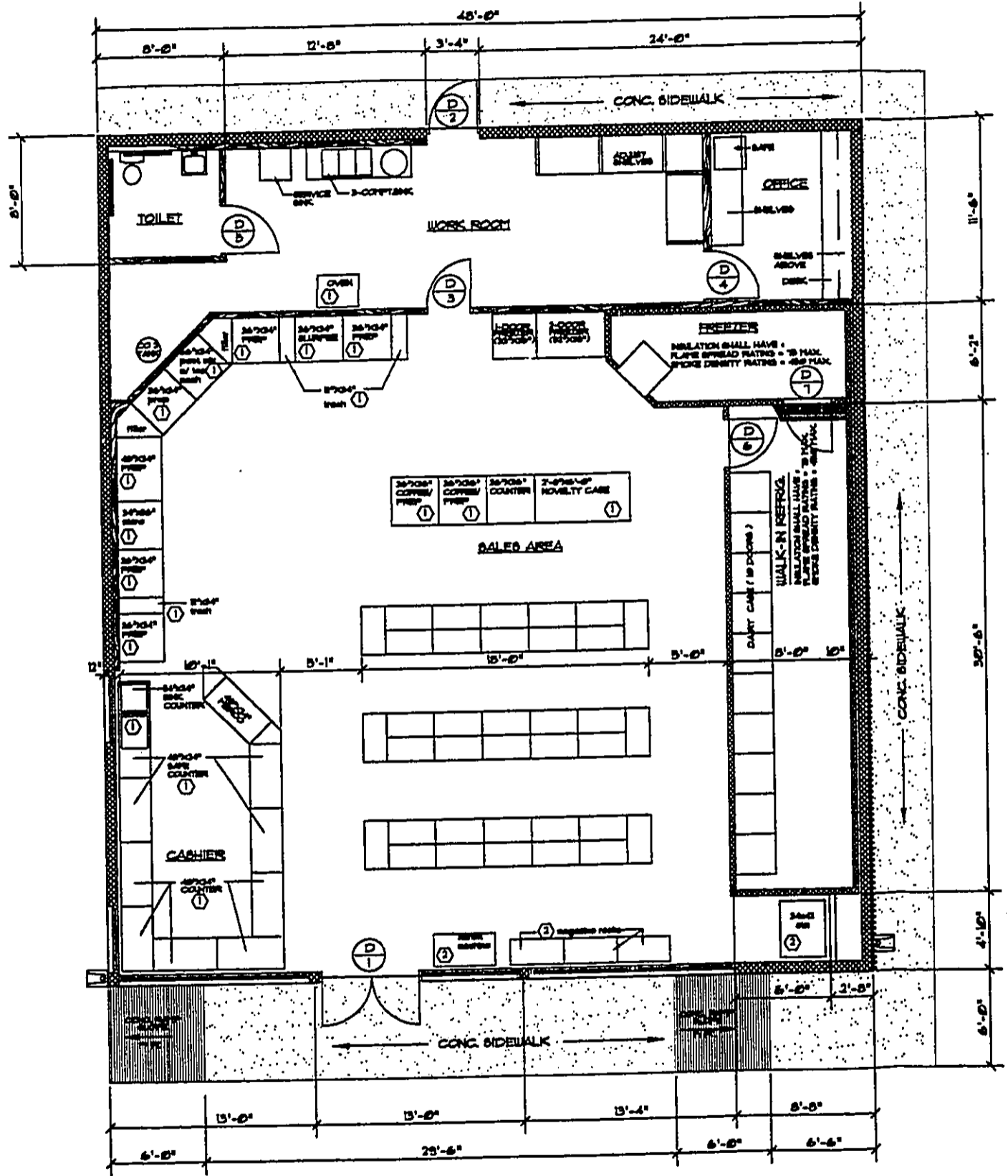


EXHIBIT A



FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- 8" CMU WALL
- 2 X 4 WOOD STUDS @ 16" O.C. W/ GYP. BD. BOTH SIDES UNLESS OTHERWISE NOTED.
- PRE-FAB INSULATED WALK-IN REFRIGERATOR & FREEZER

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~~CITY & COUNTY OF HONOLULU~~

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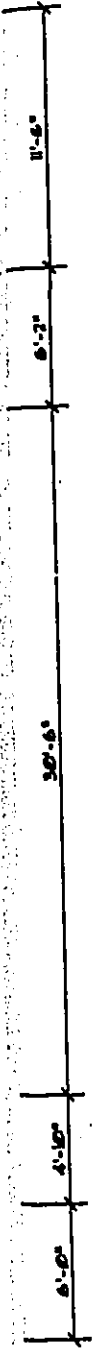
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REVISION • DATE • DESCRIPTION

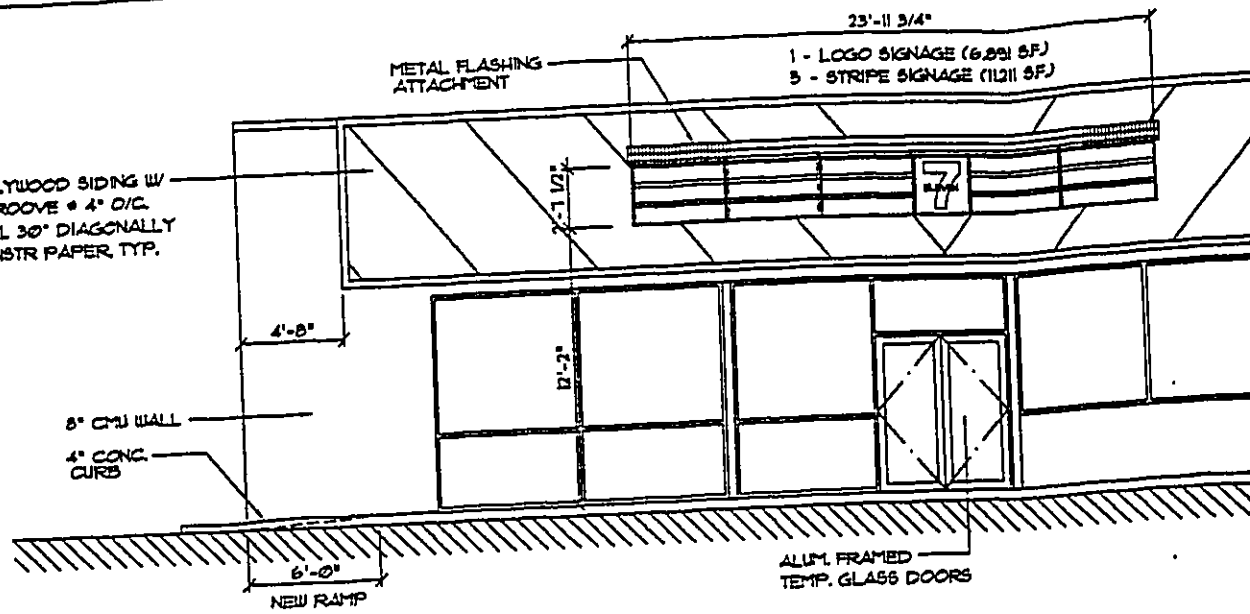
PROJECT
NEW
SEVEN-ELEVEN
MAKAHA STORE
88-010 HARRINGTON HIGHWAY
MAKAHA, OAHU
TTC 8-5-15 : 15

SHEET TITLE
FLOOR PLAN

JOB NO. _____ DRAWING NUMBER _____
DRAWN MK
CHECKED MYT
DATE 8-14-95 SHEET 07

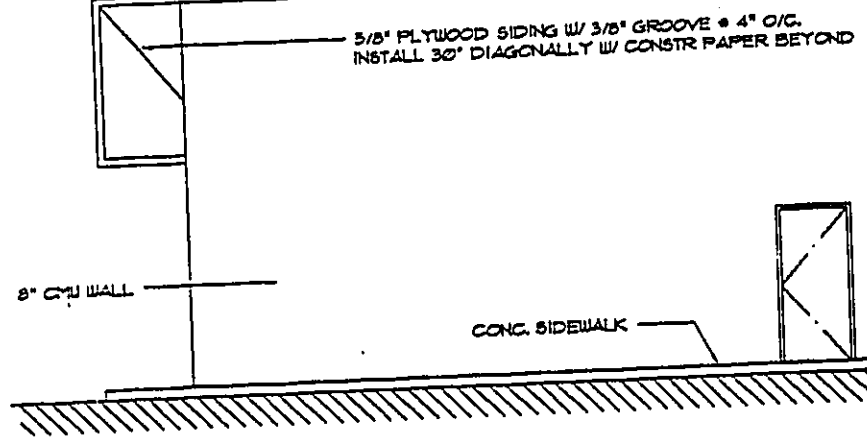
EXHIBIT B

5/8" PLYWOOD SIDING W/
3/8" GROOVE @ 4" O/C.
INSTALL 30° DIAGONALLY
W/ CONSTR PAPER TYP.



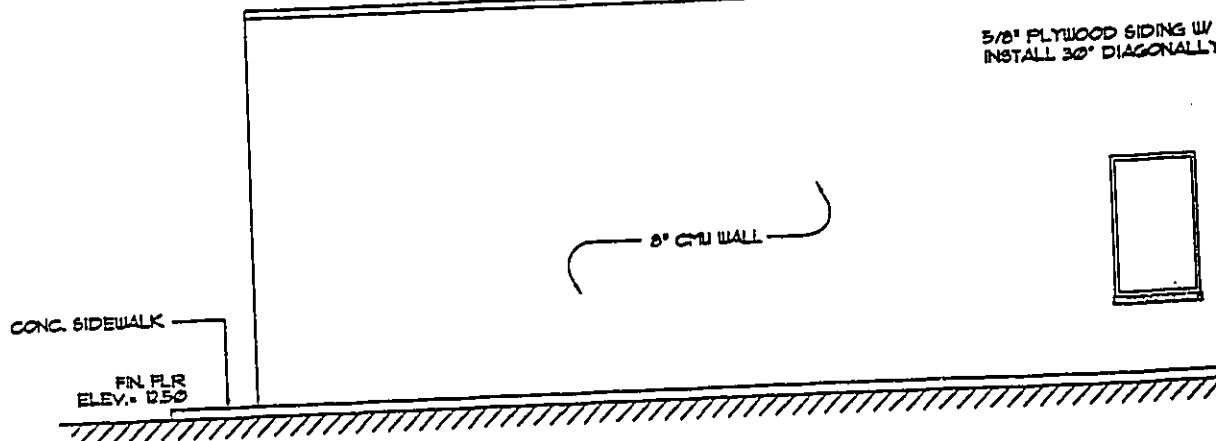
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

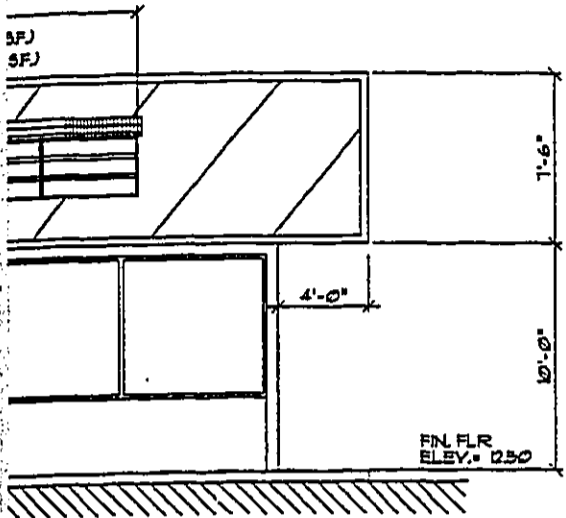
SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

FIN. FLR
ELEV. = 0.50

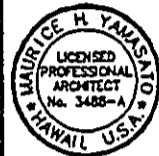


EXTERIOR PAINTING NOTES:

PAIN COLORS ARE FROM AMERITONE: GLOSS
 GOTHAM 2M53D - WOOD FASCIA/OVERHANG
 EARTHTONE 2D10C - WALL W/INSCOT 4'-0" HIGH
 COUNTY GARDEN 2M56E - BALANCE OF WALL

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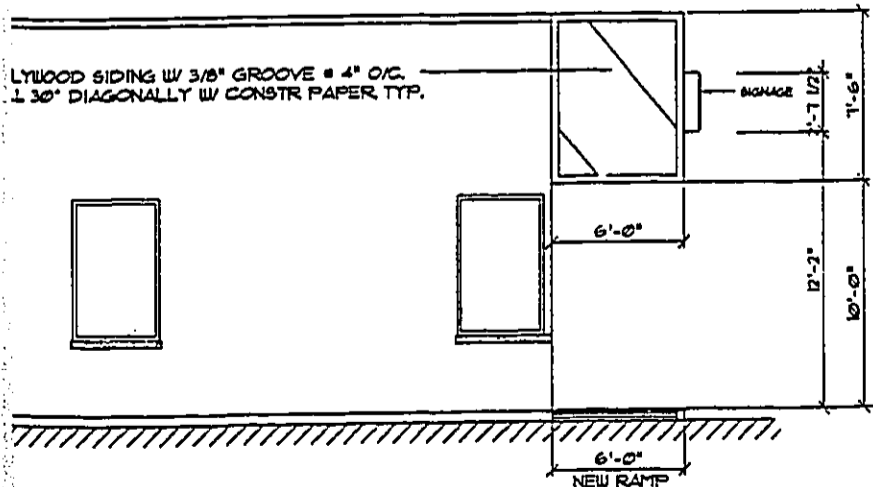
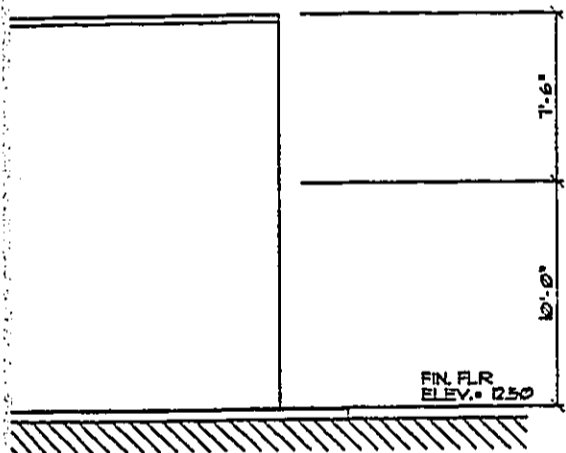
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REVISION	DATE	DESCRIPTION
		PROJECT

NEW
 SEVEN-ELEVEN
 MAKAHA STORE
 85-010 FARRINGTON HIGHWAY
 MAKAHA, OAHU

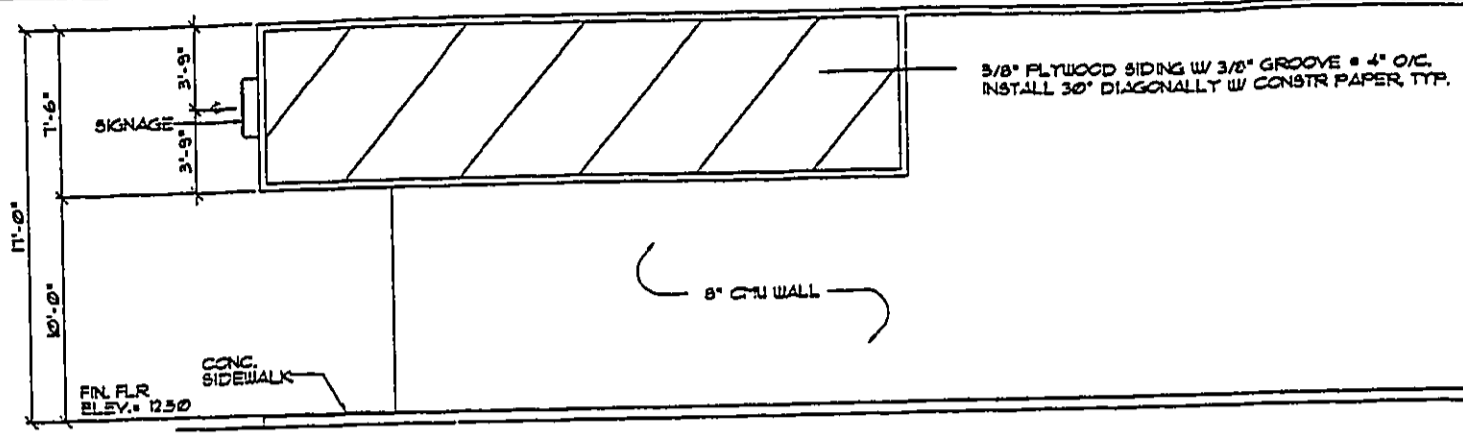
TK 8-5-18, 18

SHEET TITLE

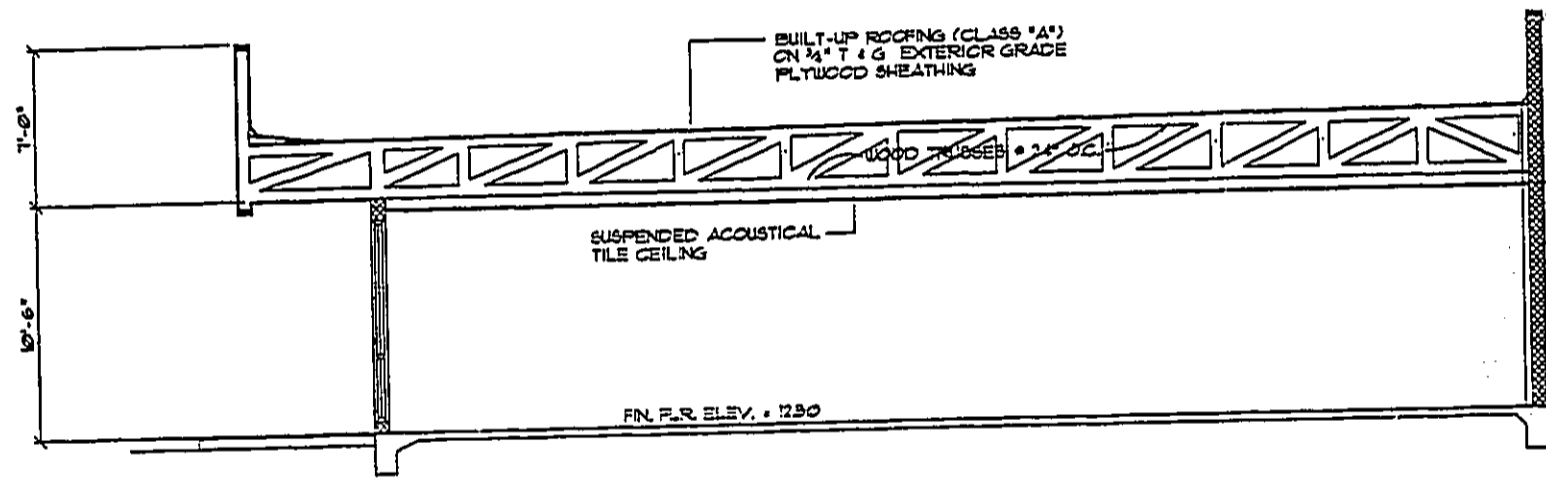
EXTERIOR ELEVATION

JOB NO.	DRAWING	NUMBER
DRAWN MK		A-5
CHECKED MMY		
DATE 4-11-1996	SHEET	OF

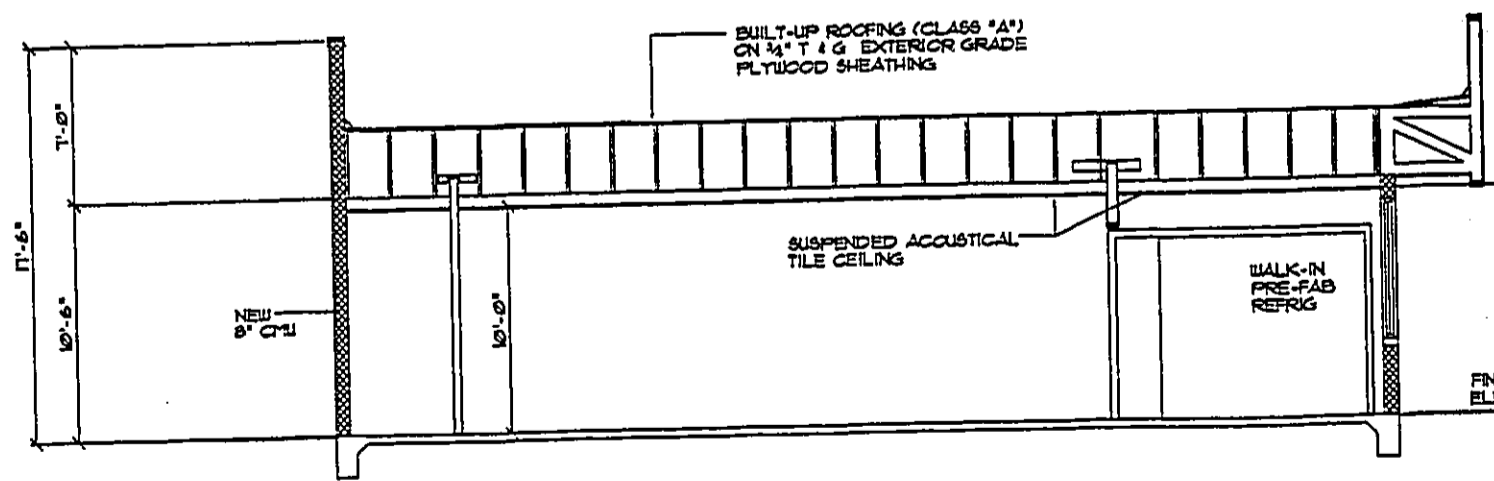
EXHIBIT C



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



A
A-3 **LONGITUDINAL SECTION**
SCALE: 1/4" = 1'-0"

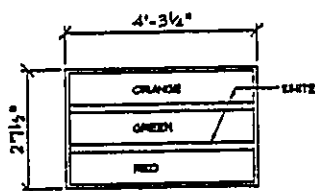
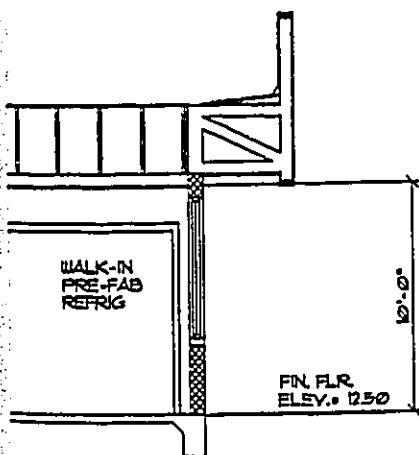
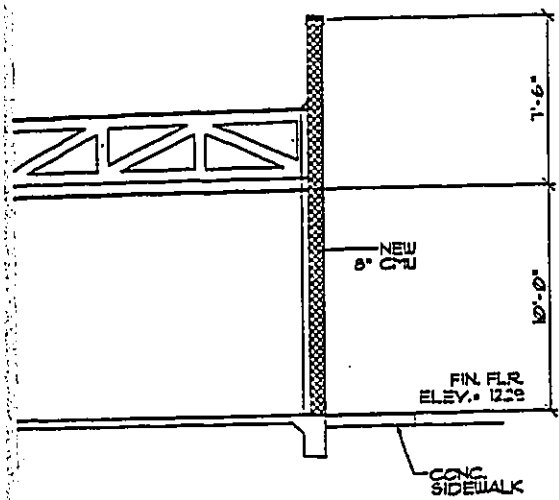


B
A-3 **CROSS SECTION**
SCALE: 1/4" = 1'-0"

GROOVE • 4" O/C,
CONSTR PAPER, TYP.

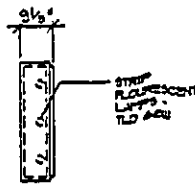
11'-6"

CONC.
SIDEWALK

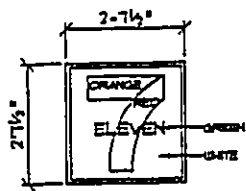


FRONT

STRIP SIGN
(11211 SF)

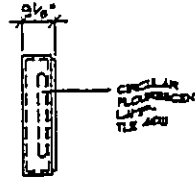


SIDE



FRONT

LOGO SIGN
(6891 SF)



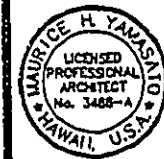
SIDE

SIGN DETAIL
SCALE: 1/2" = 1'-0"

NOTE:
ALUMINUM FRAME
HOLDING UNIT
PLASTIC COVER

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REVISION	DATE	DESCRIPTION
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NEW
**SEVEN-ELEVEN
MAKAHA STORE**
65-010 FARRINGTON HIGHWAY
MAKAHA, OAHU
TMK: 8-5-18: 1B

EXTERIOR ELEVATION
BUILDING SECTIONS

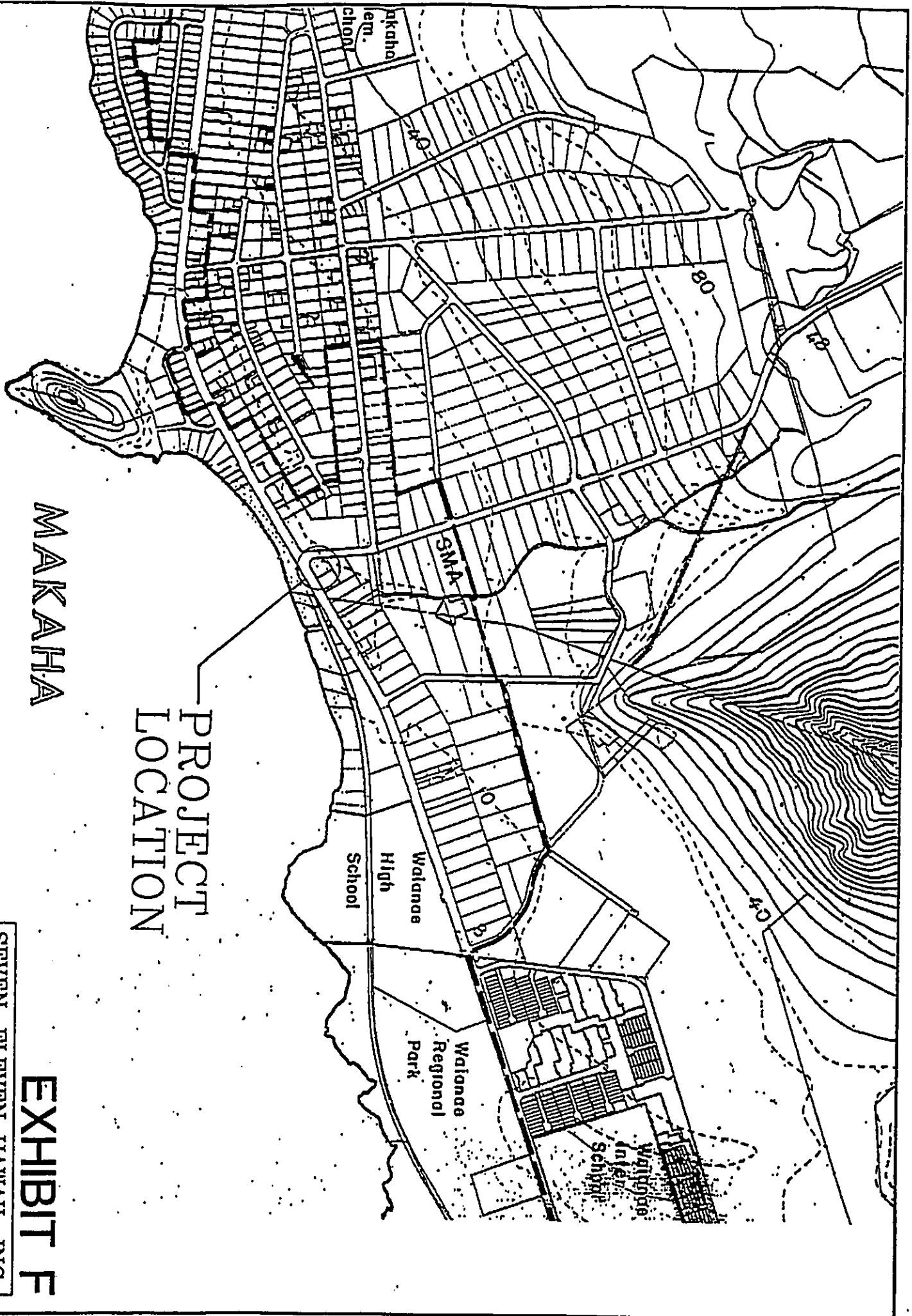
JOB NO.	DRAWING	NUMBER
DRAWN MK		A-6
CHECKED MMY		
DATE 4-17-1996	SHEET	OF

EXHIBIT D

TAX MAP KEY	LAND AREA SQ FT	LUO	DEV	CZC PLAN	SLU LIMIT	HGT	SPEC	DIST	SMA	FLOOD SET ZONE	BACK TRACT	CENSUS	COMMENTS
8-5-018-001	60,791	P-2	PRK	1	025	NO	NO	NO	VE	NO	NO	NO	CHECK DP PUBL FACILITIES MAP FOR FUTURE PARK
8-5-018-002	67,910	P-2	PRK	1	025	NO	NO	NO	VE	NO	NO	NO	CHECK DP PUBL FACILITIES MAP FOR FUTURE PARK
8-5-018-003	19,209	P-2	PRK	1	025	NO	NO	NO	VE	NO	NO	NO	CHECK DP PUBL FACILITIES MAP FOR FUTURE PARK
8-5-018-010	30,936	CNTRY	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	SMAS-SS OCEAN FRONTAGE - SHORELINE SETBACK REGS
8-5-018-011	40,936	CNTRY	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	SMAS-SS OCEAN FRONTAGE - SHORELINE SETBACK REGS
8-5-018-012	61,272	CNTRY	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	SMAS-SS OCEAN FRONTAGE - SHORELINE SETBACK REGS
8-5-018-014	33,494	CNTRY	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	DECLARATION OF COVENANTS
8-5-018-016	28,000	CNTRY	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	DECLARATION OF COVENANTS
8-5-018-017	19,500	CNTRY	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	DECLARATION OF COVENANTS
8-5-018-018	19,994	B-2	COM	1	040	NO	NO	NO	AE	NO	NO	98.00	DECLARATION OF COVENANTS
8-5-018-019	26,350	CNTRY	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	DECLARATION OF COVENANTS
8-5-018-020	5,986	R-5	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	DECLARATION OF COVENANTS
8-5-018-027	10,000	CNTRY	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	DECLARATION OF COVENANTS
8-5-018-028	5,470	R-5	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	DECLARATION OF COVENANTS
8-5-018-029	8,945	R-5	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	DECLARATION OF COVENANTS
8-5-018-030	9,011	R-5	RES	1	025	NO	NO	NO	AE	NO	NO	98.00	DECLARATION OF COVENANTS
8-5-019-001	1,132,821	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-002	369,345	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-003	457,336	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-004	333,756	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-005	382,500	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-006	5,140	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-007	111,775	CNTRY	RES	1	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-009	171,628	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-010	116,000	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-014	229,691	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-016	270,594	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-017	72,092	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-018	299,127	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-019	148,670	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-020	168,012	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-021	157,154	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-022	228,472	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-023	89,559	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-028	92,739	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-029	3,092	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-030	696	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-031	47,068	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-032	55,408	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.02	DECLARATION OF COVENANTS
8-5-019-033	122,970	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.01	DECLARATION OF COVENANTS
8-5-019-034	105,197	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.01	DECLARATION OF COVENANTS
8-5-019-035	110,816	AG-2	AGR	3	025	NO	NO	NO	D	NO	NO	97.01	DECLARATION OF COVENANTS

EXHIBIT E

SEVEN-ELEVEN HAWAII, INC.
 85-010 FARRINGTON HIGHWAY
 MAKAHA, OAHU, HAWAII
 TAX MAP KEY : 8-5-18 : 18



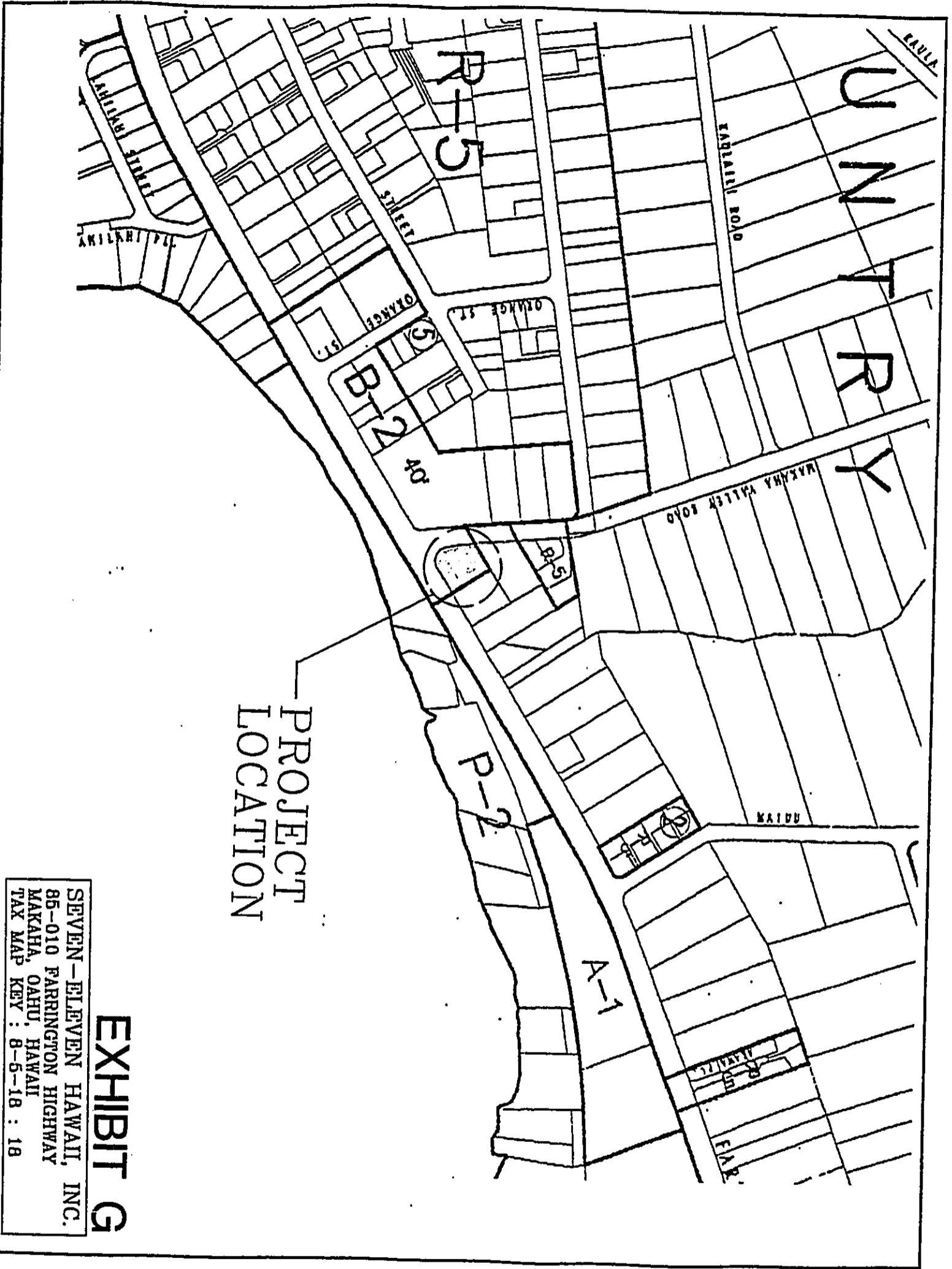
MAKAHA

PROJECT
LOCATION

EXHIBIT F

SEVEN-ELEVEN HAWAII, INC.
85-010 FARRINGTON HIGHWAY
MAKAHA, OAHU, HAWAII
TAX MAP KEY : 8-6-18 : 18





PROJECT
LOCATION

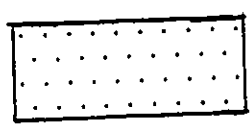
EXHIBIT G
 SEVEN-ELEVEN HAWAII, INC.
 85-010 FARRINGTON HIGHWAY
 MAKAHA, OAHU, HAWAII
 TAX MAP KEY : 8-5-18 : 18

NOTICE:
The flood hazard areas shown on this information are approximate and used only as a guide. For Federal Flood Insurance (FIRM) for the Official Areas, Boundaries and

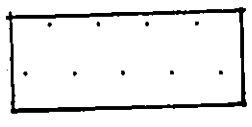
SEVEN-ELEVEN HAWAII, INC.
85-010 FARRINGTON HIGHWAY
MAKAHA, OAHU, HAWAII
TAX MAP KEY : 8-5-18 : 18

1996 APR 19 PM 1:54
DEPT. OF LAND UTILIZATION
CITY & COUNTY OF HONOLULU

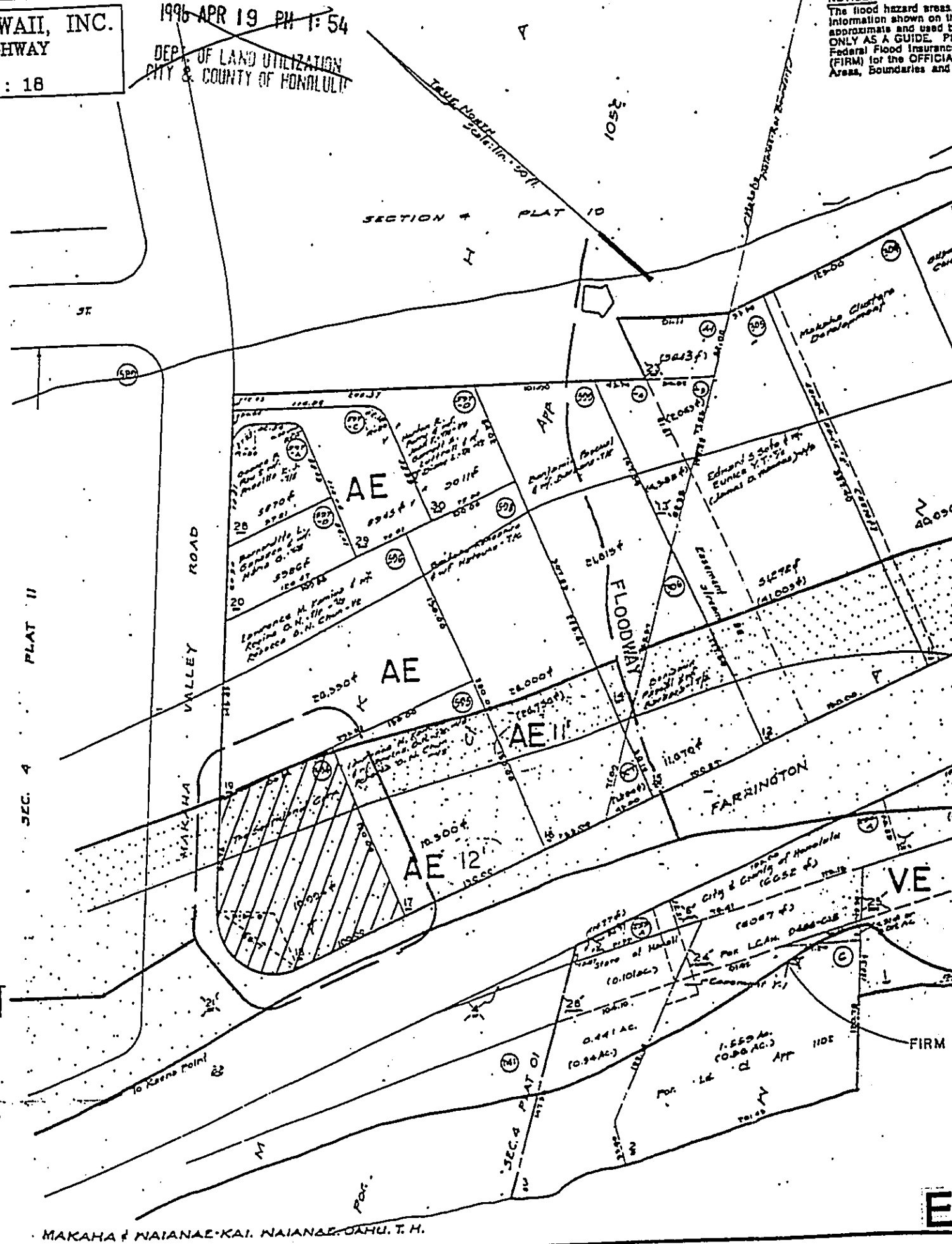
AE = 11'-0"



AE = 12'-0"

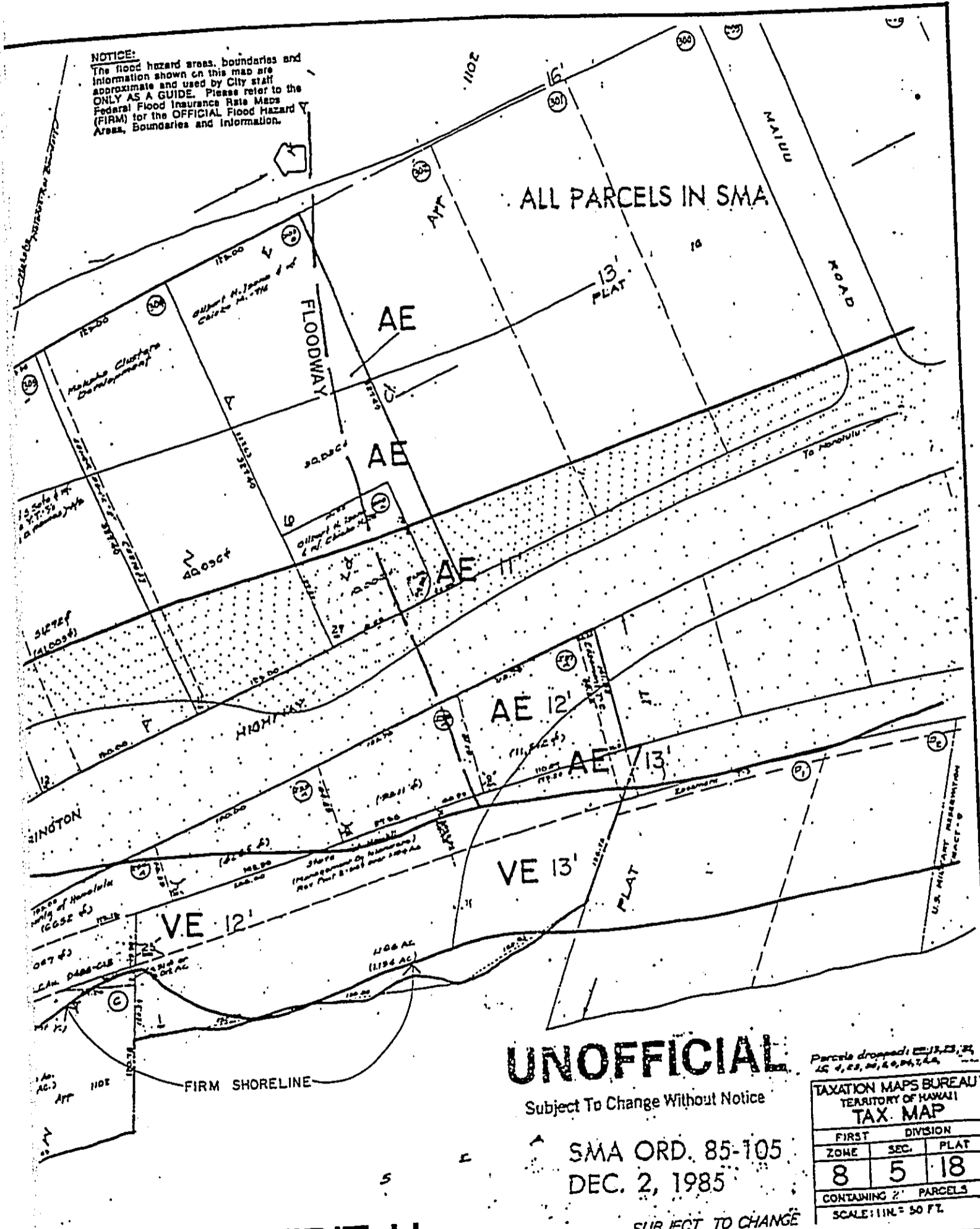


PROJECT
LOCATION



MAKAHA & NAIANAE-KAI, NAIANAE, OAHU, T. H.

NOTICE:
 The flood hazard areas, boundaries and information shown on this map are approximate and used by City staff ONLY AS A GUIDE. Please refer to the Federal Flood Insurance Rate Maps (FIRM) for the OFFICIAL Flood Hazard Area, Boundaries and Information.



UNOFFICIAL

Subject To Change Without Notice

SMA ORD. 85-105
 DEC. 2, 1985

SUBJECT TO CHANGE

Parcel dropped: 12, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

TAXATION MAPS BUREAU		
TERRITORY OF HAWAII		
TAX MAP		
FIRST	DIVISION	
ZONE	SEC.	PLAT
8	5	18
CONTAINING 2 PARCELS		
SCALE: 1 IN. = 50 FT.		

EXHIBIT H

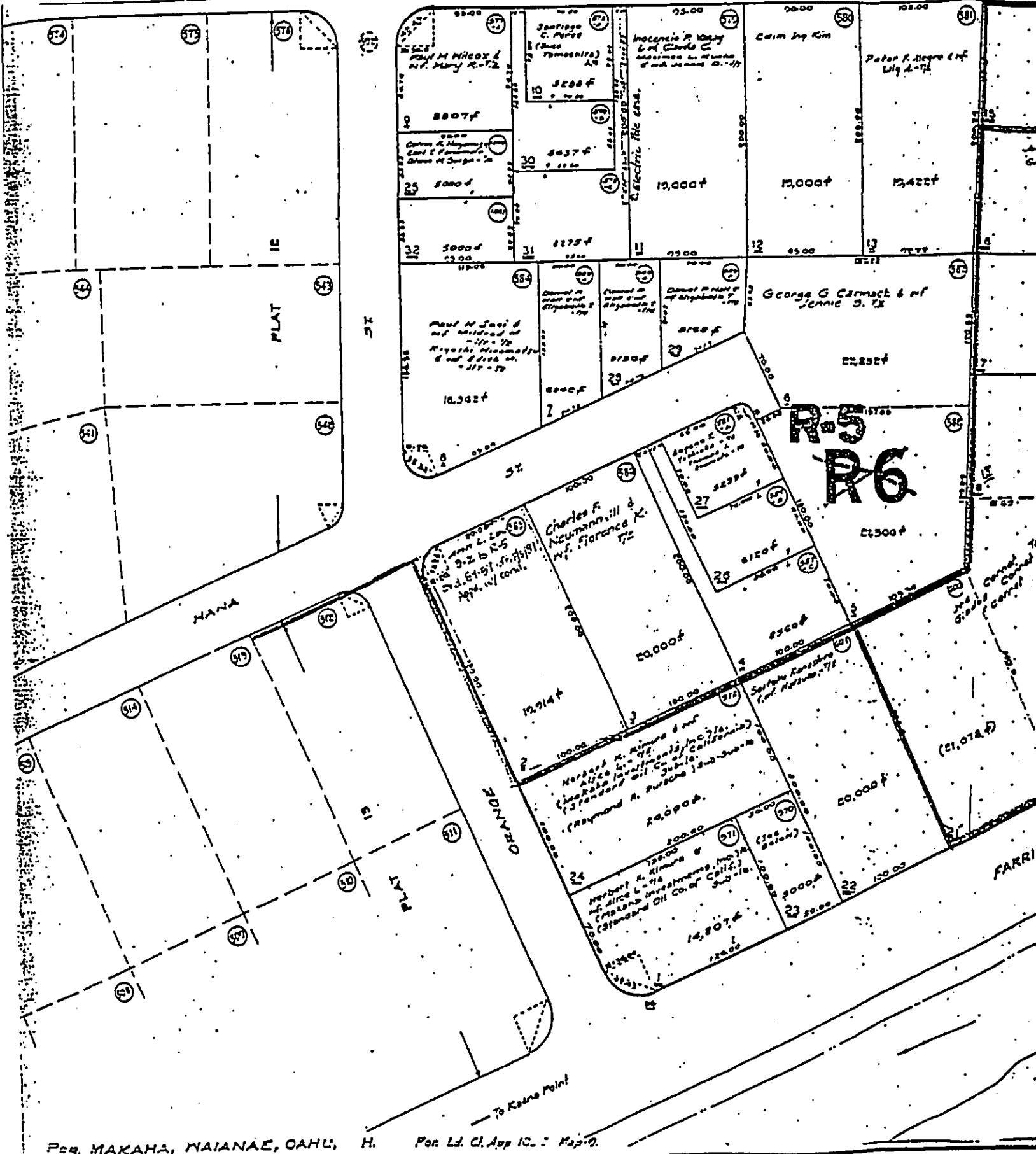
SEVEN-ELEVEN HAWAII, INC.
 85-010 FARRINGTON HIGHWAY
 MAKAHA, OAHU, HAWAII
 TAX MAP KEY : 8-5-18 : 18

PLAT 21

1975 APR
 DEPT. OF
 CITY & CO.

LAHAINA ST

ST



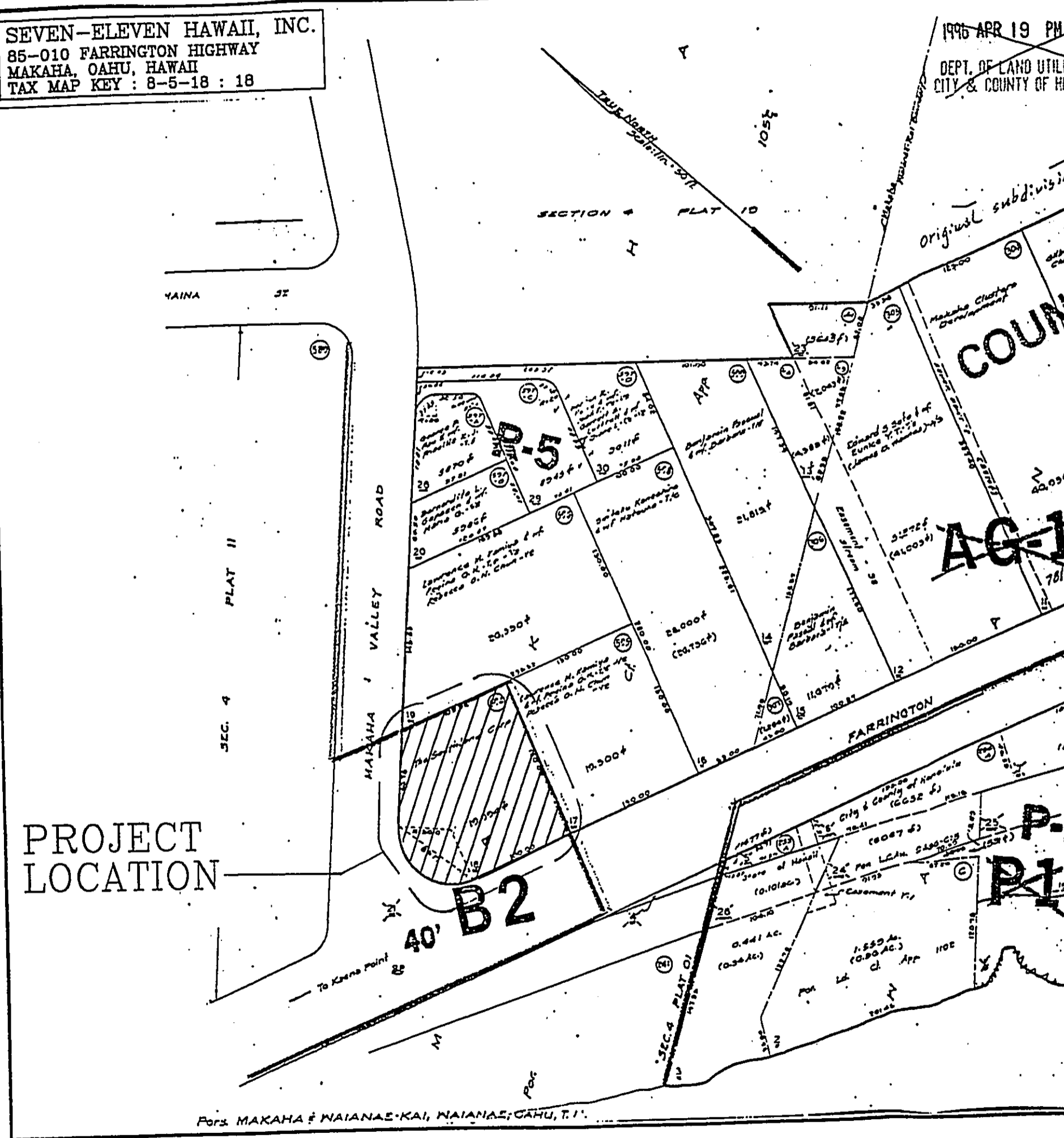
PER. MAKAHA, MAIANAE, OAHU, H. For. Ld. Cl. App 10 - Map 9.

SEVEN-ELEVEN HAWAII, INC.
85-010 FARRINGTON HIGHWAY
MAKAHA, OAHU, HAWAII
TAX MAP KEY : 8-5-18 : 18

1996 APR 19 PM
DEPT. OF LAND UTILI
CITY & COUNTY OF HO

PROJECT
LOCATION

For: MAKAHA & NAIANAE-KAI, NAIANAE, OAHU, T. I.



1996 APR 19 PM 1:55

DEPT. OF LAND UTILIZATION
CITY & COUNTY OF HONOLULU

original subdivision 1948(48)

COUNTRY

AG-1
7816K-6

P-2

P-1

1.166 AC
(1.154 AC)

CT. 98

CT. 97

HIGHWAY

RINGTON

To Honolulu

S E A

11-83

Parcels dropped: 22, 23, 21,
15, 4, 23, 24, 25, 26, 27, 28

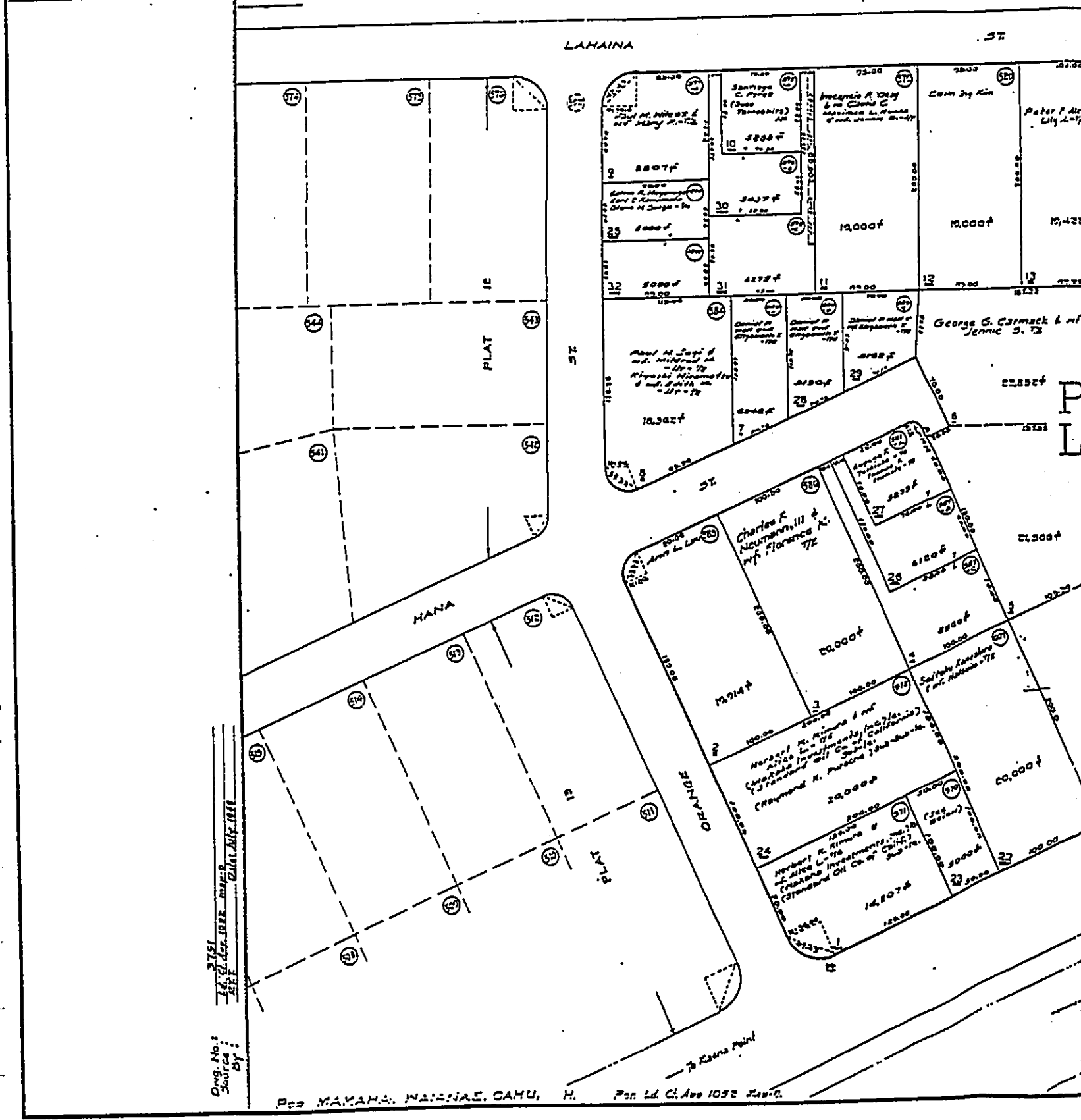
TAXATION MAPS BUREAU		
TERRITORY OF HAWAII		
TAX MAP		
FIRST DIVISION		
ZONE	SEC.	PLAT
8	5	18
CONTAINING		PARCELS
SCALE: 1 IN. = 50 FT.		

SUBJECT TO CHANGE

EXHIBIT J

SEVEN-ELEVEN HAWAII, INC.
 85-010 FARRINGTON HIGHWAY
 MAKAHA, OAHU, HAWAII
 TAX MAP KEY : 8-5-18 : 18

PLAT 21



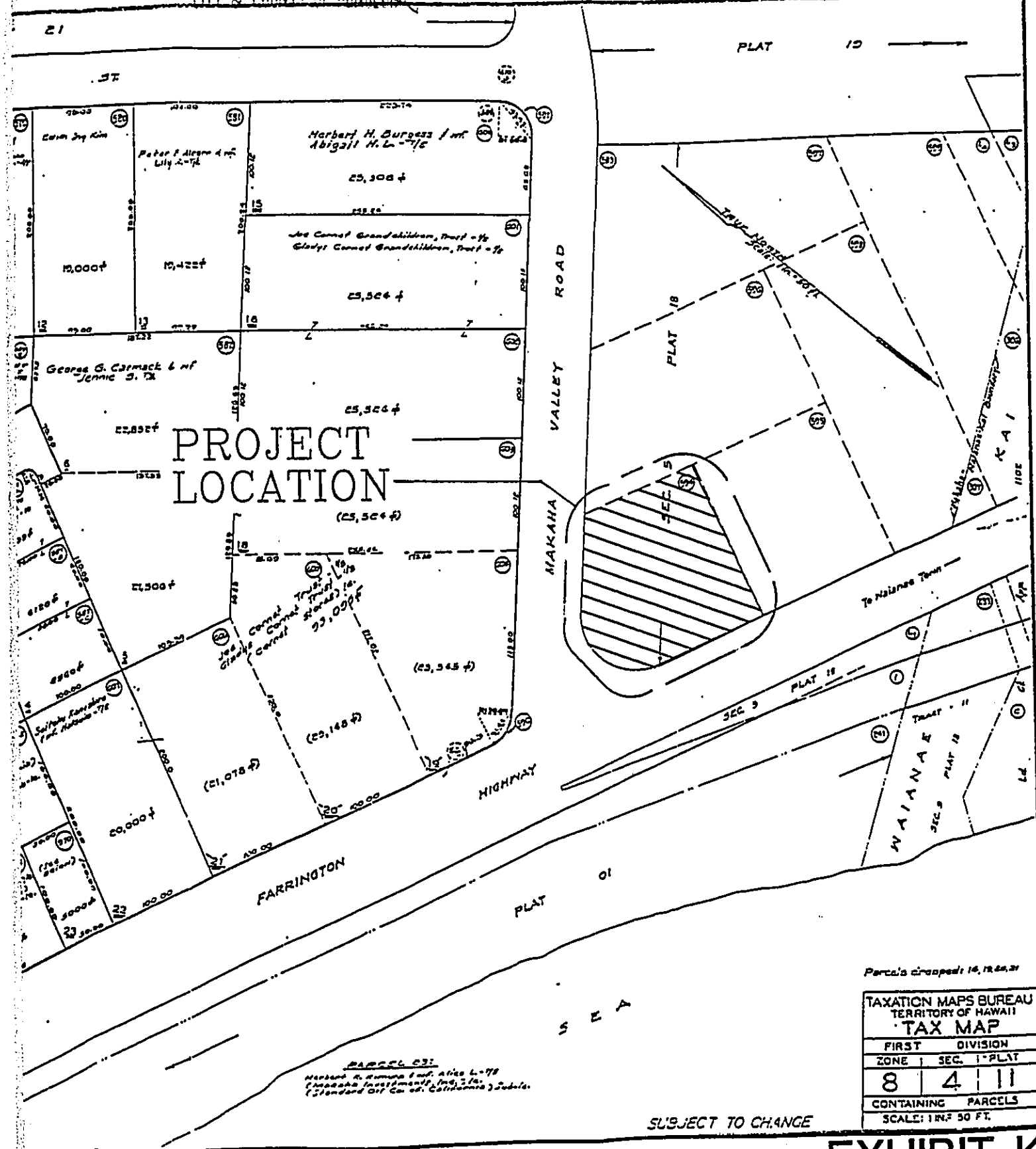
Drawn No. 1
 Source :
 Date :
 By :

MAKAHA, MAUI, OAHU, H. For Ld. Cl. App 1092 2-18-78

1996 APR 19 PM 1:55

DEPT. OF LAND UTILIZATION
CITY & COUNTY OF HONOLULU

8 4 11



PROJECT LOCATION
(25,524 ±)

VALLEY ROAD
MAKANA

HIGHWAY

FARRINGTON

PLAT 01

PLAT 10

PLAT 18

PLAT 11

WAIANA E
SEC. 5 PLAT 11
SEC. 5 PLAT 12

Parcels circled 14, 15, 24, 27

TAXATION MAPS BUREAU	
TERRITORY OF HAWAII	
TAX MAP	
FIRST	DIVISION
ZONE 1	SEC. 1 PLAT
8	4 11
CONTAINING PARCELS	
SCALE: 1 IN. = 50 FT.	

MAP 103:
Herbert H. Burgess & w/ Abigail H.L. - 76
Charles Investments, Inc. 76
(Standard Oil Co. of California) 76

SUBJECT TO CHANGE

EXHIBIT K

DEPARTMENT OF WASTEWATER MANAGEMENT
CITY AND COUNTY OF HONOLULU
650 SOUTH KING STREET
HONOLULU, HAWAII 96813

95-07947

'95 NOV 15 PM 2 34

JEREMY HARRIS
MAYOR

DEPARTMENT OF LAND UTILIZATION
CITY AND COUNTY OF HONOLULU



FELIX B. LIMTIACO
DIRECTOR

CHERYL K. OKUMA-SEPE
DEPUTY DIRECTOR

In reply refer to:
WCC 95-33

November 15, 1995

MEMORANDUM

TO: MR. PATRICK ONISHI, DIRECTOR
DEPARTMENT OF LAND UTILIZATION

FROM: FELIX B. LIMTIACO, DIRECTOR
DEPARTMENT OF WASTEWATER MANAGEMENT

SUBJECT: ENVIRONMENTAL ASSESSMENT, CHAPTER 25, ROH
PROJECTS WITHIN THE SPECIAL MANAGEMENT AREA
7-ELEVEN MAKAHA STORE, 85-010 FARRINGTON HIGHWAY,
MAKAHA, OAHU, TMK: 8-5-018:018

Our response relating to the availability and adequacy of the municipal sewer system for the subject project is as follows:

- Municipal Sewer System Available and Adequate
(This statement shall not be construed as confirmation of sewage capacity reservation. Sewage capacity reservation is contingent on submittal and approval of a "Sewer Connection Application" form.)
- Municipal Sewer System Not Available
- Municipal Sewer System Not Adequate
- Liable for Payment of a Wastewater System Facility Charge
- Other:

Contact Person:

Tessa Yuen, Ext. 4956


FELIX B. LIMTIACO
DIRECTOR

95-08166

BENJAMIN J. CAYETANO
GOVERNOR



GARY GILL
DIRECTOR

STATE OF HAWAII
OFFICE OF ENVIRONMENTAL QUALITY CONTROL
220 SOUTH KING STREET
FOURTH FLOOR
HONOLULU, HAWAII 96813
TELEPHONE (808) 508-4185
FACSIMILE (808) 508-2452

November 24, 1995

DEPT OF LAND UTILIZATION
NOV 28 AM 10 07

Patrick K. Onishi, Director
Department of Land Utilization
650 South King Street
Honolulu, Hawaii 96813

Attention: Dana Teramoto

Dear Mr. Onishi:

RE: Draft Environmental Assessment (EA)/SMA for Makaha 7-11 Store; TMK 8-5-18:18

In the final EA please include the following:

1. A map of the island indicating the project location.
2. Consult with nearest neighbors and include documentation of your contacts.
3. Include a discussion of the noise and traffic impacts of the project, especially on adjacent property owners and residents.
4. Is the project site in a flood zone? The flood map (Exhibit H) needs a legend indicating the two-letter abbreviations.
5. Include a full discussion of construction impacts and related mitigation measures.
6. Include a discussion of the impacts of water runoff of this project.
7. Discuss conformance to Hawaii Revised Statutes 205A-2 (c)(3)(B), which deals with the structure's compatibility "with the visual environment by ... minimiz[ing] the

Patrick Onishi
Department of Land Utilization
November 24, 1995

Page 2

alteration of natural landforms and existing public views to and along the shoreline." Specifically, describe the height, signage, architectural design and use of colors that will be used to assure that this project blends in with the natural environment.

If you have any questions, please call Nancy Heinrich at 586-4185.

Sincerely,



GARY GILL
Director

GG/nh

c: Myrtle Kimura, Yamasato, Fujiwara, Aoki & Associates

BENJAMIN J. CAYETANO
GOVERNOR



95-08387

KAZU HAYASHIDA
DIRECTOR

DEPUTY DIRECTORS
JERRY M. MATSUDA
GLENN M. OKIMOTO

'95 DEC 6 PM 5 10

DEPT OF LAND UTILIZATION
HONOLULU

STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION
869 PUNCHBOWL STREET
HONOLULU, HAWAII 96813-5097

IN REPLY REFER TO:

HWY-PS
2.8293

DEC -5 1995

Mr. Patrick T. Onishi, Director
Department of Land Utilization
City and County of Honolulu
650 South King Street
Honolulu, Hawaii 96813


Dear Mr. Onishi:

Subject: Environmental Assessment (EA), Seven-Eleven
Makaha Store (95/SMA-061), Oahu
TMK: 8-5-18: por. 18

Thank you for requesting our review of the subject EA. We have
the following comments:

1. The project driveway access fronting Farrington Highway
should be limited to right-turn in and right-turn out
movements.
2. Traffic signs should be posted prohibiting left-turns to and
from Farrington Highway. These actions are necessary in
order to mitigate potential traffic conflicts.
3. Plans for construction work to be done within Farrington
Highway rights-of-way must be submitted for our review and
approval.

Very truly yours,


KAZU HAYASHIDA
Director of Transportation

95-08335

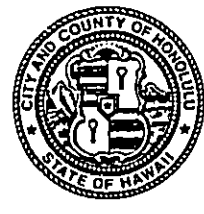
DEPARTMENT OF TRANSPORTATION SERVICES
CITY AND COUNTY OF HONOLULU

PACIFIC PARK PLAZA
711 KAPIOLANI BOULEVARD, SUITE 1200
HONOLULU, HAWAII 96813

'95 DEC 5 PM 1 26

JEREMY HARRIS
MAYOR

DEPT OF LAND UTILIZATION
CITY AND COUNTY OF HONOLULU



CHARLES O. SWANSON
DIRECTOR

11/95-05256R

December 4, 1995

MEMORANDUM

TO: PATRICK T. ONISHI, DIRECTOR
DEPARTMENT OF LAND UTILIZATION

FROM: CHARLES O. SWANSON, DIRECTOR

SUBJECT: CHAPTER 25, ROH ENVIRONMENTAL ASSESSMENT
7-ELEVEN MAKAHA STORE

The subject environmental assessment was reviewed in response to your November 3, 1995 memorandum. We recommend that the driveway on Makaha Valley Road, closest to Farrington Highway, be eliminated to minimize conflict at that intersection.

Should you have any questions regarding this matter, please call Faith Miyamoto of the Transportation Systems Planning Division at Local 6976.

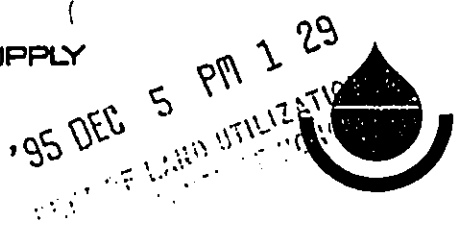
F. Miyamoto
for CHARLES O. SWANSON

95-08333

BOARD OF WATER SUPPLY

CITY AND COUNTY OF HONOLULU
630 SOUTH BERETANIA STREET
HONOLULU, HAWAII 96843

PHONE (808) 527-6180
FAX (808) 533-2714



December 4, 1995

JEREMY HARRIS, Mayor
WALTER O. WATSON, JR., Chairman
MAURICE H. YAMASATO, Vice Chairman
KAZU HAYASHIDA
MELISSA Y.J. LUM
FORREST C. MURPHY
KENNETH E. SPRAGUE
BARBARA KIM STANTON

RAYMOND H. SATO
Manager and Chief Engineer

TO: PATRICK T. ONISHI, DIRECTOR
DEPARTMENT OF LAND UTILIZATION

FROM: ~~FOR~~ RAYMOND H. SATO, *Ray H. Sato* MANAGER AND CHIEF ENGINEER
BOARD OF WATER SUPPLY

SUBJECT: YOUR MEMORANDUM OF NOVEMBER 3, 1995 ON THE DRAFT
ENVIRONMENTAL ASSESSMENT (DEA) FOR THE PROPOSED 7-ELEVEN
MAKAHA STORE PROJECT, TMK: 8-5-15: 18, FARRINGTON HIGHWAY,
MAKAHA, OAHU

Thank you for the opportunity to review the DEA for the proposed 7-Eleven store project.

We have the following comments:

1. The existing water system is presently adequate to accommodate the proposed development.
2. There is an existing domestic water service to the proposed project site.
3. The availability of water will be confirmed when the building permit application is submitted for our review and approval. When water is made available, the applicant will be required to pay the prevailing Water System Facilities Charges for resource development, transmission, and daily storage.
4. The proposed project is subject to Board of Water Supply cross-connection control requirements prior to the issuance of the building permit application.

If you have any questions, please contact Barry Usagawa at 527-5235.

95-0829E

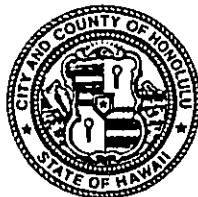
DEPARTMENT OF PARKS AND RECREATION
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET
HONOLULU, HAWAII 96813

'95 DEC 4 AM 8 48

DEPT OF LAND UTILIZATION
CITY AND COUNTY OF HONOLULU

JEREMY HARRIS
MAYOR



DONA L. HANAIKE
DIRECTOR

ALVIN K.C. AU
DEPUTY DIRECTOR

November 28, 1995

TO: PATRICK T. ONISHI, DIRECTOR
DEPARTMENT OF LAND UTILIZATION

FROM: DONA L. HANAIKE, DIRECTOR

SUBJECT: ENVIRONMENTAL ASSESSMENT
7-ELEVEN MAKAHA STORE
MAKAHA, OAHU, HAWAII
TAX MAP KEY 8-5-18: 18

This responds to the environmental assessment preparation report for the subject project.

Based on our review, we have no comments to offer at this time.

Should you have any further questions on the matter, you may contact Brian Suzuki of our Advance Planning Branch at extension 6316..

For DONA L. HANAIKE:
Director

DLH:ei

96-00045

1996 JAN -4 AM 8:01
BENJAMIN J. CAYETANO
GOVERNOR OF HAWAII

DEPT. OF LAND UTILIZATION
CITY & COUNTY OF HONOLULU



LAWRENCE MIKE
DIRECTOR OF HEALTH

STATE OF HAWAII
DEPARTMENT OF HEALTH
P.O. BOX 3378
HONOLULU, HAWAII 96801

In reply, please refer to:

December 29, 1995

95-219/epo

Mr. Patrick Onishi, Director
Department of Land Utilization
City & County of Honolulu
650 South King Street
Honolulu, Hawaii 96813

Dear Mr. Onishi:

Subject: ENVIRONMENTAL ASSESSMENT, CHAPTER 25, ROH
PROJECT WITHIN THE SPECIAL MANAGEMENT AREA
Project Name: 7-Eleven Makaha Store (95/SMA-061)
Location: 85-010 Farrington Highway, Makaha, Oahu
Tax Map Key: 8-5-18: 18

Thank you for allowing us to review and comment on the subject project. We have the following comments to offer:

Hazardous Waste Branch

Our records indicate that a release has occurred from the underground storage tanks (USTs) located at the subject facility. 7-Eleven Hawaii, Inc. is working with our office in investigating and remediating the contamination.

If the proposed construction involves the removal and/or installation of USTs, these USTs are regulated in accordance with the technical standards and financial responsibility regulations of 40 CFR Part 280. These regulations include requirements for:

1. Design, construction, installation, and notification;
2. General operating requirements;
3. Release detection;
4. Release reporting, investigation, and confirmation;
5. Release response and corrective action;
6. Changes-in-service and closure; and
7. Financial responsibility.

Owners of newly installed USTs must notify our UST Section of the existence of such USTs within 30 days of installation. The installation of UST systems containing flammable and combustible liquids is also subject to regulation by the County Fire

Mr. Patrick Onishi
December 29, 1995
Page 2

95-219

Department. In this case, the Honolulu County Fire Department should be contacted regarding county requirements that govern UST systems.


The UST Section has developed a detailed Technical Guidance Manual for Underground Storage Tank Closure and Release Response (August 1992) to assist responsible parties and their consultants and contractors in complying with the federal UST closure requirements and release response requirements as found in Title 40 Part 280 of the Code of Federal Regulations.

If you have any questions, please call Roxanne Kwan of our UST Section at 586-4226.

Asbestos Concerns

Because the applicant is going to demolish the existing building, he/she will need to contact the Clean Air Branch's Asbestos Office to discuss procedures that will need to be followed. Please call Mr. Ken Hall at 586-4200.

Sincerely,


Lawrence Miike
Director of Health

c: Clean Air Branch
Hazardous Waste Branch

1100 Ward Avenue
Suite 760
Honolulu, Hawaii 96814-1617



ARCHITECTURE PLANNING INTERIORS

Maurice H. Yamasato

Gary S. Fujiwara

Alfred N. Aoki

Lloyd M. Higa

Telephone (808) 531-8825
Facsimile (808) 521-9902

City and County of Honolulu
Department of Public Works
650 South King Street
Honolulu, Hawaii 96813

March 18, 1996

Dear Mr. Kenneth E. Sprague,

Seven-Eleven Currently has an existing store and the demand for utility use will not increase for the proposed new store. Plans are to connect to all the existing lines as indicated on the modified Site Plan (Exhibit A).

Seven-Eleven and Aloha Petroleum are very concerned about the possibility of soil and underground water contamination since there was a previous incident in a location across the street last year. Aloha Petroleum has since taken precautions to insure that this should not occur by first taking test of its tanks and lines which resulted in compliance with the EPA regulations and no product release (See Exhibit L). Aloha Petroleum will be installing an electric tank gauging and monitoring system. Should there be indications of any contamination discovered, Seven-Eleven will take the necessary precautions and dispose of the contaminated soil.

Proposed plans implement ADA Guideline requirements for the new store. They will comply with City standards for frontage improvements within the City right-of-way.

Should you have any questions, please call me at 531-8825.

Sincerely,

Myrtle Kimura

STATE OF HAWAII
OFFICE OF ENVIRONMENTAL QUALITY CONTROL
220 South King Street
Honolulu, Hawaii 96813

June 2, 1996

Dear Mr. Gary Gill,

A map of Oahu indicating the project location has been included on the Site plan (See Exhibit A). Exterior elevations include the building and signage colors, signage details, signage locations, building design and heights. (See Exhibit C & D)

The flood map (Exhibit H) has been revised to indicate the AE 11 ft. and 12 ft. elevations.

The contractors familiar with the construction and renovation of the Seven-Eleven stores having done several stores the past years most recently the new Kapolei store. The experience will help to expedite the progress of construction of the new Makaha store.

Minimal grading and excavation is anticipated for this previously developed site. The demolition will be limited to the existing store and trash enclosure area and resurfacing of the parking pavement area to match existing pavement. Plans to screen and secure the site will help to contain the noise and dust as well as store building materials and equipment to avoid transporting them daily. The Aloha gas pump areas shall remain undisturbed.

Adjoined by empty lots on both the Makai and the Diamond Head sides of the site with closest resident approximately 50 feet away. Ewa across the two lane Makaha Valley Road is the vacated Cornet Store. Directly across Farrington Highway is the Lahilahi beach park. (See Photos). Building materials and equipment shall be stored at the site to avoid transporting them daily.

It appears the water run off would be onto the Farrington Highway. I observed no existing drains along Farrington Highway nor on Makaha Valley Road.

Copies of the Environmental Assessments we sent to the adjoining property owners to inform of Seven-Eleven's plans for construction. There were no responses received. (See letters).

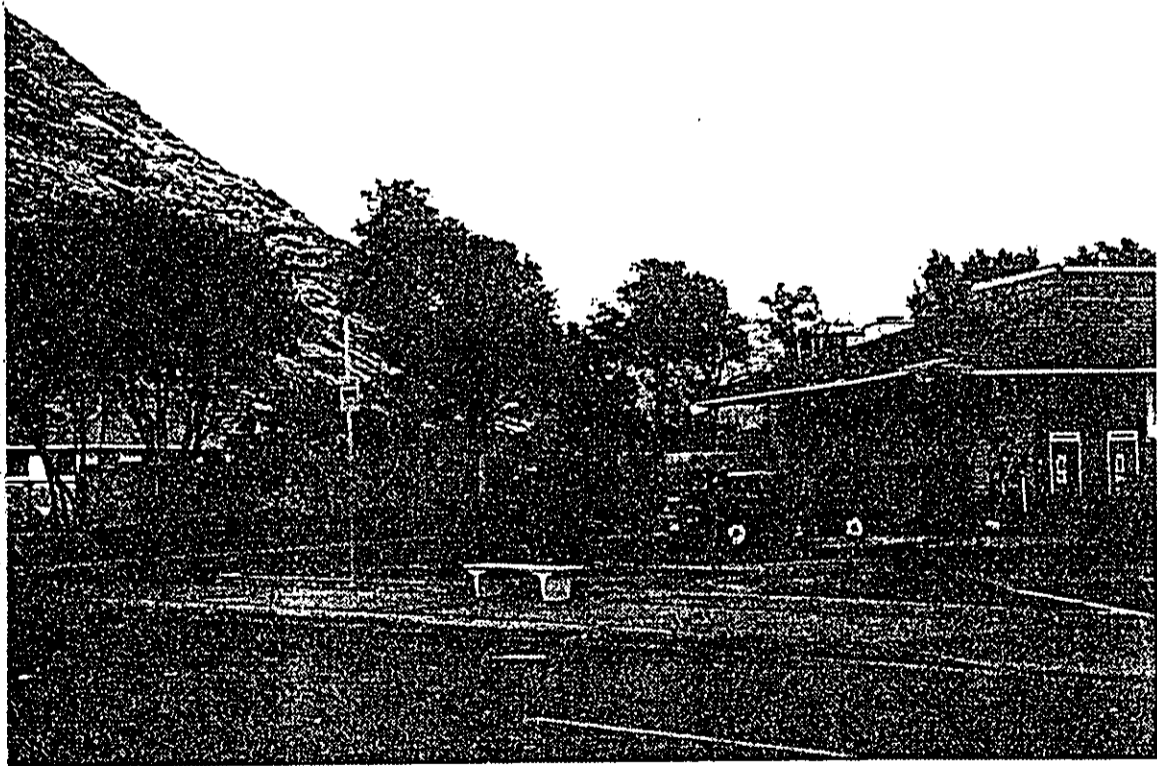
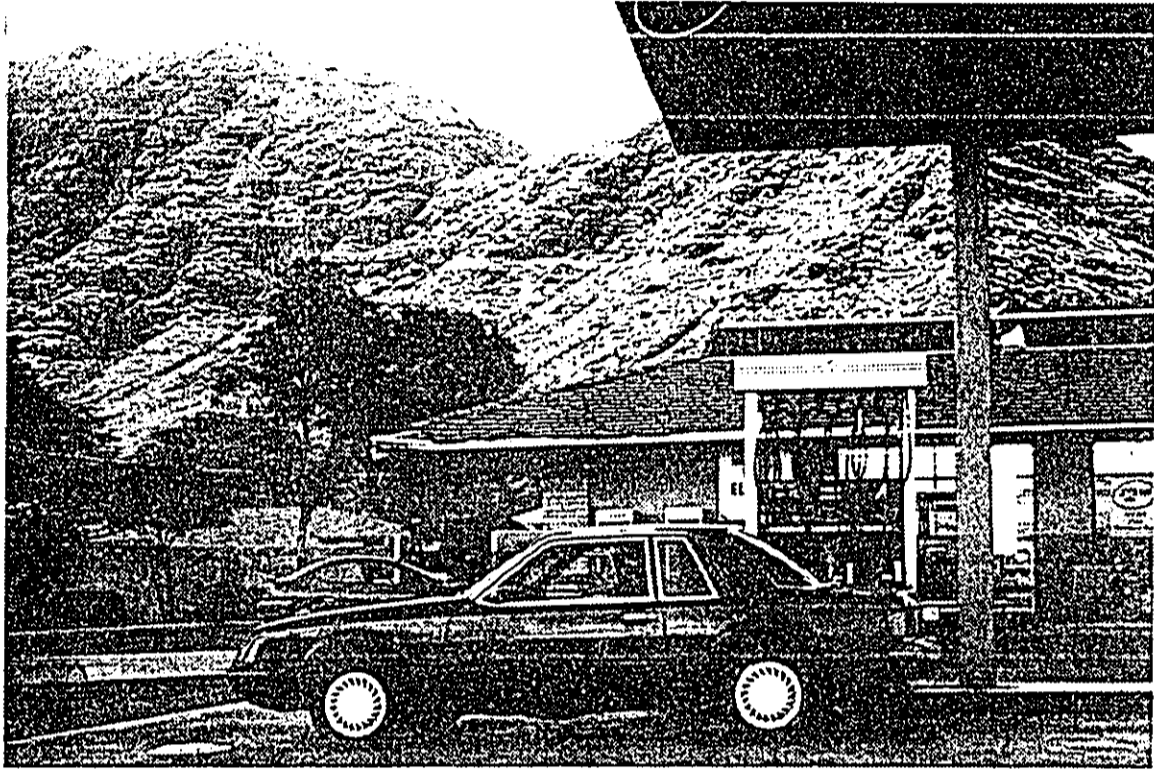
Should you have any questions please give me a call.

Sincerely,

Myrtle Kimura

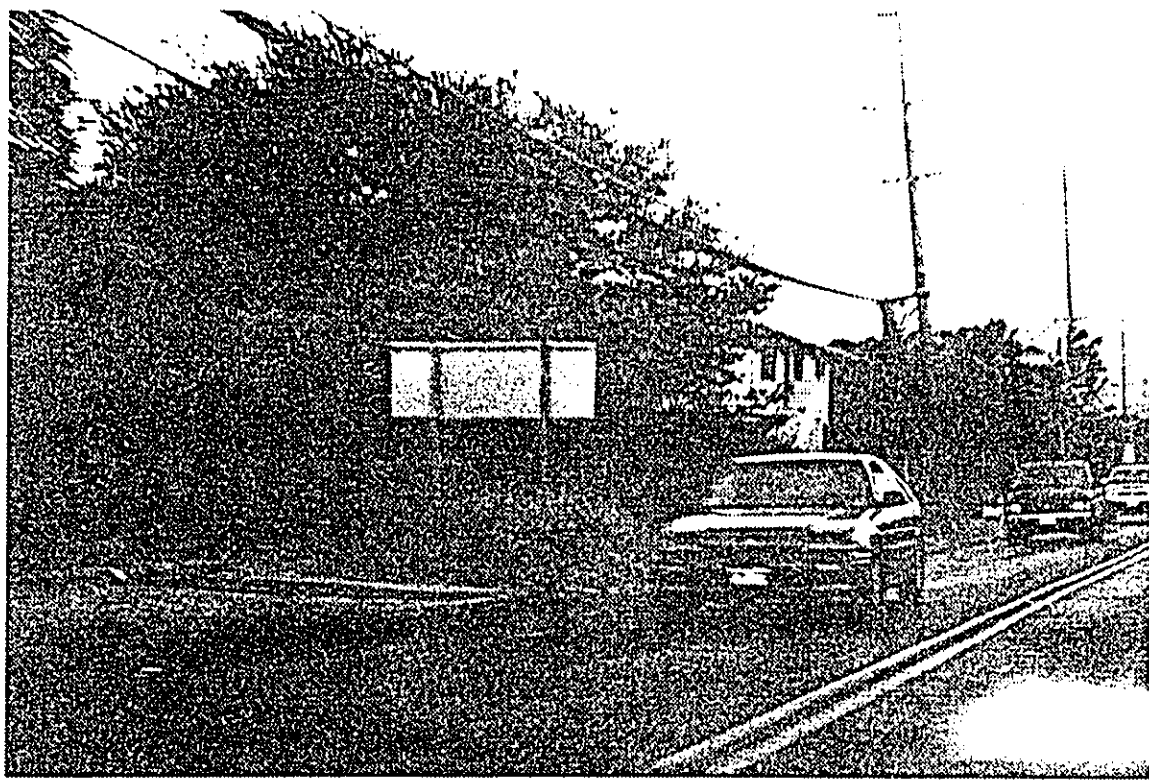
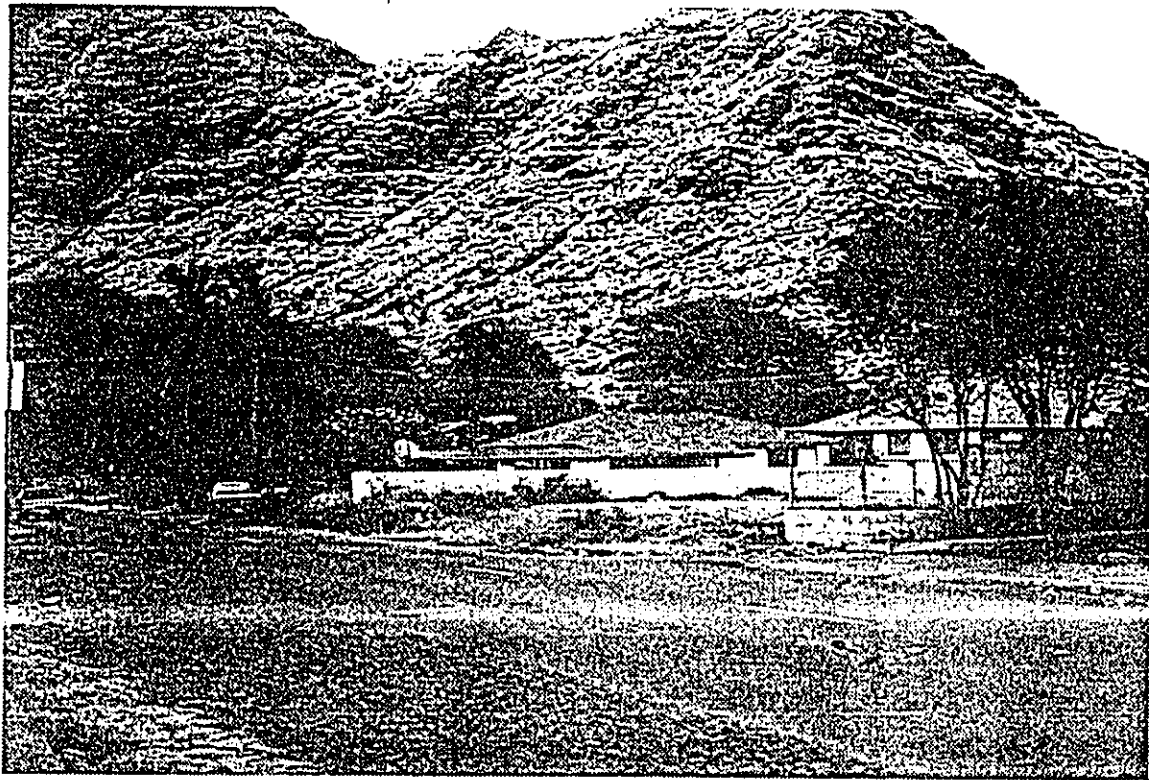
Myrtle Kimura

DOCUMENT CAPTURED AS RECEIVED



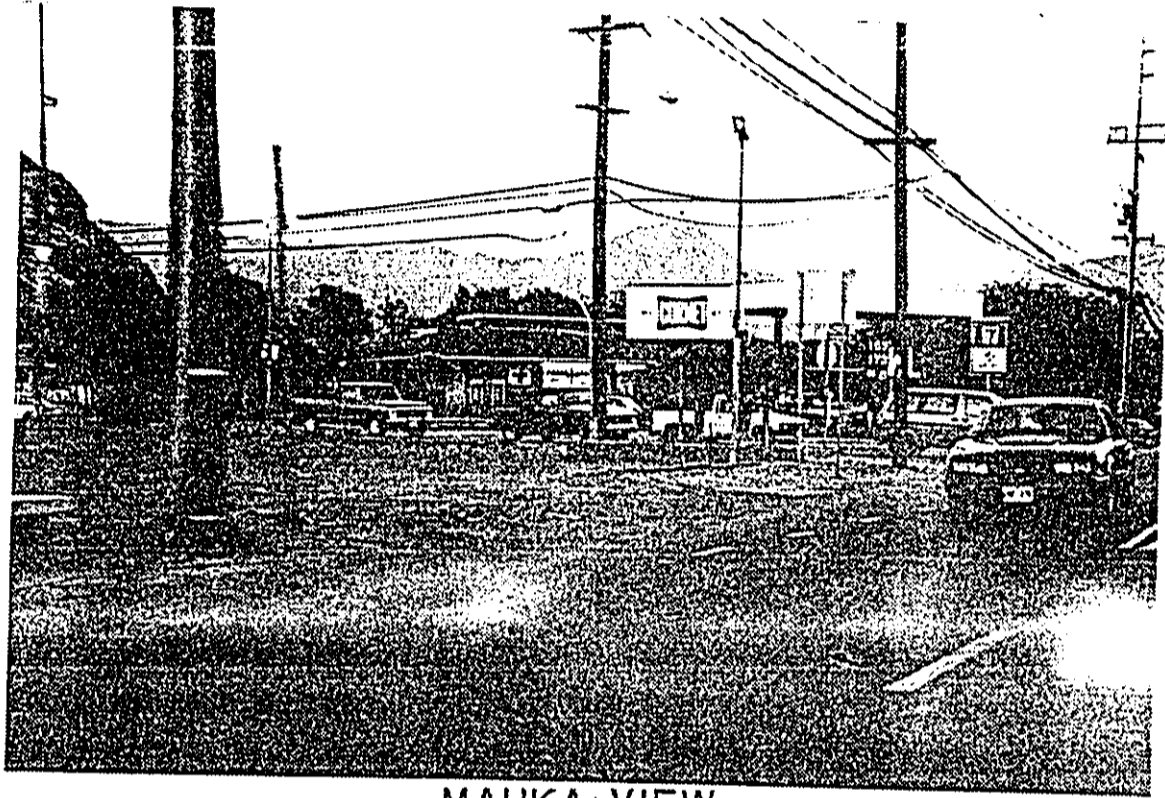
MAKAHA STORE SEVEN - ELEVEN

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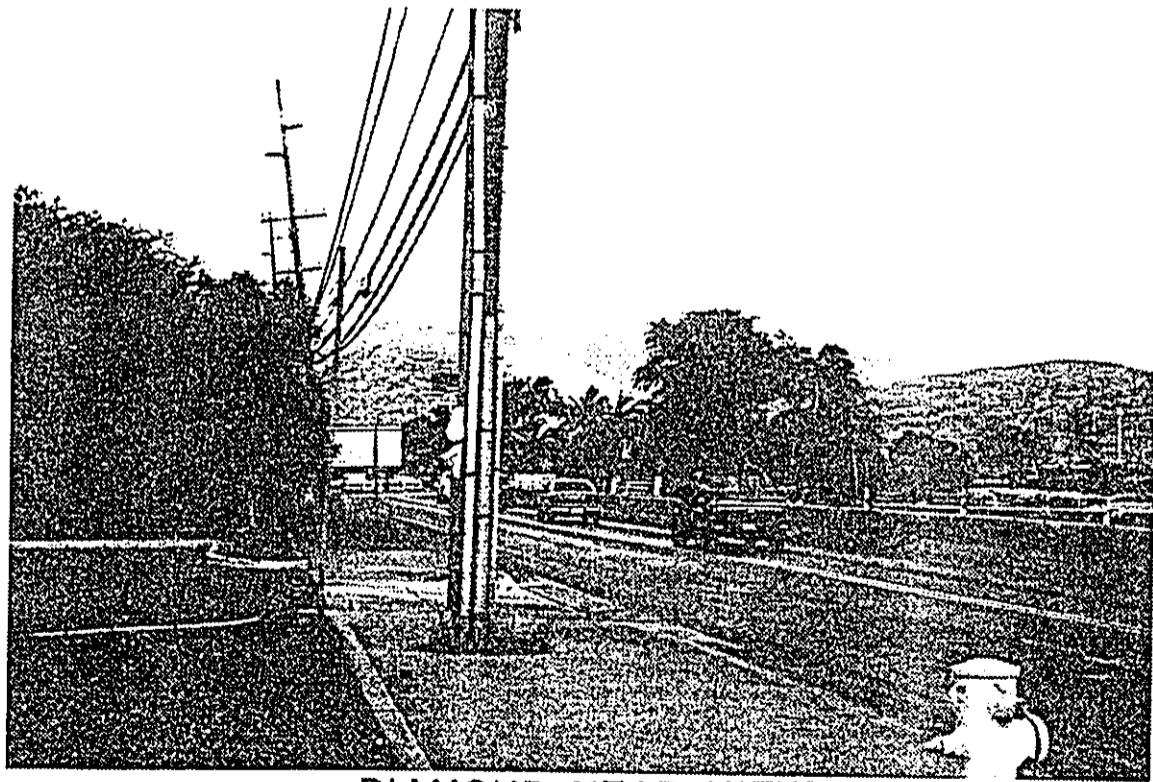


MAKAHA STORE SEVEN - ELEVEN

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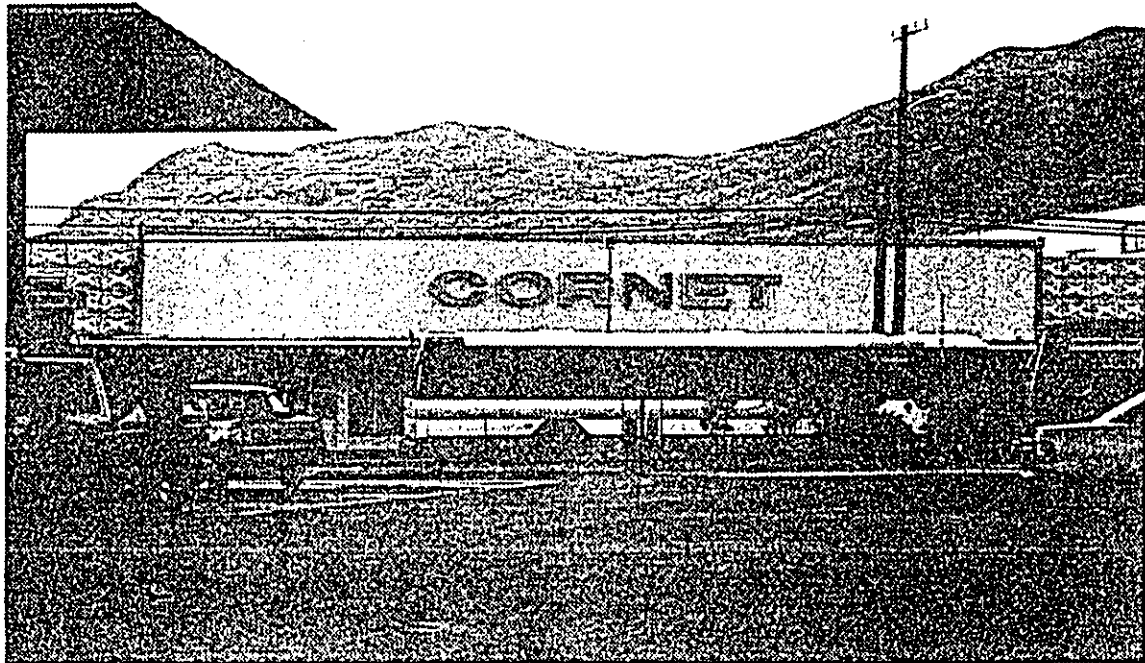
MAUKA VIEW



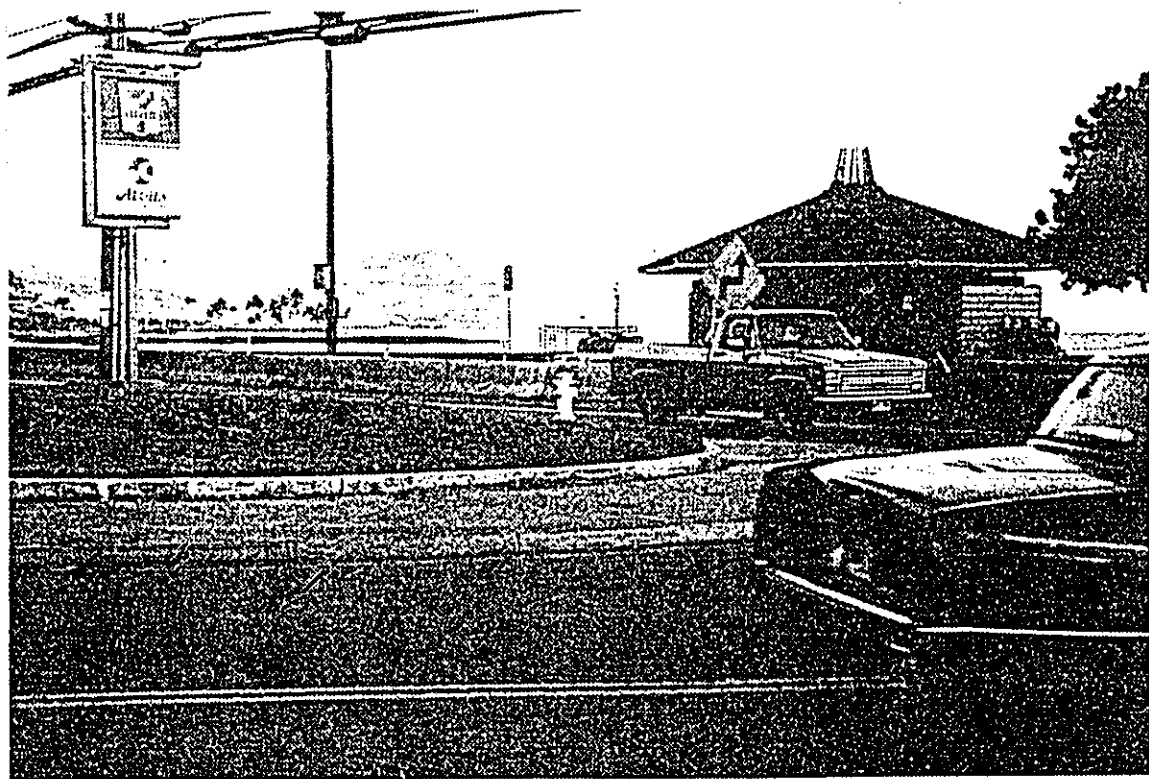
DIAMOND HEAD VIEW

MAKAHA STORE SEVEN - ELEVEN

DOCUMENT CAPTURED AS RECEIVED



EWA VIEW



MAKAI VIEW

MAKAHA STORE SEVEN - ELEVEN

STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION
869 Punchbowl Street
Honolulu, Hawaii 96813

May 18, 1996

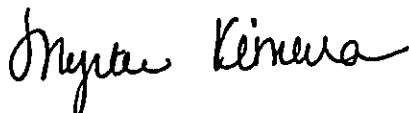
Dear Mr. Kazu Hayashida,

In response to your letter dated December 5, 1995, Seven-Eleven agrees to indicate the direction of traffic with signs.

Currently there is discussion with the City & County Transportation department and Aloha Petroleum on the recommendation of closing the driveway on Makaha Valley Road closest to Farrington Highway.

Final plans for the Seven-Eleven Makaha Store right-of-way and signs indicating the traffic flow will be submitted for your review and approval.

Sincerely,



Myrtle Kimura

CITY AND COUNTY OF HONOLULU
711 Kapiolani Blvd., Suite 1200
Honolulu, Hawaii 96813

May 18, 1996

Dear Mr. Charles O. Swanson,

The recommendation to eliminate the driveway closest to Farrington Highway are being discussed by Aloha Petroleum and your agency. There has been no correspondence regarding a decision on this matter as of yet. (See Exhibit L)

Sincerely,

Myrtle Kimura

Myrtle Kimura

1100 Ward Avenue
Suite 700
Honolulu, Hawaii 96814-1617



ARCHITECTURE PLANNING INTERIORS

Maurice H. Yamasato

Garrett S. Fujiwara

Alfred S. Aoki

David M. Kimura

Telephone (813) 521-8827
Facsimile (813) 521-9902

State of Hawaii
Department of Health
P.O. Box 3378
Honolulu, Hawaii 96801

March 18, 1996

Dear Mr. Lawrence Miike,

Aloha Petroleum has informed Seven-Eleven of the situation as mentioned in your letter to Department of Land Utilization dated December 29, 1995 on the release from underground storage tanks at the Seven-Eleven Makaha Store site. According to Aloha Petroleum DOH records indicated that the Unocal Station previously located in the area did release petroleum into the soil and groundwater. However, recent test indicate Aloha's tanks and lines are in compliance with the EPA regulations and no product release was indicated. (See Exhibit L-Q).

Seven-Eleven plans to demolish the existing store and construct a new store, patch resurface and re-strip the disturbed parking and driveway area. There are no plans to renovate the existing gas pump area or underground tanks.

Should you have any questions please call me at 531-8825.

Sincerely,

Myrtle Kimura



ALOHA
PETROLEUM, LTD.

P.O. Box 500 / Honolulu, Hawaii 96809

February 8, 1996

Mr. Chuck Jones
Development Manager
SEVEN-ELEVEN HAWAII, INC.
1755 Nuuanu Avenue, 2nd Floor
Honolulu, Hawaii 96817

Re: Seven-Eleven - Makaha

Dear Chuck:

Thank you for your letter of January 29, 1996, relative to Seven-Eleven's Shoreline Application for the Makaha location.

With respect to your inquiry regarding a possible petroleum release at Makaha, following is the situation:

- A light sheen of petroleum was observed by a construction crew installing a pipeline across the street, and west of the Makaha location in August of last year.
- Aloha met with DOH personnel and furnished them copies of Aloha's UST tank test and line test results. The test results clearly showed that Aloha's tanks and lines were in compliance with EPA regulations and that no product release was indicated.
- DOH records indicate that a Unocal station previously located in the area did release petroleum into the soil and groundwater for an extended period of time.
- Test results indicate that all three tanks have been and are now tight. To further define the integrity of Aloha's UST system at Makaha however, Aloha agreed to install an electronic tank gauging and monitoring system. Hopefully, this will allow Aloha to gather the data necessary to further and finally prove the tightness of its Makaha UST System.
- Aloha will be working with DOH to resolve this matter as soon as is possible.

The letters from State, City and County Agencies, which were enclosed with your letter, have also been reviewed. Unless we are missing something, it appears that the letter of December 4, 1995 to Patrick Onishi from Charles D. Swanson is the only correspondence that requires our attention. In this regard, Aloha will communicate with Mr. Swanson to discuss his recommendation of eliminating an existing driveway and will attempt to alter his opinion by providing additional factual data. We will keep you posted as we progress.

EXHIBIT L

Mr. Chuck Jones
February 8, 1996
Page 2

Please find attached a copy of tank and product line test reports dated September 7, 1995 and a copy of Aloha's location plan for the Makaha fuel facilities.

If you have any questions or concerns regarding this matter, please don't hesitate to contact me.

Sincerely,



Sam Olson
Vice President - Fuel Operations

so-bhs14.96

DOCUMENT CAPTURED AS RECEIVED

1137
9/5/95

EXHIBIT M

PRECISION TESTING
902 ALAHAKI STREET
KAILUA, HI 96734
(808) 262-2270

TANK STATUS EVALUATION REPORT

*****CUSTOMER DATA*****

*****SITE DATA*****

ALOHA PETROLEUM
P.O. BOX 500
HONOLULU, HI 96801

7-11 MAKAHA
85-010 FARRINGTON HWY
WAIANAE HI 96792

CONTACT: BILL ELLINGBOE
PHONE #: 521-3872

CONTACT:
PHONE #:

***** COMMENT LINES *****

TANKS WERE TESTED USING THE ALERT 4000 NO SHUT-DOWN TEST METHOD.
ULLAGES WERE TESTED USING THE ALERT 1050 METHOD.

CURRENT EPA STANDARDS DICTATE
THAT FOR UNDERGROUND FUEL TANKS, THE MAXIMUM ALLOWABLE LEAK/GAIN RATE
OVER THE PERIOD OF ONE HOUR IS .05 GALLONS

TANK NUMBER	1	2	3	4
PRODUCT	REG UNLD	PREMIUM	PLUS	
TANK CAPACITY	10000	10000	10000	
TANK MATERIAL	STEEL	STEEL	STEEL	
DIAMETER (INCHES)	96	96	96	
FUEL LEVEL (INCHES)	70	70.75	54	
TANK WATER LEVEL (INCHES)	0	0	0	
LEAK RATE (DV/DT)	0.031	0.023	-0.012	
PASS/FAIL/INCONCLUSIVE	PASS	PASS	PASS	
ULLAGE TEST:				
PASS/FAIL/INCONCLUSIVE	PASS	PASS	PASS	

SIGNATURE:

DATE:

9-7-95

DOCUMENT CAPTURED AS RECEIVED

EXHIBIT N

1137
9/5/95

PRECISION TESTING
902 ALAFAKI STREET
KALEUA, HI 96734
(808) 262-2270

*****CUSTOMER DATA*****

ALOHA PETROLEUM
.O. BOX 500
HONOLULU, HI 96801

*****SITE DATA*****

7-11 MAKAHA
85-010 FARRINGTON HWY
WAIANAE, HI 96792

ACURITE LINE TEST DATA

TANK NUMBER	1	2	3	
PRODUCT	REG UNLD	PREMIUM	PLUS	
PUMP MANUFACTURER	RJ	RJ	RJ	
TEST PRESSURE (1.5 TIMES WORKING PRESSURE)	40	40	40	
INITIAL CYLINDER LEVEL (ICL)	0.0550	0.0850	0.0650	
FINAL CYLINDER LEVEL (FCL)	0.0550	0.0850	0.0650	
LEAK VOLUME (FCL - ICL = LEAK RATE)	0	0	0	
LEAK RATE PER HOUR	0	0	0	
TIME START	6:15	10:00	6:15	
TIME END	6:45	10:30	6:45	
TOTAL TEST TIME (30 MINUTE MIN.)	30	30	30	
CONCLUSION (PASS OR FAIL)	PASS	PASS	PASS	

LEAK DETECTOR TEST DATA

TEST INFORMATION:

L/D MANUFACTURER	RJ	RJ	RJ	
SERIAL NUMBER	DIAPHRAGM	FX-2	FX-2	
OPEN TIME	3 SEC		3 SEC	
TEST LEAK RATE	3 GPH	3 GPH	3 GPH	
METERING PSI	10	10	10	
CONCLUSION (PASS OR FAIL)	PASS	FAIL	PASS	

REPLACE/RETEST INFORMATION:

L/D MANUFACTURER		RJ		
SERIAL NUMBER		022195 2204		
OPEN TIME		3 SEC		
TEST LEAK RATE		3 GPH		
METERING PSI		10		
CONCLUSION (PASS OR FAIL)		PASS		

SIGNATURE: _____

Handwritten signature

DATE: _____

9-7-95

EXHIBIT O

UNIDATA UDR2.1

DATA FILE

1137.D11

Gal
Gal
+32

TANK SIZE
10000 gal

+16

PROD TYPE
BKG UNID

00

PROD SQU
072

TOT HOURS
5.0

-16

DUPT (GAL)
3.001

-32

2.0 4.0 6.0 8.0 (hr)

Job# 1137

U/O Pbw=00] IDDP Pbw= none] DISR hrs=3.41

cust 7-11 WAKAHA

35-010 BARRINGTON HWY WAIAHAE, HI 96792

ESULT RECEIPT

DOCUMENT CAPTURED AS RECEIVED

EXHIBIT P

Gal

UTENDATA VER2.1

DATA FILE

137.d12

TANK SIZE

10000 gal

PROD TYPE

PREMIUM

PROD SGL

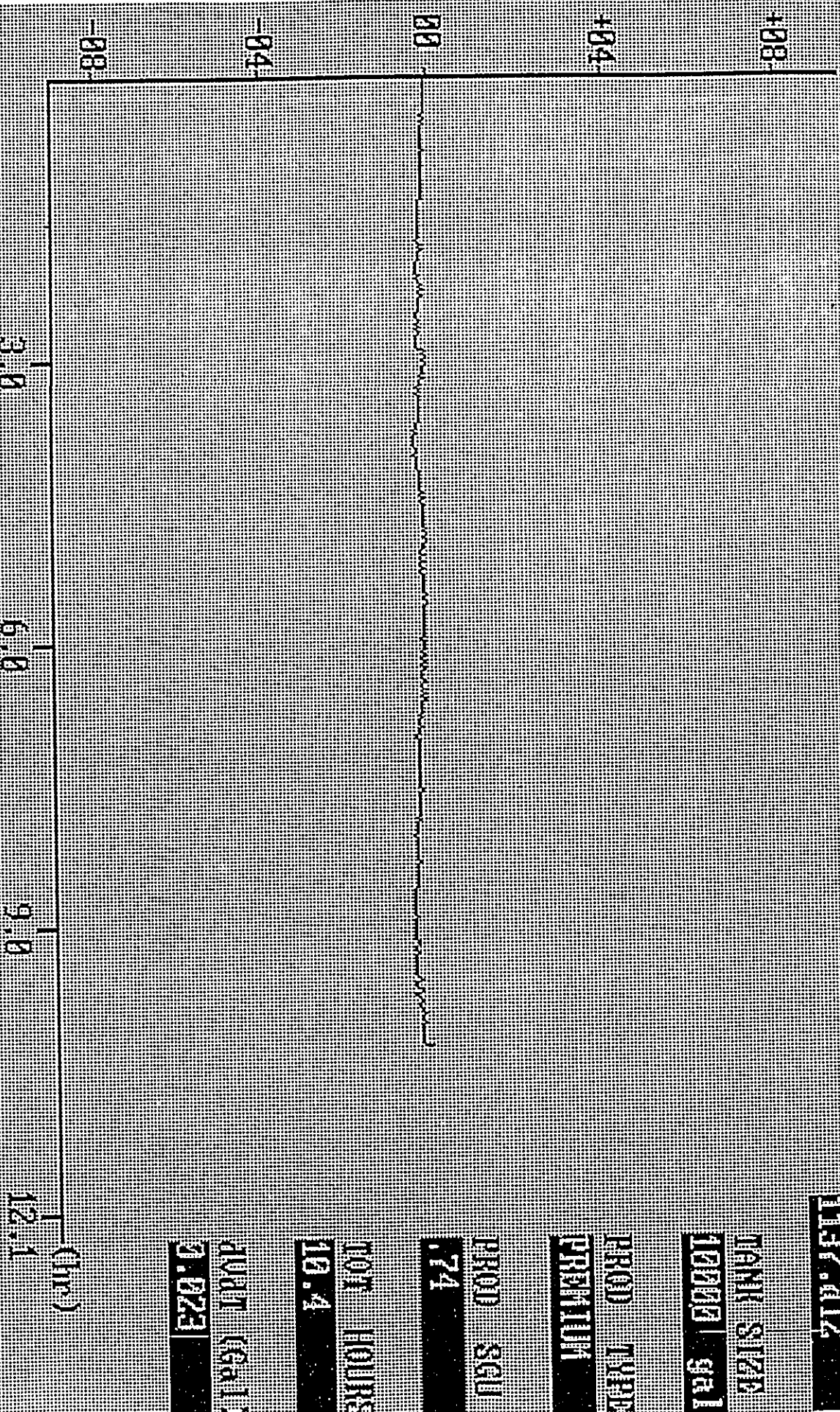
74

DOT HOURS

19.4

DUPT (Gal)

0.023



Job# 137

Dist 7-11 MAKAHA

05-010 FARRINGTON HWY MAIANDI, HI 96792

OSQUIT EQUIPT

U/C ABU=1001 TDMP ABU=none1 DISR hrs=6.1

DOCUMENT CAPTURED AS RECEIVED

EXHIBIT Q

Gal

VEEDATA UBR2.1

DATA FILE

1137.M13

TANK SIZE

10000 gal

PROD TYPE

GLAS

PROD SQU

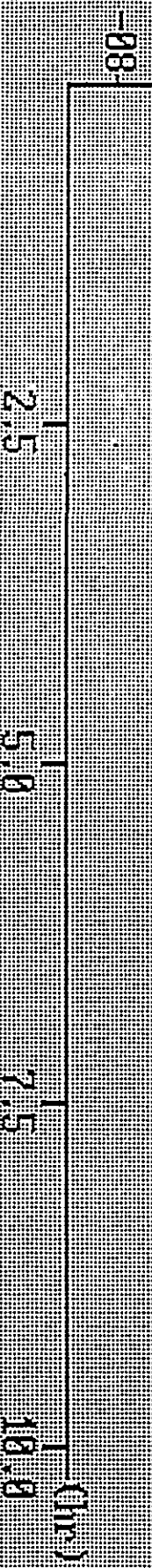
073

TOT HOURS

2.9

ADRT (Gal)

2.012



Job#: 1137

11-11 MAKANA

05-010 BARRINGTON HWY WATIANA HI 96792

ESQUITO PAPER

U/C FBW=1000 TEMP FBW= none1 DISR hrs=5.21

DOCUMENT CAPTURED AS RECEIVED

7-Eleven Makaha
85-010 Farrington Highway
Wainae, HI 96792

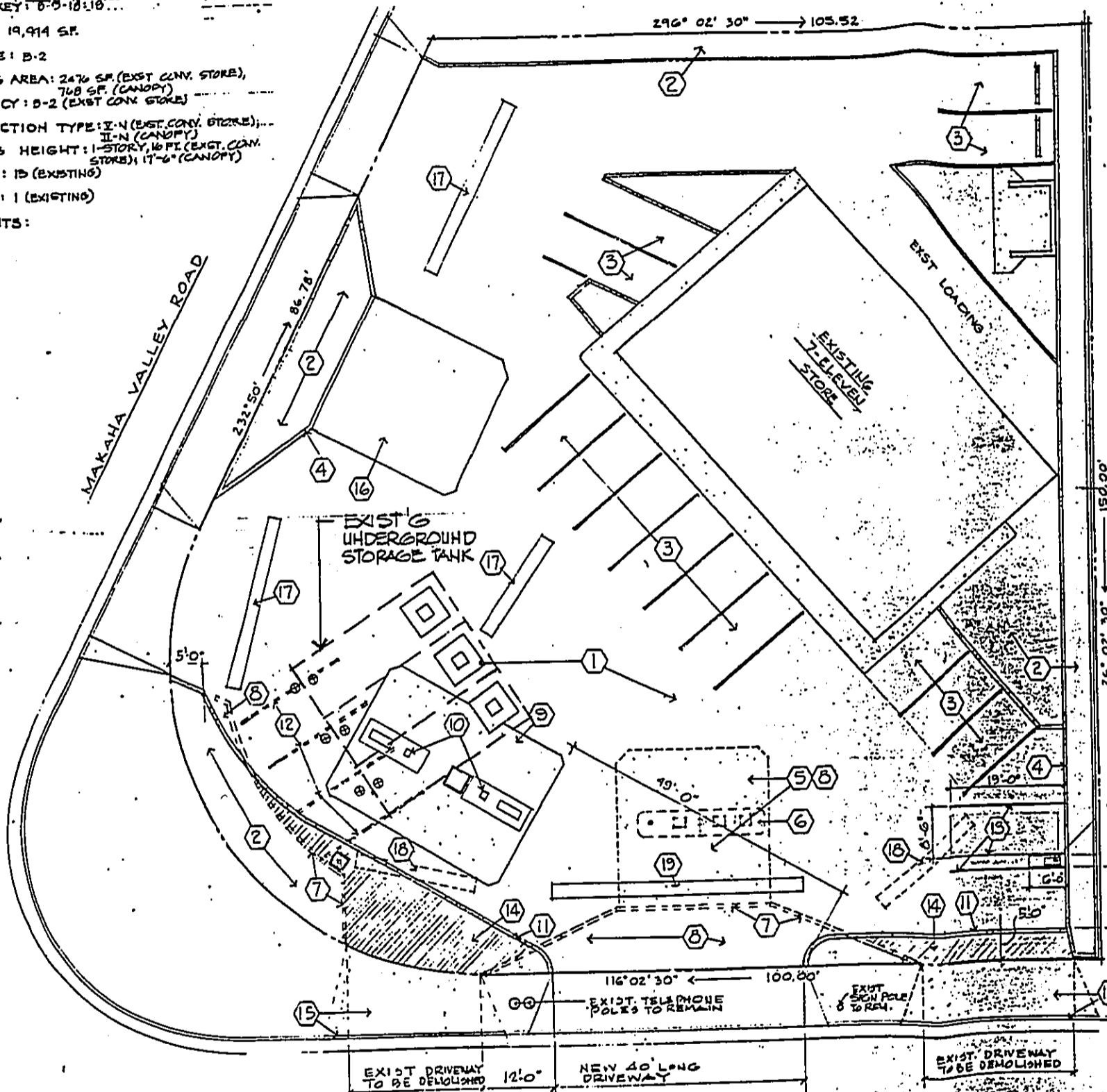
Tank #1 10,000 gallon tank

Tank #2 10,000 gallon tank

Tank #3 10,000 gallon tank

CODE INFORMATION

TAX MAP KEY: 0-5-18-10
 LOT SIZE: 19,914 SF.
 LUG ZONE: D-2
 BUILDING AREA: 2476 SF (EXIST. CONV. STORE),
 768 SF (CANOPY)
 OCCUPANCY: D-2 (EXIST. CONV. STORE)
 CONSTRUCTION TYPE: I-N (EXIST. CONV. STORE),
 II-N (CANOPY)
 BUILDING HEIGHT: 1-STORY, 16 FT. (EXIST. CONV. STORE); 17'-6" (CANOPY)
 PARKING: 15 (EXISTING)
 LOADING: 1 (EXISTING)
 COMMENTS:

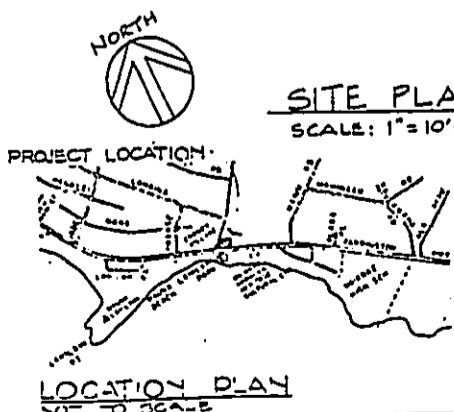


KEY NOTES

1. EXISTING PAVEMENT TO REMAIN.
2. EXISTING LANDSCAPING TO REMAIN.
3. EXISTING PARKING SPACES TO REMAIN.
4. EXISTING CONCRETE CURB TO REMAIN.
5. DEMOLISH EXISTING CONCRETE SLAB.
6. DEMOLISH EXISTING PUMP ISLAND.
7. DEMOLISH EXISTING CONCRETE CURB.
8. NEW PAVEMENT.
9. NEW CONCRETE SLAB.
10. NEW PUMP ISLAND.
11. NEW CONCRETE CURB.
12. PAINT OUT EXISTING STRIPING.
13. NEW 4-INCH WIDE STRIPING FOR NEW PARKING.
14. NEW LANDSCAPING.
15. NEW SIDEWALK, CURB & CUTTER.
16. EXISTING CONCRETE SLAB TO REMAIN.
17. EXISTING SPEED DUMP TO REMAIN.
18. DEMOLISH EXISTING SPEED DUMP.
19. NEW SPEED DUMP.
20. NEW AIR & WATER DISPENSER.

SITE PLAN

SCALE: 1" = 10'-0"



CONCRETE SPECIFICATIONS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Formwork, reinforcement, accessories, cast-in-place concrete, finishing and curing.

1.02 SUBMITTALS

- A. Concrete mix design proposed by the Contractor.

1.03 QUALITY ASSURANCE

- A. Perform cast-in-place concrete work in accordance with ACI 301, unless specified otherwise in this Section.

PART 2 PRODUCTS

2.01 FORM MATERIALS

- A. Use acceptable material in the largest sizes, and of sufficient thickness to contain wet concrete without deflection.
- B. Release Agent: Commercial formulation that will not bond with, stain, nor adversely affect concrete surfaces, nor impede wetting of concrete surfaces by water or curing compound.

2.02 REINFORCEMENT MATERIALS

- A. Reinforcing Steel: ASTM A615, 40 yield grade; deformed billet steel bars, plain finish.
- B. Welded Steel Wire Fabric: ASTM A183, plain type, in flat sheets, galvanized finish.
- C. Chairs, Spacers, Bar Supports, Spacers: Sized and shaped for support of reinforcing.
- D. Fabricate concrete reinforcing in accordance with ACI 313.

2.03 CONCRETE MATERIALS

- A. Cement: ASTM C150, Normal-type I Portland type.
- B. Fine and Coarse Aggregates: ASTM C33.
- C. Water: Clean and not detrimental to concrete.
- D. Bonding Agent: Latex emulsion; suitable for bonding cured concrete and newly poured concrete.
- E. Non-shrink Grout: Prevalent compound consisting of non-metallic aggregate, cement, water reducing and plasticizers.

2.04 CONCRETE MIX

- A. Mix and deliver concrete in accordance with ASTM C94, Alternative 2.
- B. Provide concrete of the following strength: 3000 psi, 28 day compressive strength; 2 to 4-inch slump.

PART 3 EXECUTION

3.01 FORMWORK ERECTION

- A. Erect formwork, shoring and bracing to achieve design requirements.
- B. Apply form release agent in accordance with manufacturer's instructions.

3.02 REINFORCEMENT PLACEMENT

- A. Place reinforcement, supported and secured against displacement.
- B. Ensure reinforcing is clean, free of loose scale, dirt, or other foreign coatings.

3.03 PLACING CONCRETE

- A. Clean previously placed concrete by wirebrushing and apply bonding agent following manufacturer's instructions.
- B. Place concrete continuously between predetermined expansion, control and construction joints.
- C. Where new concrete abuts to existing concrete, provide steel dowels packed with non-shrink grout.

3.04 SLAB FINISHING

- A. Finish concrete surfaces in accordance with ACI 301.
- B. Uniformly spread, screed, and float concrete.
- C. Maintain surface flatness, with maximum variation of 1/4 inch in 10 ft.

3.05 CURING

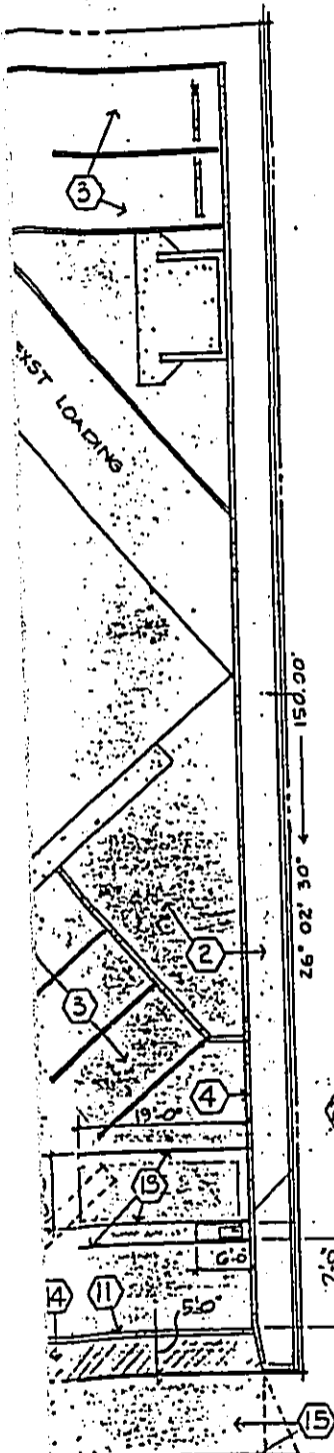
- A. Immediately after placement, protect concrete from premature drying.
- B. Maintain concrete with minimal moisture loss for period necessary for hydration of cement and hardening of concrete.

3.06 CONCRETE FINISHING

- A. Provide concrete surfaces to be left exposed with smooth rubbed finish.

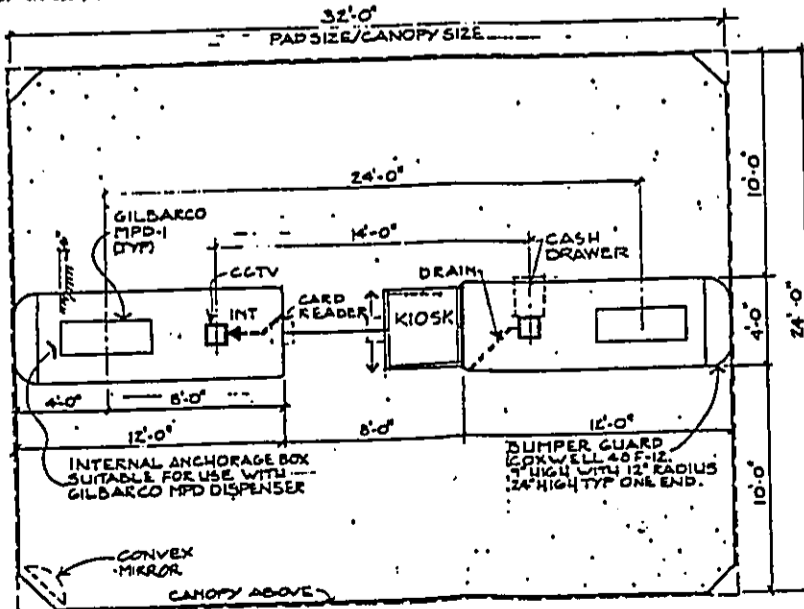
3.07 FIELD QUALITY CONTROL

- A. Three concrete test cylinders will be taken for every 100 or less cu yds of concrete placed each day.
- B. One slump test will be taken for each set of test cylinders taken.



EXIST. DRIVEWAY TO BE DEMOLISHED

UTTER TO REMAIN
REMAIN
DUMP
SER



DETAIL PLAN
SCALE: 1/4" = 1'-0"

KAUAIHIKAUA & CHUN ARCHITECTS

DWIGHT PAUHI KAUAIHIKAUA AIA
DANIEL GARY CHUN AIA

KAWAIIHAO PLAZA HOTEL MAUKA
367 5th KINIHIKI STREET, 2ND
FLOOR, HAWAII 96741

(808) 526-2211

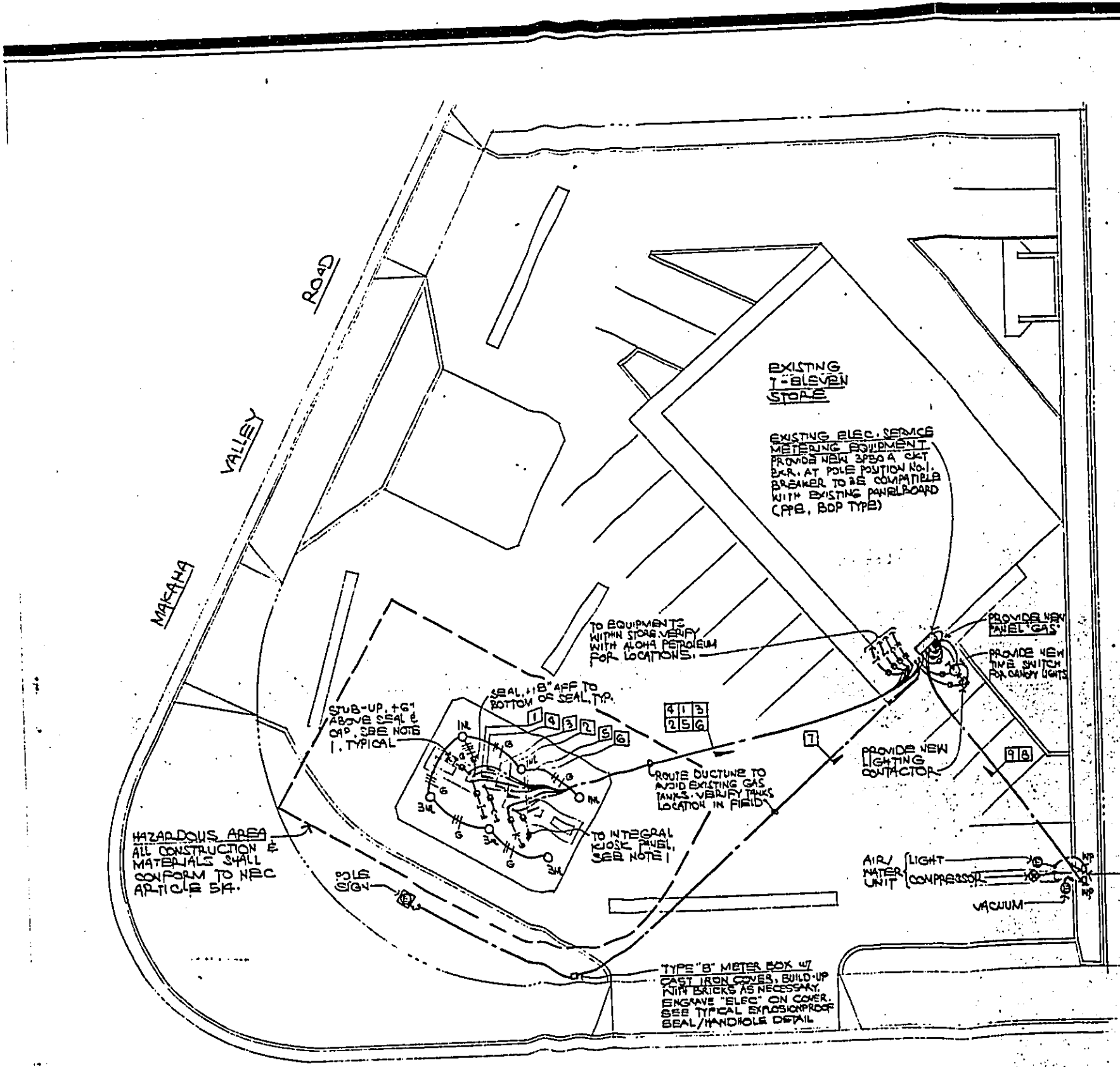


This work was prepared by me or under my supervision and control in accordance with the provisions of the Hawaii State Constitution and the Rules and Regulations of the Board of Professional Engineers, Architects and Surveyors of the State of Hawaii.



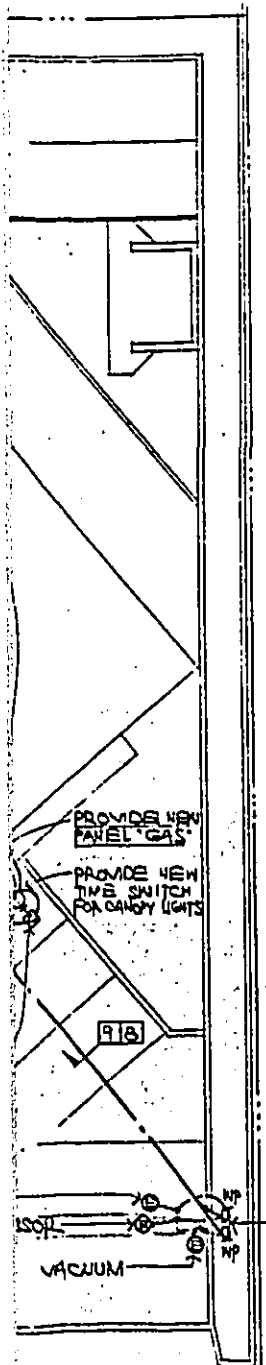
85-010 FARRINGTON HWY.
MAKAHA, HAWAII
T.M.K. 8-5-18 18

REV. NO.	DATE	BY	DESCRIPTION
REVISIONS			
LOCATION PLAN SITE PLAN, CODE INFO. DETAIL PLAN SPECIFICATIONS			
PROJECT NO: 89-44		SHEET	
DATE 1-24-90		A-1 1 OF 4	
DRAWN BY: MU, DSK			
CHECKED BY: DPK, WH			

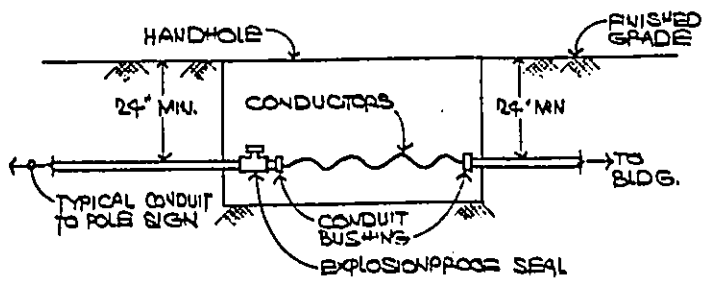


SITE PLAN - ELECTRICAL
 SCALE: 1" = 10'-0"

① **NOTE:**
 VERIFY LOCATIONS OF ALL CONDUIT STUB-UPS WITH ALOHA PETROLEUM PRIOR TO ROUGH-IN.



ELECTRICAL SYMBOL LIST	
SYMBOL	DESCRIPTION
○	METAL HALIDE LUMINAIRE, SURFACE MOUNTED
+18"	DENOTES 18 INCHES ABOVE FINISHED FLOOR OR GRADE
(A-1/250)	LUMINAIRE TYPE INDICATOR (TYPE "A" LUMINAIRE WITH ONE 250 WATT LAMP INDICATED)
1	DUCT SECTION INDICATOR
⊕	EQUIPMENT CONNECTION
▬	EXISTING PANELBOARD
▨	EXISTING ELECTRICAL EQUIPMENT
⊕	EXPLOSION-PROOF FITTING WITH SEALING COMPOUND
⊕	TIME SWITCH
—	CONDUIT STUB-UP
---	CONCEALED CONDUIT BELOW FINISHED FLOOR OR BELOW GRADE
⌌	CONCEALED CONDUIT IN CEILING, (HASHMARKS INDICATE 3-WIRES WITHIN)
---C---	FUTURE CARD READER SYSTEM RACEWAY
---I---	FUTURE INTERCOM SYSTEM RACEWAY
---T---	FUTURE CCTV SYSTEM RACEWAY
---K---	FUTURE KIOSK SIGNAL RACEWAY
⌌	DENOTES SEPARATE GREEN EQUIPMENT GROUNDING CONDUCTOR IN RACEWAY
NL	DENOTES NIGHT LIGHT
⊕	LIGHTING CONTACTOR
⊕	NON-FUSED DISCONNECT SWITCH
WP	DENOTES WEATHERPROOF



TYPICAL EXPLOSIONPROOF SEAL/HANDHOLE DETAIL
NOT TO SCALE

KAUAIKUA & CHUN ARCHITECTS

DWIGHT PAUHI KAUAIKUA AIA
DANIEL GARY CHUN AIA

KAWAIIAN PLAZA HALF MAUIA
547 SO. KING STREET SUITE 108
HONOLULU, HAWAII 96813 (808) 326-2293



The work was prepared by me or under my supervision and construction of this project will be under my supervision. I am a member of the Board of Professional Engineers, Architects and Surveyors of the State of Hawaii.

EGS:INC
By: [Signature]
Its PROJECT ENGINEER
Date: JAN. 31/1990

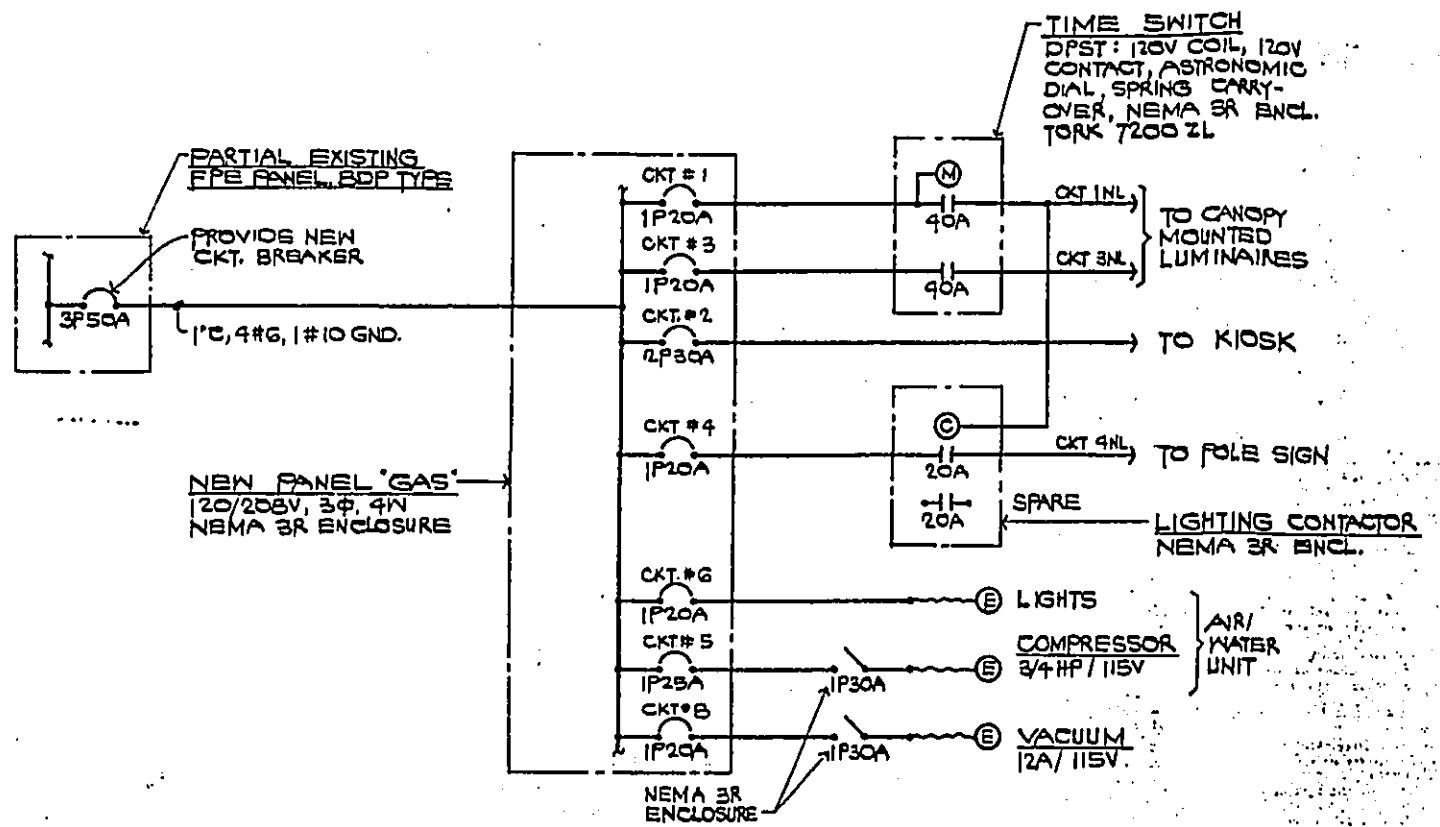


85-010 FARRINGTON HWY
MAKAHA, HAWAII
T.M.K. 8-5-18-18

REV NO.	DATE	BY	DESCRIPTION

- REVISIONS
- ELECTRICAL SITE PLAN
 - SYMBOL LIST

PROJECT NO: 39-44	SHEET 15-1
DATE 1-24-90	2 OF 4
DRAWN BY: EB/NP	
CHECKED BY: DN/ACKV	



ONE LINE CONTROL DIAGRAM

PANEL "GAS"		120/208V 3Φ 4W 3P50A MAIN BKR. SURFACE MOUNTED 10,000 A.I.C. MIN.				
CKT. NO.	CKT BKR. POLE AMPS	USE	CONN LOAD (KW)			GND NRE
			A	B	C	
1	1	20				10
2	2	30	1.0			10
3	1	20	1.5	1.5		10
4	1	20			1.0	10
5		25			1.7	10
6		20	0.3			10
7		-				10
8		20		1.5		10
9		-				10
10		20			1.0	10
11		-				10
TOTAL LOAD/PHASE			2.8	4.0	3.7	
TOTAL LOAD			10.5			
DEMAND FACTOR			1.0			
DEMAND LOAD			10.5			
DEMAND AMPS			29			

H
L, 120V
NOMIC
ARRY-
R ENCL.

NO
TED
JAMES

IOSK

LE SIGN

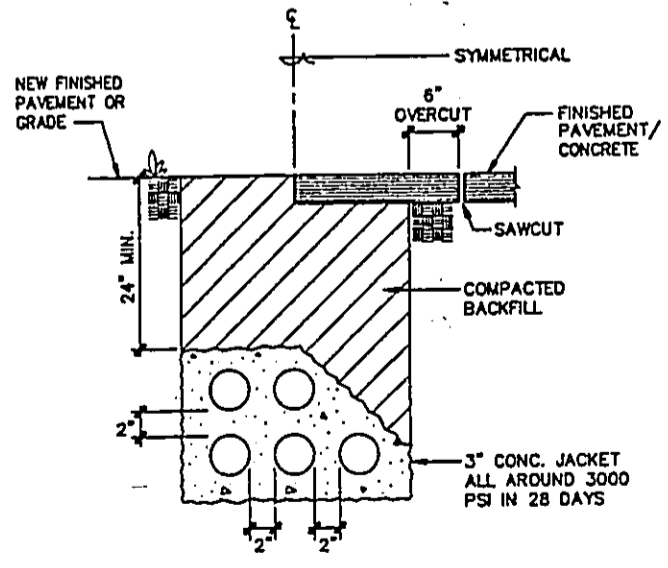
ING CONTACTOR
R ENCL.

R/
ATER
UNIT

LUMINAIRE SCHEDULE		
TYPE	DESCRIPTION	LAMPS
A	METAL HALIDE LUMINAIRE, CEILING SURFACE MOUNTED 23"SQ x 10-1/4"H. ALUMINUM HOUSING WITH ELECTROSTATICALLY APPLIED WHITE POWDER FINISH. GASKETED FOR ALL WEATHER OPERATION, U.L. LISTED FOR WET LOCATIONS, IMPACT RESISTANT GLASS LENS, IES TYPE V SYMMETRICAL DISTRIBUTION. HUBBELL MSM-C250H-2WB-4	1-250W MH CLEAR

LIGHTING POWER LIMIT CALC.			
CATEGORY - INTERIOR	AREA (S.F.)	ALLOWABLE WATTS/S.F.	ALLOWABLE LTG LOAD (WATTS)
A	768	3.0	2,304
TOTAL ALLOWABLE INTERIOR LIGHTING LOAD			2,304
TOTAL CONNECTED INTERIOR LIGHTING LOAD			1,872

DUCT SECTION SCHEDULE	
TYPE	DESCRIPTION
1	3/4" GRS CONDUIT, LIGHTING, 3#10 AWG, 1#10 GROUND
2	3/4" GRS CONDUIT, FUTURE CARD READER, PROVIDE PULLWIRE
3	3/4" GRS CONDUIT, FUTURE INTERCOM, PROVIDE PULLWIRE
4	3/4" GRS CONDUIT, FUTURE CCTV, PROVIDE PULLWIRE
5	3/4" GRS CONDUIT, KIOSK POWER, 3#10 AWG, 1#10 GROUND
6	3/4" GRS CONDUIT, FUTURE KIOSK SIGNAL, PROVIDE PULLWIRE
7	3/4" GRS CONDUIT, POLE SIGN, 3#10 AWG, 1#10 GROUND
8	3/4" GRS CONDUIT, AIR/WATER UNIT, 6#10 AWG, 2#10 GROUND
9	3/4" GRS CONDUIT, VACUUM UNIT, 3#10 AWG, 1#10 GROUND



TYPICAL DUCT SECTION
NOT TO SCALE

KAUAHIKAUA & CHUN ARCHITECTS

DWIGHT PAUHI KAUAIKAUA AIA
DANIEL GARY CHUN AIA

KAWAIIHAO PLAZA IIITE MAUKA
547 SO. KING STREET SUITE 101
HONOLULU, HAWAII 96813 (808) 526-2281



This work was prepared by me or under my supervision and construction of the project will be under my supervision (Supervision of Construction as defined in Section 1-214) of the Rules and Regulations of the Board of Professional Engineers, Architects and Surveyors of the State of Hawaii.

By [Signature]
PROJECT ENGINEER
Date JAN. 31, 1990



85-010 FARRINGTON HWY
MAKAHA, HAWAII
T.M.K. 8-5-18:1B

REV NO	DATE	BY	DESCRIPTION
REVISIONS			

- ONE-LINE/CONTROL DIAGRAM
- DUCT SECTION AND SCHEDULES

PROJECT NO:
87-44
DATE
1-24-90
DRAWN BY:
LY/NOP
CHECKED BY:
DN/VKM

SHEET
E-2
3 OF 4

DIVISION 16
SECTION 16100 - ELECTRICAL WORK

PART 1 - GENERAL

1. DESCRIPTION OF WORK: Work specified in this section shall include, but not be limited to, the following:
 - A. Complete electrical system wiring, including overcurrent protection devices, branch circuits, luminaires, time switches, and lighting contactors for new canopy lighting and block power.
 - B. Empty raceways for future Card Reader, CCTV, Intercom and block control systems.
 - C. Include in the bid and pay for the permits, inspection fees and deliver the certificate of final inspection to Owner.
 - D. Testing.
 - E. As-built drawings on reproducible mylar.
2. REFERENCES: Comply with the applicable requirements of the following standards unless otherwise indicated:
 - A. Comply with local ordinances; National Electrical Code; applicable regulations of the National Board of Fire Underwriters; specifications of ANSI, NEMA, IEEE, and IPCEA; and regulations of the County Building Department.
 - B. In the event of conflict between pertinent codes and regulations, and the requirements of the referenced standards, or those indicated in specifications and on drawings, the provisions of the more stringent shall govern.
3. SUBMITTALS: Submit shop drawings and catalog cuts of the following equipment for approval in accordance with SUBMITTALS section. Each Submittal shall be delivered with a summary sheet attached to each copy identifying each item included in the submittal. Incomplete submittals and those without summary sheets will be returned without review.
 - A. Panelboards.
 - B. Overcurrent protection devices.
 - C. Luminaires and lamps.
 - D. Automatic lighting control devices. (Time switches and lighting contactors in cabinets.)
 - E. Safety switches.
4. DELIVERY, HANDLING AND STORAGE:
 - A. Deliver all materials of this Section in the manufacturer's original, unopened packages or containers with label intact and legible.
 - B. Use means necessary to protect the materials of this section before, during and after installation; to protect the installed work and materials of all other trades; and the original structure, work and materials of the Owner.
 - C. In the event of damage, immediately make all repairs and replacements necessary to the approval of the Architect and at no additional cost to the Owner.
5. WARRANTY:
 - A. Installation shall be complete in every detail as specified and ready for use. Any items supplied by Contractor developing defects of design, construction, or quality within one (1) year of final acceptance by the Architect shall be replaced by such new materials, apparatus or parts to make such defective portion of complete system conform to the true intent and meaning of the Drawings and Specifications at no additional cost to the Owner. Lamps shall be warranted for fifty (50) percent of rated lamp life.
 - B. The warranty shall be countersigned by the General Contractor.

PART 2 - PRODUCTS

6. GENERAL:
 - A. Materials shall be new and those items listed by Underwriters' Laboratories shall bear "UL" label of approval.
 - B. Brand names, manufacturer's names and catalog numbers indicate standard of design and quality required. Substitute materials may be used if pre-qualified by the Architect.
 - C. Electrical equipment and luminaires shall be supplied through the manufacturer's designated representative by a local distributor.
 - D. Proof of compliance shall be furnished when shop drawings are submitted.
 - E. Where two or more similar type items are furnished, all shall be of the same manufacture, e.g., safety switches shall be of the same manufacturer unless other noted.

7. RACEWAYS:

- A. Rigid Conduit: Rigid steel, zinc-coated inside and outside, for use with threaded fittings.
- B. Intermediate Metal Conduit (IMC): Rigid steel, zinc and chromate-coated inside and outside, for use with threaded fittings.
- C. Electrical Metal Tubing (EMT): Thin walled steel tubing, zinc-coated.

8. BOXES:

- A. Outlet and Small Junction Boxes: Nominal 4" square, 2-1/8" minimum depth exclusive of plaster ring, pressed steel, galvanized for corrosion protection. Boxes exposed to weather shall be cast steel, type FD.
- B. Boxes Larger than 4" Square: Fabricated from NEC grade steel, hot-dip galvanized, prime painted and finished to match adjacent architectural elements.

9. CONDUCTORS:

- A. Solid or stranded copper, sizes according to American Wire Gauge Wire, as shown on Drawings and #12 AWG minimum unless otherwise noted. Stranded conductors only for #8 AWG and larger.
- B. Luminaires Wires: Per NEC.
- C. Conductors larger than #8: THWN and XOW.
- D. Conductors for equipment in areas considered hazardous by NEC shall be type "TV Control", gasoline and oil resistant. All wiring shall be color coded.
- E. Conductor types NM and AC not acceptable.

10. LIGHTING CONTROL EQUIPMENT:

- A. Time Switch: Shall be equipped with a self-starting synchronous drive motor, an astronomic dial calibrated for 71 degrees north latitude, an electrically wound carry-over spring mechanism providing a minimum of 10 hours of operation during periods of power outage. The time switch shall be 2 pole, 120 volt, 40 hertz, with 40 ampere contacts. NEMA 3R enclosure.
- B. Lighting Contactors: 20A contacts, coil voltage to match lighting circuit voltage, NEMA 3R enclosure, number of poles as required. Electrically held, Square D Class 890.

11. PANELBOARDS:

- A. Mounting, voltage rating, main bus capacity, breaker complement and lugs as specified on drawings, complete with housing, door, trim, lock and typewritten circuit directory. Load centers not allowed unless specifically specified in the drawings. Provide ground bus for all panels. Approved manufacturers: Westinghouse, General Electric, Square D, Gould/ITE and Cutler-Hammer.
- B. Panelboards should have copper bussing with bolt-on, welded case circuit breakers. Provide 1-inch-per-pole breakers, half-size breakers not allowed.
- C. All locks shall be common-key type. Furnish 10 sets of keys to Owner.
- D. Panel housing and entire circuit breaker complement shall be of same manufacture.

12. CIRCUIT BREAKERS:

- A. Circuit breakers, unless otherwise shown, shall be molded case, toggle mechanism operated, with no-fuse ambient compensated thermal-magnetic over-load automatic trip units for overcurrent and short circuit protection, interchangeable trip units when available and contacts rated to interrupt short circuit currents as specified on the Drawings. Multiple pole breakers shall have a single, common operating handle for all poles. Breakers to be installed in existing panelboards shall be compatible with the panelboard type.
- B. Safety switches shall be heavy duty grade and sized to match branch circuit overcurrent device.
- C. Enclosures for breakers and switches to be NEMA 1 for interior locations and NEMA 3R for exterior locations unless otherwise noted.

13. LUMINAIRES:

- A. Luminaires, lamps and mounting accessories shall be provided as indicated on the drawings.
- B. Metal Halide Lamps and Ballasts: Voltage and type as indicated on the drawings.

14. HARDWARE, SUPPORTS, BACKINGS, ETC.:

- A. Provide all hardware, supports, backing and other accessories necessary to install electrical equipment. Used materials shall be treated against rust, iron or steel materials shall be galvanized for corrosion protection, and non-ferrous materials shall be brass or bronze.

- B. Bolts, nuts, washers, and screws shall be quality stainless steel or brass.

PART 3 - EXECUTION

15. INSPECTION:

- A. These specifications are accompanied by building and site plans showing building and site electrical equipment and other electrical equipment and before installing, study adjacent drawings and specifications and make installation in most logical sequence within 10'-0" before installation. Architect without additional cost.
- B. Before installing, verify all dimensions.
- C. Verify that electrical system may be installed with the original design. Drawing factors' recommendations.
- D. In the event of discrepancy, immediately stop work and do not proceed with installation in such discrepancies have been fully resolved.

16. GENERAL:

- A. Install all electrical materials in accordance with manufacturer's recommendations and specifications.
- B. Cut, break, drill and patch as required. Repair any surface damaged by any other process necessary for installation. Patch any damaged surfaces to match existing conditions.
- C. All equipment raceways, wiring and through areas classified as hazardous shall be provided in accordance with Article 316. Provide approved covers and seals in hazardous areas.
- D. The Electrical Contractor shall be responsible for avoiding conflicts with mechanical elements of this project.

17. RACEWAYS:

- A. Use conduits with approved coupling, square, using saw. Run the end of conduit into wall or ceiling. Seal against water during construction except when pulling conductors.
- B. Exposed conduit runs to be protected from mechanical damage by structural and structural elements or IMC up to 12'-0" above finished floor. EMT permitted for exposed installation.
- C. Electrical metal tubing (EMT) and walls above ground level are hazardous areas and in or below transition between rigid conduit runs. Field-paint exposed tubing.
- D. Galvanized rigid steel conduit and control wiring to card readers, power and signal connections, cable dispensing operations.
- E. Galvanized rigid steel conduit shall be field wrapped with 0.01-inch with a 50% overlap.
- F. Conceal all raceways unless otherwise specified.

18. CONDUCTORS:

- A. Lubricants: Chemically neutral powdered soapstone. Mechanical limiting type and not be used or used in enclosures for minimum safe connectors or wire connectors. Remove all sharp points that can damage wire manufacturer's direction only for the connections to luminaire.
- B. Clean all raceways, boxes, and cables.

19. LUMINAIRES: Receive, store and protect as directed by the Architect. Furnish

20. MISCELLANEOUS DETAILS:

- A. Provide necessary foundations, raceway and equipment. Attach bolts. Attach to concrete by a drilled studs and anchors shall be provided.
- B. Clean all surfaces of enclosures.

Bolts, nuts, washers, and screws used for outside shall be high quality stainless steel or brass.

NOTICE:
EXCEPTION:

These specifications are accompanied by architectural plans of building and site plans showing locations of all outlets, switches, devices and other electrical equipment. Locations are approximate and before installing, study adjacent architectural details and make installation in most logical manner. Any device may be relocated within 10'-0" before installation at direction of Architect without additional cost to Owner.

Before installing, verify all dimensions and sizes of equipment. Verify that electrical system may be installed in strict accordance with the original design, Drawings and Specifications and the manufacturer's recommendations.

In the event of discrepancy, immediately notify the Architect. Do not proceed with installation in areas of discrepancy until all such discrepancies have been fully resolved.

GENERAL:

Install all electrical materials and equipment in accordance with manufacturer's recommendations and as approved by the Architect.

Cut, break, drill and patch as required to install electrical system. Repair any surface damaged or marred by notching, drilling or any other process necessary for installation of electrical work. Patch any damaged surfaces to match the existing surface.

All equipment raceways, wiring and devices located in or passing through areas classified as hazardous by NEC shall comply with NEC Article 514. Provide approved explosion-proof equipment, wiring and seals in hazardous areas.

The Electrical Contractor shall coordinate his work with other trades to avoid conflicts with mechanical, structural and architectural elements of this project.

DETAILS:

Use conduits with approved couplings and connectors. All cuts square, using saw. Seal the ends. Bonds made with approved tools. Reject flattened or crushed conduit. No running thread. Bushing and two locknuts at connection to boxes and enclosures.

Seal against water during construction. Risers must be closed except when pulling conductors.

Exposed conduit runs to be parallel and/or perpendicular to architectural and structural elements. Galvanized rigid steel conduit or IMC up to 7'-0" above finished floor and in hazardous areas. EMT permitted for exposed installation above 7'-0".

Electrical metallic tubing (EMT): Use only in dry furred spaces and walls above ground level except as noted above. Do not use in hazardous areas and in or below grade slab. Provide factory-made transition between rigid conduit and EMT and concrete-tight couplings. Field-paint exposed tubing with corrosion-resistant paint.

Galvanized rigid steel conduit or IMC only for branch circuit and control wiring to card readers, intercoms, CCTV outlets, block power and signal connections, canopy lighting, etc. associated with gas dispensing operations.

Galvanized rigid steel conduit and IMC installed below grade shall be field wrapped with 0.01-inch thick pipe-wrapping plastic tape with a 50% overlap.

Cancel all raceways unless otherwise noted on the drawings.

CONNECTORS:

Lubricants: Chemically neutral to insulation and sheath. Use powdered soapstone. Mechanical means for pulling to be torque-limiting type and not be used on #2 AWG and smaller wires. Form neatly in enclosures for minimum of cross-overs. No-solder pressure connectors or crimp connections for #8 AWG and larger wires. Remove all sharp points that can pierce tape. Reinsulate according to wire manufacturer's directions. Use of wirenuts are permitted only for the connections to luminaire wires.

Clean all raceways, boxes, and enclosures before pulling wires and cables.

FINISHES:

Receive, store and protect against loss or damage. Install directed by the Architect. Furnish all supports and wiring required.

MISCELLANEOUS DETAILS:

Provide necessary foundations, supports, backing, etc., for all raceway and equipment. Attach to wood and steel by screws or bolts. Attach to concrete by expansion anchors. Powder charge driven studs and anchors shall not be used.

Clean all surfaces of enclosures and equipment.

C. Close all unused knockout holes.

21. PAINTING:

A. Wipe clean of dirt, oil, grease, etc., with rag and solvent, prime and finish to match surrounding finish. Do not paint over name plate. Paint as specified in PAINTING section.

B. All surface mounted boxes, enclosures, and exposed raceways shall be enamel painted to match the color of surrounding.

C. ~~Do Not~~ Field-paint circuit breakers, panelboards and safety switches.

22. IDENTIFICATION:

A. All overcurrent protection devices and enclosures shall be provided with plastic plate identifying itself and its use.

1. Identify all breakers, panelboards and safety switches.

B. Plastic plate shall be laminated black and white, engraved 1/4" high lettering to expose white layer. Plate shall be riveted to the cover and located directly below device handle, or top side of door.

C. CAUTION SIGNS shall be provided as required by Ordinances and/or by OSHA.

23. TESTS:

A. Upon completion of this portion of the work, and prior to its acceptance by the Owner, make all required tests and secure all required approvals from agencies having jurisdiction.

B. Perform an operational test after completion of installation in the presence of Architect, to assure proper operation of all items of work. Remove all grounds and shorts.

END OF SECTION

KAUAIKAWA & CHUN ARCHITECTS

DWIGHT PAIAMI KAUAIKAWA AIA
DANIEL GARY CHUN AIA

KAWAIIHAO PLAZA HALE MAUKA
541 SO. KING STREET SUITE 201
HONOLULU, HAWAII 96813 (PH) 526-2781



The work was prepared by me or under my supervision and construction of this project will be under my supervision (Subchapter of Construction as defined in Section 12101 of the Rules and Regulations of the Board of Professional Engineers, Architects and Surveyors of the State of Hawaii)

By *[Signature]*
Its PROJECT ENGINEER
Date _____



85-010 FARRINGTON HWY.
MAKAHA, HAWAII
T.M.K. 8-5-18 18

REV NO	DATE	BY	DESCRIPTION
REVISIONS			

ELECTRICAL SPECIFICATIONS

PROJECT NO: 89-44	SHEET
DATE 1-24-90	E-3 4 OF 4
DRAWN BY: ED/NP	
CHECKED BY: DN/VKM	

1100 Ward Avenue
Suite 760
Honolulu, Hawaii 96814-1617



ARCHITECTURE PLANNING INTERIORS

Maurice H. Yamasato

Gary S. Fujiwara

David S. Aoki

Debra M. Heng

TEL: (808) 531-8825
FAX: (808) 521-9902

March 18, 1996

Dear Mr. & Mrs. Joe Cornet,

We would like to notify you of Seven-Eleven's plans to demolish the existing Makaha Store and construct a new store parallel to the rear property. The newly located store will increase the parking area to allow for additional parking as well as conform to the requirements of the American Disability Accessibility Guidelines. There are no plans to renovate the Aloha Petroleum gas pump area.

Please review the enclosed preliminary Environmental Assessment Study and should you have any questions please write to us within 30 calendar days from the date of mailing.

Sincerely,

Myrtle Kimura

1100 Ward Avenue
Suite 760
Honolulu, Hawaii 96814-1617



ARCHITECTURE PLANNING INTERIORS

Maurice H. Yamasato

Gary S. Fujiwara

Alfred S. Aoki

Lloyd M. Hsu

Telephone (808) 531-8825
Facsimile (808) 521-9902

March 18, 1996

Dear Mr. & Mrs. Larry Aman,

We would like to notify you of Seven-Eleven's plans to demolish the existing Makaha Store and construct a new store parallel to the rear property. The newly located store will increase the parking area to allow for additional parking as well as conform to the requirements of the American Disability Assessibility Guidelines. There are no plans to renovate the Aloha Petroleum gas pump area.

Please review the enclosed preliminary Enviromental Assessment Study and should you have any questions please write to us within 30 calandar days from the date of mailing.

Sincerely,

Myrtle Kimura

Myrtle Kimura

1100 Ward Avenue
Suite 700
Honolulu, Hawaii 96814-1617



ARCHITECTURE PLANNING INTERIORS

Mauro H. Yamasato

Garth S. Fujiwara

Myrtle S. Kimura

Telephone (808) 531-8825
Facsimile (808) 521-0902

March 18, 1996

Dear Pastor Jack,

We would like to notify you of Seven-Eleven's plans to demolish the existing store and construct a new store located parallel to the rear of the property.

The proposed building will increase the parking area allowing for additional parking stalls as well as conform to the requirements of the American Disability Accessibility Guidelines. There are no plans to renovate the existing Aloha Petroleum gas pump area.

Please review the enclosed preliminary Environmental Assessment Study and should you have any questions please write to us within 30 calendar days from the date of mailing.

Sincerely,

Myrtle Kimura

Myrtle Kimura