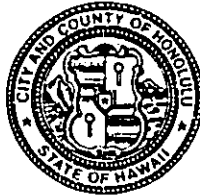


DEPARTMENT OF PLANNING AND PERMITTING
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET • HONOLULU, HAWAII 96813
PHONE: (808) 523-4414 • FAX: (808) 527-6743

JEREMY HARRIS
MAYOR



RECEIVED

'99 FEB 10 A 8:09

JAN NAOE SULLIVAN
DIRECTOR

LORETTA K.C. CHEE
DEPUTY DIRECTOR

98/ED-006 (AC)

February 5, 1999

OFF. OF ENVIRONMENTAL
QUALITY CONTROL

Mr. Gary Gill, Director
Office of Environmental Quality Control
State of Hawaii
State Office Tower, Room 702
235 South Beretania Street
Honolulu, Hawaii 96813

Dear Mr. Gill:

CHAPTER 343, HRS
Environmental Assessment (EA)/Determination
Finding of No Significant Impact

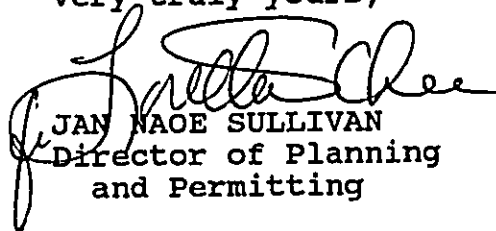
Owner/Applicant
Agent : DFS Group L.P.
Location : Waikiki, Oahu
Tax Map Keys : 2-6-19: 19, 22, 23, 24, 27, 28, 29, 34,
35, 36, 41, 45, 46, 47 and 48
Requests : Modification to the Waikiki Special
District Permit (97/WSD-39); and Variance
to allow an addition to a commercial
building, with less than the required off-
street parking
Proposal : Office space addition to the existing Duty
Free Shop (DFS) Galleria
Determination : A Finding of No Significant Impact is
Issued

Attached and incorporated by reference is the Final EA prepared by the applicant for the project. Based on the significance criteria outlined in Chapter 200, State Administrative Rules, we have determined that preparation of an Environmental Impact Statement is not required.

Mr. Gary Gill, Director
Page 2
February 5, 1999

We have enclosed a completed OEQC Bulletin Publication Form and four copies of the Final EA. If you have any questions, please contact Art Challacombe of our staff at 523-4107.

Very truly yours,


JAN NAOE SULLIVAN
Director of Planning
and Permitting

JNS:am
attachs.

cc: Stephen H. Miller, DFS Group L.P.

posse doc no. 2172

FEB 23 1999

FILE COPY

1999-02-23-DA-*FEA* - Duty Free Shop
Galleria Office Addition

FINAL ENVIRONMENTAL ASSESSMENT

OFFICE SPACE ADDITION

TO THE EXISTING DFS GALLERIA

Waikiki, Oahu, Hawaii

**Tax Map Key: 2-6-19: 19, 22, 23, 24, 27, 28, 29, 34, 35, 36,
41, 45, 46, 47 and 48**

Applicant

**DFS Group L. P.
3375 Koapaka Street
Honolulu, Hawaii 96819**

Architect

**Kajioka Yamachi Architects
934 Pumehana Street
Honolulu, Hawaii 96826**

JANUARY 1999

DFS
GALLERIA

February 3, 1999

Ms. Jan Sullivan
Director
Department of Land Utilization, Planning and Permitting
650 South King Street, 7th Floor
Honolulu, Hawaii 96813

Attention: Mr. Art Challecombe, Chief
Environmental Assessment Branch

Dear Ms. Sullivan:

Subject: Final Environmental Assessment for the Proposed DFS Galleria Addition
of Support Office Space
Tax Key Map 2-6-19: 19, 22, 23, 24, 27, 28, 29, 34, 35, 36, 41, 45, 46, 47
and 48

On behalf of the applicant, DFS Group L. P., owner of the above referenced property, I am submitting six copies of the Final Environmental Assessment to meet requirements of Chapter 343 Hawaii Revised Statutes and Chapter 200 of Title 11, Administrative Rules - Environmental Impact Statement Rules. The action that triggers this assessment is the proposed addition of 13,600 sq. ft. of support office and customer service space in two phases.

The applicant has submitted an application for a Special District Permit for the proposed development in accordance with the Land Use Ordinance and regulations within the Waikiki Special District.

Based on the enclosed Final Environmental Assessment, the applicant respectfully requests a negative declaration (FONSI) for the project. The project's impact on the environment and neighboring properties will be negligible.

DFS USA Region
A Division of DFS Group L.P.

P.O. Box 29500
Honolulu, Hawaii
96820

Telephone: 808 837-3000
Fax: 808 837-3563 Administration
Fax: 808 837-3550 Accounting
Fax: 808 837-3433 Merchandising



Ms. Jan Sullivan
Page 2
February 3, 1999

Your expeditious and favorable consideration of this matter would be greatly appreciated. Should you have questions, or wish additional information, please feel free to contact me.

Very truly yours,

Stephen H. Miller
Vice President-Facility Development

SHM:pl

Enclosures

FINAL ENVIRONMENTAL ASSESSMENT

OFFICE SPACE ADDITION

TO THE EXISTING DFS GALLERIA

Waikiki, Oahu, Hawaii

**Tax Map Key: 2-6-19: 19, 22, 23, 24, 27, 28, 29, 34, 35, 36,
41, 45, 46, 47 and 48**

Applicant

**DFS Group L. P.
3375 Koapaka Street
Honolulu, Hawaii 96819**

Architect

**Kajioka Yamachi Architects
934 Pumehana Street
Honolulu, Hawaii 96826**

JANUARY 1999

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1	Floor Plans and Exterior Elevations

**FINAL ENVIRONMENTAL ASSESSMENT
OFFICE SPACE ADDITION TO
THE EXISTING DFS GALLERIA**

Waikiki, Oahu, Hawaii

**Tax Map Key: 2-6-19: 19, 22, 23, 24, 27, 28, 29, 34, 35, 36, 41, 45, 46,
47 and 48**

I. INTRODUCTION

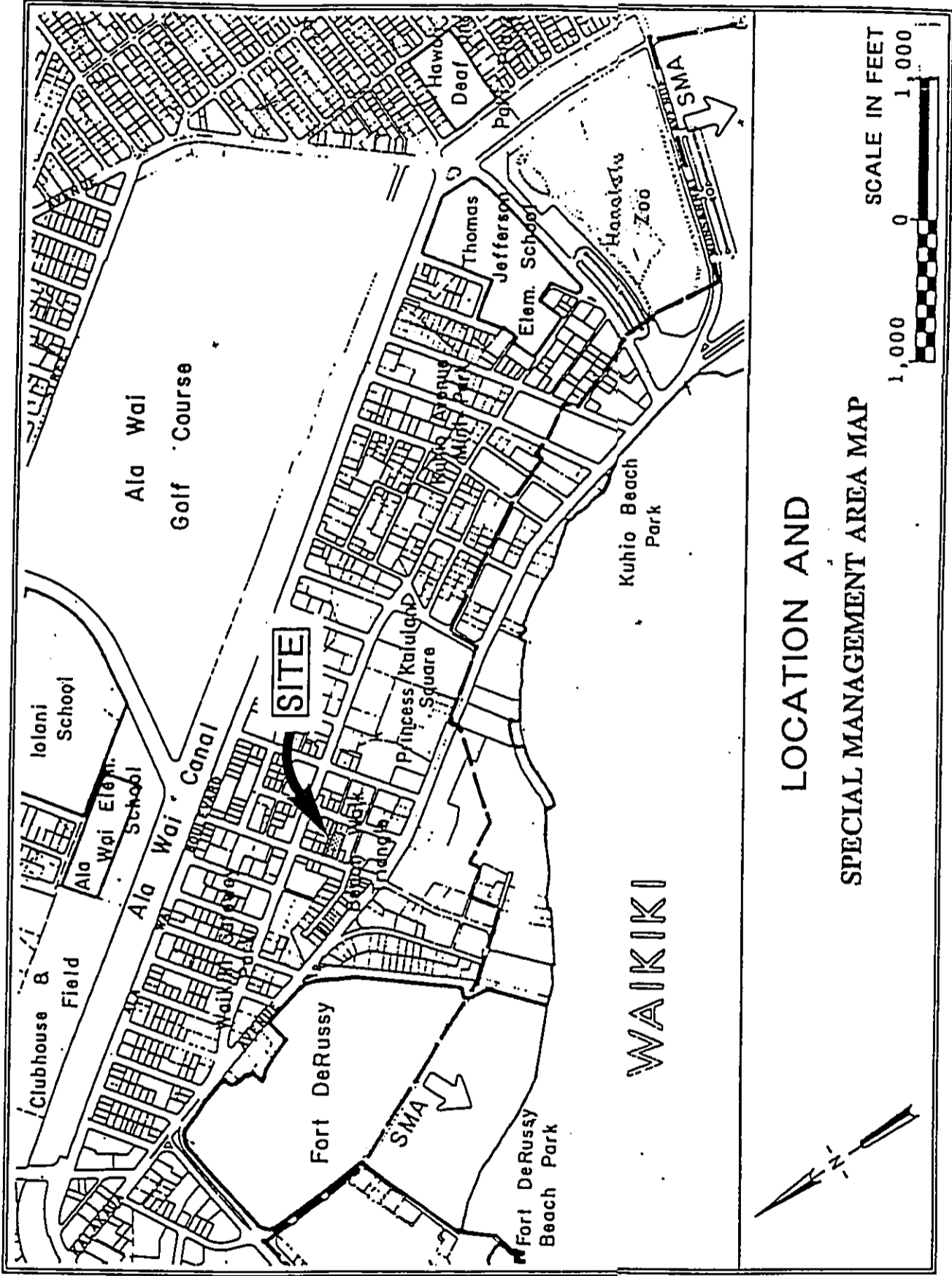
- A. Applicant : DFS Group L. P.
3375 Koapaka Street, Suite 200
Honolulu, Hawaii 96819**
- B. Approving Agency : Department of Land Utilization
City and County of Honolulu**
- C. Recorded Fee Owner : DFS Group L. P.
3375 Koapaka Street, Suite 200
Honolulu, Hawaii 96819**
- D. Architect : Kajioka Yamachi Architects
934 Pumehana Street
Honolulu, Hawaii 96826**
- E. Tax Map Key : 2-6-19: 19, 22, 23, 24, 27, 28, 29,
34, 35, 36, 41, 45, 46, 47 and 48**
- F. Location : The site is located at 330 Royal
Hawaiian Avenue**

FINAL ENVIRONMENTAL ASSESSMENT
DFS GALLERIA - OFFICE ADDITION

- between Kalakaua Avenue and
Kuhio Avenue (see Exhibit 1,
Location and Special
Management Area Use Map).**
- G. Lot Area : 65,000 square feet**
- H. State Land Use : Urban**
- I. Development Plan**
- Land Use : Resort Mixed Use (see Exhibit
2)**
- Public Facilities : Improvements within the
existing right of way along
Lewers Street is planned
beyond 6 years (see Exhibit 3)**
- J. Zoning : Resort Commercial Precinct
(see Exhibit 4)**
- K. Special District : Waikiki Special District**
- L. Existing Use : The subject lots contain
existing DFS Galleria**

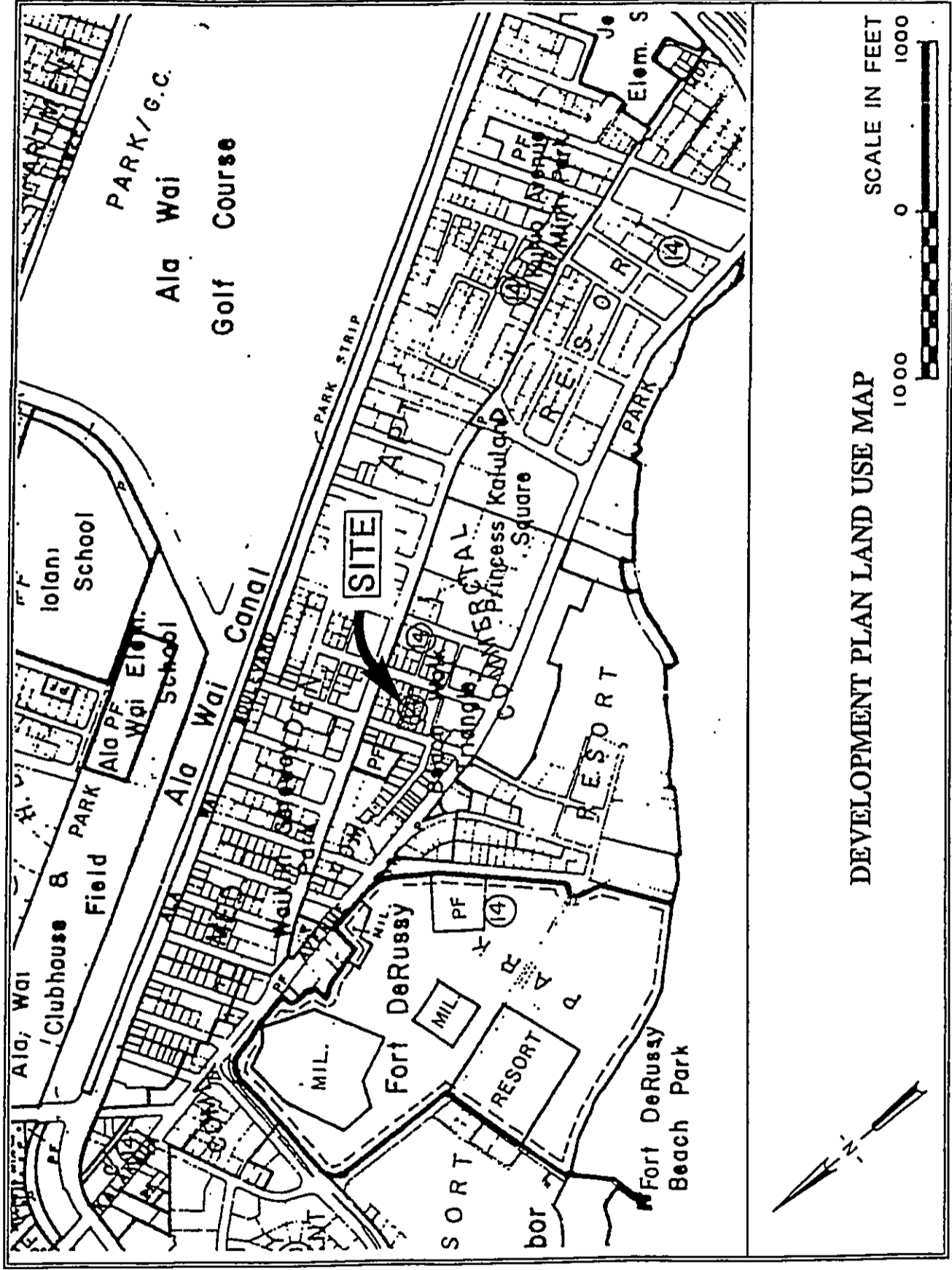
FINAL ENVIRONMENTAL ASSESSMENT
DFS GALLERIA - OFFICE ADDITION

**M. Agencies Consulted : Department of Land Utilization
Neighborhood Board -
President Sam Bren
Waikiki Improvement
Association**



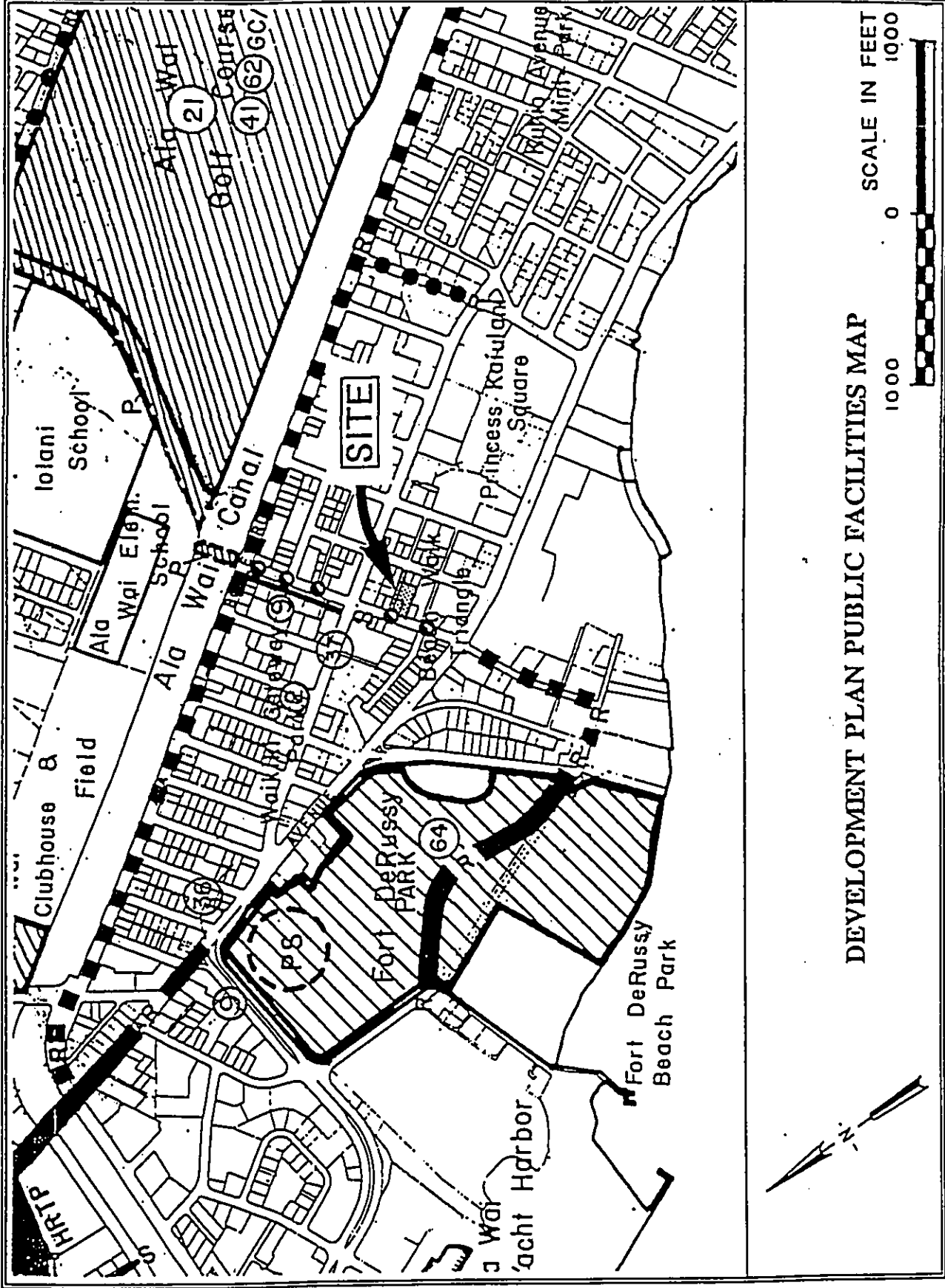
LOCATION AND
SPECIAL MANAGEMENT AREA MAP

EXHIBIT 1



DEVELOPMENT PLAN LAND USE MAP

EXHIBIT 2



DEVELOPMENT PLAN PUBLIC FACILITIES MAP

EXHIBIT 3

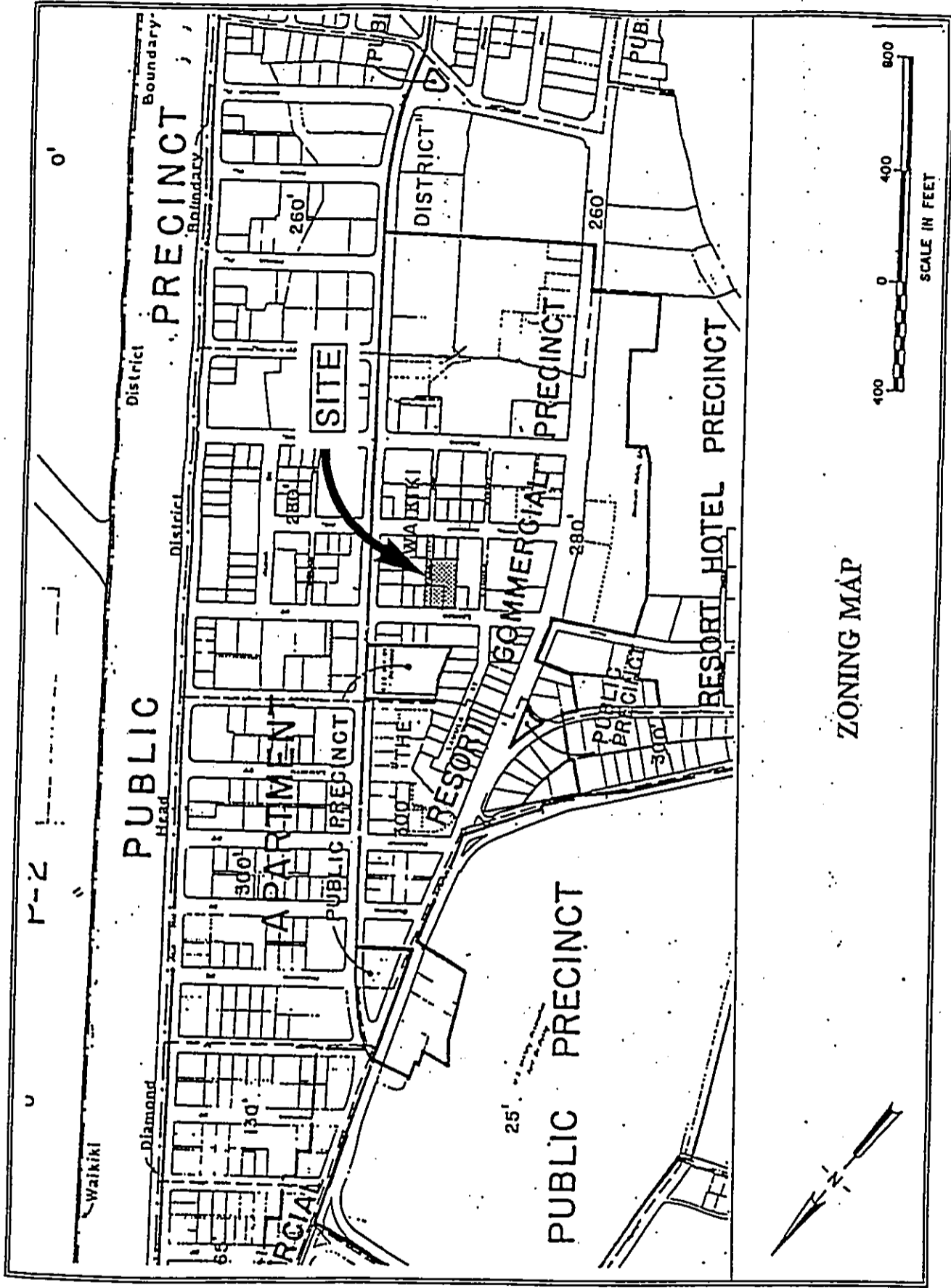


EXHIBIT 4

II. BACKGROUND

The subject property is bounded by Lauula Street, Lewers Street, Kuhio Avenue, and Royal Hawaiian Avenue. The site is developed with the DFS Galleria, a four story 267,000 square foot retail building. Last year construction was completed on a 65,600 square foot addition consisting of three (3) retail levels plus ground floor parking and mezzanine parking. The expanded DFS Galleria has 4 floors above grade, a partial 5th level, and a basement, together with accessory parking areas in the basement on the first floor and mezzanine. The applicant proposes to add 13,645 square feet of office space on the roof of the existing 4th level in two increments. The 1st increment of 8,132 square feet would be constructed immediately upon approval of a Waikiki Special District permit and a building permit. Construction of this initial phase would be complete by the end of April 1999. Construction of the second phase of 5,513 square feet is subject to demand for use of the Phase I space and would likely occur in the next three to five years.

III. PROPERTY DESCRIPTION

A. LOCATION

The subject property is located on the mauka side of Lauula Street between Royal Hawaiian Avenue and Lewers Street. The proposed addition will occur on the roof on the mauka side of the building on the Ewa side of the existing mechanical room which forms the upper height limit of the DFS existing building. The new addition will have the same roof elevation as the existing mechanical room and the existing partial 5th level food court on the Diamond Head side of the building.

Access to the new addition will be from existing elevators and escalators located in the lobby of the existing DFS Galleria.

B. SITE DESCRIPTION

The subject site is fully developed in an urban setting. All of the parcels underlying the existing DFS Galleria are in the Waikiki Special District (WSD) in the Resort Commercial Precinct. The proposed additional accessory office use is consistent with uses permitted in the Resort Commercial Precinct, in accordance with the WSD. The proposed expansion area is not within the Special Management Area.

IV. TECHNICAL CHARACTERISTICS

A. ENVIRONMENTAL REQUIREMENT

This environmental assessment was triggered by Chapter 343, HRS, because it involves the development of lands within the Waikiki area of Oahu.

B. CONSTRUCTION CHARACTERISTICS

The proposed development will include construction of a lightweight steel framed structure of approximately 8,132 square feet on the roof of the mauka side of the existing DFS Galleria. The space will include several large meeting rooms and a reception area for use by travel agents to conduct tour orientations for DFS customers upon their first day of arrival. All of the customers using the facility will be arriving from foreign destinations and will be qualified to shop for duty free merchandise in the DFS Galleria. Existing bathrooms and food service facilities on the top level of the existing building will service the additional space.

V. SOCIO ECONOMIC CHARACTERISTICS AND IMPACT

A. EXISTING USE AND SURROUNDING USES

The portion of the rooftop to be developed is partially occupied by an existing outdoor seating area which is accessory to the existing food service area on the top

floor of the DFS Galleria. This will be removed to make way for the new addition which will match the height of the existing mechanical building and food court space facing Royal Hawaiian Avenue. The proposed commercial use of the site is a permitted use within the Resort Commercial Precinct. It is situated in an Urban setting surrounded by commercial and hotel structures.

The site is bounded on the mauka side by the Outrigger Malia Hotel, and in the Ewa direction across Lewers street is the Waikiki Joy Hotel. The area makai of the proposed expansion is occupied by existing rooftop mechanical equipment servicing the DFS Galleria and an existing building housing the mechanical equipment for the DFS Galleria on the Diamond Head side of the site. No residence, businesses, or existing facilities other than the DFS outdoor seating area will be displaced by this addition.

B. EMPLOYMENT

The proposed addition will be used by travel agents and their clients who are qualified duty free customers of the DFS Galleria. The tour guides who will conduct tour orientations will arrive by bus or van with their tour groups, and consequently the new space will not generate any new employment for either DFS or the travel agencies using the space.

C. GOVERNMENT / TAXES

The new improvements and commercial use of the property should provide a higher valuation for the site leading to greater property tax revenues for the city. Since it is non-retail space, it will have little, if any, effect on gross excise or income tax revenue.

VI. IMPACT ON PUBLIC SERVICES

A. ACCESS AND TRANSPORTATION

Access to the project site is provided by Royal Hawaiian Avenue and Lewers Street. Royal Hawaiian Avenue is one way makai bound and has two lanes with a pavement width of 28 feet. Lewers Street is one way mauka bound and has a pavement width of 28 feet.

The proposed expansion may involve some short term disruption of traffic during construction for delivery of equipment and construction materials to and from the site. Such delays are normally of short duration and will end when the construction is completed. The proposed office space addition will provide an amenity to those international travelers qualified to purchase duty free merchandise who are currently being brought to the DFS Galleria by bus or van on

their first day of arrival to register for duty free shopping and to pick up their shopping cards. The new use will cause no increase in total traffic since those who will use the space would have otherwise arrived to pick up shopping cards and then depart for their hotels. The space will be used solely for non-retail purposes and as such will not increase traffic demand or parking demand. Traffic demand to the DFS Galleria is solely dependent on the rate of foreign arrivals to the island and as such is currently depressed from prior levels which peaked in 1995.

A significant portion of the duty free business is provided by eastbound visitors who arrive in Honolulu during the morning hours and are put aboard buses for transportation to hotels. Since check-in time is normally 3:00 PM the arriving visitors are taken to various attractions in the Honolulu area which include the subject DFS Galleria. A small portion of those total visitors who stop at the DFS Galleria on their way to hotels will be allowed to use the new space which will be limited for exclusive use by one or two of the travel agencies who currently visit the DFS Galleria. While the bulk of the bus traffic to and from the DFS Galleria is concentrated in the hours from 10:00 AM to 2:00 PM, those arriving to use the new additional space are expected to arrive between 8:00 and 9:00 AM and remain

on the site for approximately 1 1/2 hours for tour orientations by their respective travel agents. Most of these customers arrive by mini bus or van and will depart in the same vehicles approximately 1 1/2 hours later. The length of stay at the site is the only change in traffic impact foreseen.

Currently, the tour briefings consist of an orientation by a DFS employee and distribution of shopping cards to customers aboard the tour vehicles which remain on site approximately 20 minutes. Under the new scenario, only a portion (15% - 20%) of the total number of tour vehicles arriving will remain on-site for approximately for the longer duration to conduct tour orientations in the new additional space.

B. WATER

Water usage for the new addition will be no more than current use since no new bathrooms or food service facilities will be constructed.

C. WASTE WATER

There will be no change in waste water flows since there will be no additional restrooms constructed and the total customer count and occupancy to the store will not change. It is possible that because of the slightly longer stay for customers

using the new space, there will be an increase in restroom use between the hours of 8:00 AM and 10:00 AM. This increase however should be negligible relative to total daily use.

D. DRAINAGE

The new addition will cause no change in drainage requirements for the building since the new roofed area will replace the existing roofed area and will use the same storm drain system already in place for the existing building.

E. UTILITY REQUIREMENTS

The existing telephone and electrical service provided by GTE Hawaiian Telephone and HEI will be utilized to service the new addition. The additional telephone and electrical requirements for the space can be met within the capacity of the existing DFS Galleria building.

F. SOLID WASTE DISPOSAL

Any solid waste generated by the proposed addition will be collected by a private refuse firm as is presently the case and will not impact municipal refuse services.

G. AGENCY COMMENTS

No comments were received from any agencies or anyone thus the final report reads the same as the draft.

VII. ENVIRONMENTAL CHARACTERISTICS AND IMPACTS

A. NOISE

Short term noise impacts at construction sites are a normal result of construction activity. The State Department of Health administers rules and regulations relating to the hours during which construction is permitted and the noise levels permitted during those hours. The contractor will be required to apply for a permit from the State Department of Health should noise from construction activities exceed regulatory limits. The contractor will abide by the noise regulations incorporated into the permit.

Long term noise impact from the proposed expansion will be minimal. As mentioned earlier a significant portion of the Duty Free business is provided by eastbound visitors, who arrive in Honolulu during the morning hours and are put aboard buses for transportation to hotels. Since check in time is normally 3:00 PM, the arriving visitors are taken to various attractions in the Honolulu area which includes the subject store. Therefore, the bulk of the bus traffic from this source of the business is concentrated in the hours from 10:00 AM to 3:00 PM. Because project traffic using the new addition will be traffic that is already

arriving during the 8:00 AM to 10:00 AM, the minimal increase in traffic noise associated with the proposed expansion project are not expected to be of serious concern. For this reason, special traffic noise mitigation measures are not considered necessary for this project.

B. AIR QUALITY

No short term impacts on air quality are expected to be generated by the construction activity since there will be no earthwork involved. Due to the minimal increase in traffic projected for the project as discussed in the previous section on Noise, vehicular emissions will have minimal impact on the surrounding area. Therefore, special mitigation measures are not considered necessary for this project.

C. HISTORICAL AND ARCHAEOLOGICAL RESOURCES

The area of expansion has been in urban use for many years and a number of different uses and buildings have existed on the various lots. Because the site has been extensively developed with no previous record of historic or archaeological discoveries, the proposed development is not expected to have an impact on archaeological resources.

D. NATURAL RESOURCES

1. Flora and Fauna

This urbanized, fully developed site covered with concrete and pavement does not contain any wildlife habitats or rare or endangered flora or fauna. There is no vegetation of any consequence on the site.

2. Water Resources

The Ala Wai Canal is located approximately 900 feet mauka (north) of the subject lot. The Pacific Ocean is located approximately 1,500 feet makai (south) of the subject lot. The project will have no significant affect on either of these two bodies of water.

E. VISUAL IMPACT

The visual impact of the new addition will be minimal as is shown on the attached elevations. The height of the new addition will be the same height as the existing mechanical room structure and the partial 5th level on the diamond head side of the building which form the high point of the existing building. The Lewers side of the new addition will be set back from the exterior wall of the existing building by approximately twelve (12) feet. The property most directly impacted on the

mauka side of the proposed addition is the Outrigger Malia Hotel. Since the first five (5) levels of the Malia Hotel building are used only for parking, the new addition will not obstruct views for the majority of hotel guests. The lowest room level of the Malia is already blocked by the existing building. The proposed addition will not obstruct views for the Waikiki Joy Hotel. The new addition, due to existing structures, will not be visible from the street or from commercial establishments on Royal Hawaiian Avenue or from the makai side of the existing DFS Galleria building.

VIII. MAJOR IMPACTS AND ALTERNATIVES CONSIDERED

As mentioned throughout this report the proposed office space addition to the DFS Galleria will have negligible impact on surrounding areas in terms of public services and the environment. In this instance, the users of the new additional space will be customers who are already arriving at the DFS Galleria in the mornings, and consequently, the only change in impact is that these customers will remain on the site approximately 1 to 1 1/2 hours longer than they would in the current situation.

The alternative considered is the current situation whereby travel agents conduct their tour briefings in the hotel ballrooms or somewhere else other than the DFS Galleria. The reason for creating the new space is to allow one or two of these agencies to conduct their briefings at the DFS Galleria, thereby exposing their customers first hand to the duty free shopping available there versus learning about it third hand at an off-site location. The business benefit is the expectation that a greater percentage of these customers will return shop at DFS than would otherwise be the case. The space will not be large enough to accommodate all travel agencies and therefore will be dedicated to just one or two agents exclusively for their use.

VIII. MITIGATION MEASURES

Since any impacts from the proposed addition to the DFS Galleria are expected to be minimal, no extraordinary mitigation measures are planned. In order to minimize noise impacts during construction of the project, the Applicant's contractor will be required to apply for a permit from the State Department of Health should noise from construction activities ever exceed regulatory limits. The contractor will abide by the noise regulations incorporated into the permit.

IX. RECOMMENDATION

Based on this draft environmental assessment, we respectfully request a finding of no significant impact (FONSI) for the proposed addition to the DFS Galleria.

The findings and reasons supporting this determination are summarized below:

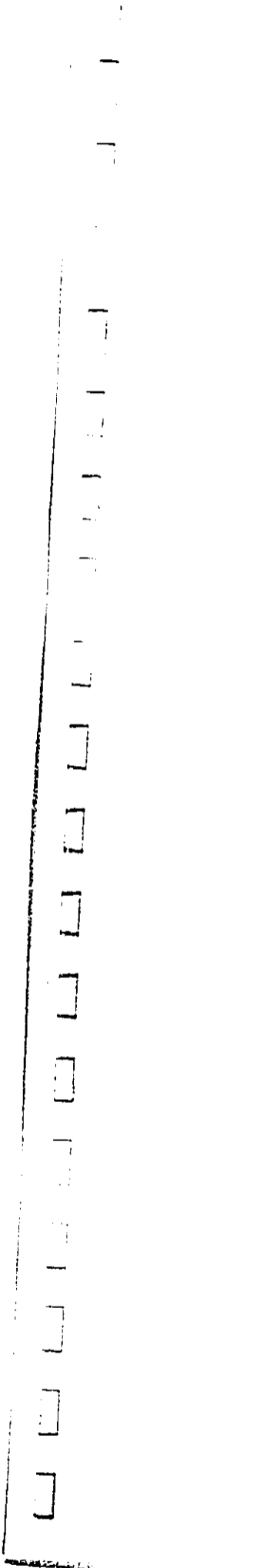
- The proposed action complies with the provisions of the Waikiki Special District Ordinance and the Land Use Ordinance and will in fact eliminate nonconforming uses on the site.
- The proposed action does not involve an irrevocable commitment to loss or destruction of any natural or cultural resources.
- The proposed action has a positive economic impact on the State and City.
- The proposed action does not substantially impact public health.
- The proposed action does not significantly impact public services or involve an increase in population.
- The proposed action does not involve a degradation of environmental quality.

FINAL ENVIRONMENTAL ASSESSMENT
DFS GALLERIA - OFFICE ADDITION

- The proposed action does not impact any rare or endangered flora or fauna or their habitat.
- The proposed action does not impact an environmentally sensitive area.
- The proposed action does not have any visual impact on the surrounding area.

APPENDIX I

FLOOR PLANS AND EXTERIOR ELEVATIONS



TOTAL ALLOWABLE FLOOR AREA CALCULATIONS

EXISTING DFS WAIKIKI (PROJECT # 88-86):	
LOT AREA	54,000.0 S.F.
ALLOWABLE FLOOR AREA	54,000.00 S.F. X 1.75 = 94,500.0 S.F.
TOTAL BONUS AREA	16,119.00 S.F.
TOTAL ALLOWABLE FLOOR AREA	110,619.0 S.F.
EXISTING DFS WAIKIKI (PROJECT # 94-80):	
LOT AREA:	
LOT 34	45'-0" x 80'-0" = 3,600.0 S.F.
LOT 35	45'-0" x 80'-0" = 3,600.0 S.F.
LOT 36	100'-0" x 90'-0" = 9,000.0 S.F.
LOT 41	20'-0" x 260'-0" = 5,200.0 S.F.
TOTAL LOT AREA	21,400.0 S.F.
ALLOWABLE FLOOR AREA	21400.00 S.F. X 1.75 = 37,450.0 S.F.
TOTAL BONUS AREA	29,195.0 S.F.
SUB-TOTAL FLOOR AREA	66,645.0 S.F.
DEDUCTION FROM PREVIOUS BONUS AREA	10,585.0 S.F.
TOTAL ALLOWABLE FLOOR AREA	56,060.0 S.F.
EXISTING DFS WAIKIKI (PROJECT # 88-86)	110,619.0 S.F.
EXISTING DFS WAIKIKI (PROJECT # 94-80)	56,060.0 S.F.
ALLOWABLE FLOOR AREA	166,679.0 S.F.
FLOOR AREA PERMITTED BY 12/96 WAIKIKI SDD ORD.	30,450.0 S.F.
MAXIMUM ALLOWABLE FLOOR AREA	197,129.0 S.F.

ACTUAL FLOOR AREA (CONSTRUCTED AND PROPOSED)

EXISTING DFS WAIKIKI EXPANSION (PROJECT # 88-86)	110,523.2 S.F.
EXISTING GROUND FLOOR MODIFICATION (PROJECT # 93-19)	8,010.6 S.F.
EXISTING DFS WAIKIKI EXPANSION (PROJECT # 94-80)	43,819.0 S.F.
EXISTING TOTAL FLOOR AREA	162,352.8 S.F.
EXISTING EXTERIOR IMPROVEMTS (PROJECT # 97118)	1,720.5 S.F.
PREVIOUS TOTAL FLOOR AREA	164,073.3 S.F.
PROPOSED DFS ROOF TOP EXPANSION PHASE-1 (PROJ # 98-66)	8,132.25 S.F.
PROPOSED DFS ROOF TOP EXPANSION PHASE-2 (PROJ # 98-66)	5,512.75 S.F.
TOTAL	13,645.0 S.F.
PROPOSED TOTAL FLOOR AREA	177,718.3 S.F.

OK

L.U.O. INFORMATION

T.M.K.
 DISTRICT
 PRECINCT
 PERMIT USE
 YARD SETBACK
 MAXIMUM HEIGHT

BUILDING DEPARTMENT INFORMATION

OCCUPANCY GROUP
 CONSTRUCTION TYPE
 PROPOSED BUILDING HEIGHT

NEW FLOOR AREA PERMITTED

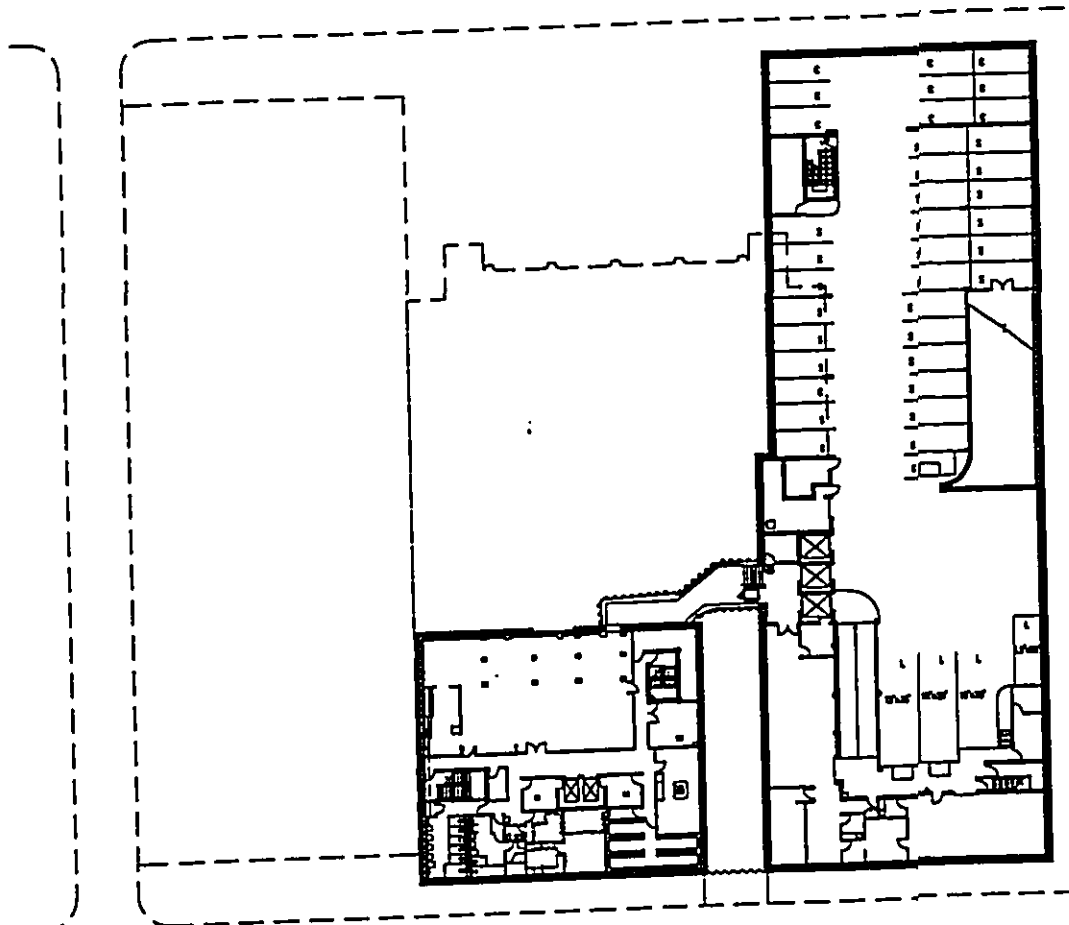
1/2 ABUTTING RIGHT-OF-WAY AREA
 1/2 ABUTTING RIGHT-OF-WAY AREA
 TOTAL
 FLOOR AREA RATIO
 FLOOR AREA PERMITTED BY 12/96 WAIKIKI SDD ORD.

Project: DFS WAIKIKI ROOFTOP EXPANSION

Project No.: 98066

Date: 10/29/98

Title: TOTAL ALLOWABLE FLOOR AREA CALCULATIONS (EXISTING AND PROPOSED), L.U.O. INFORMATION, BUILDING DEPARTMENT INFORMATION, FLOOR AREA PERMITTED BY 12/96 WAIKIKI SDD ORD.



BASEMENT FLOOR

PARKING STALLS PROVIDED
BASEMENT

COMPACT (EXISTING)	.....	11 STALLS (3 ARE TANDEM)
STANDARD (EXISTING)	.....	26 STALLS (6 ARE TANDEM)
TOTAL (EXISTING)		<u>37 STALLS (9 ARE TANDEM)</u>
LOADING (EXISTING)	3 - (12'x35')	
	1 - (8'-6"x22')	<u>4 SPACES</u>

PARKING STALLS
GROUND FLOOR

COMPACT
STANDARD
HANDICAP
TOTAL
LOADING

Project:

DFS WAIKIKI ROOFTOP EXPANSION

Title:

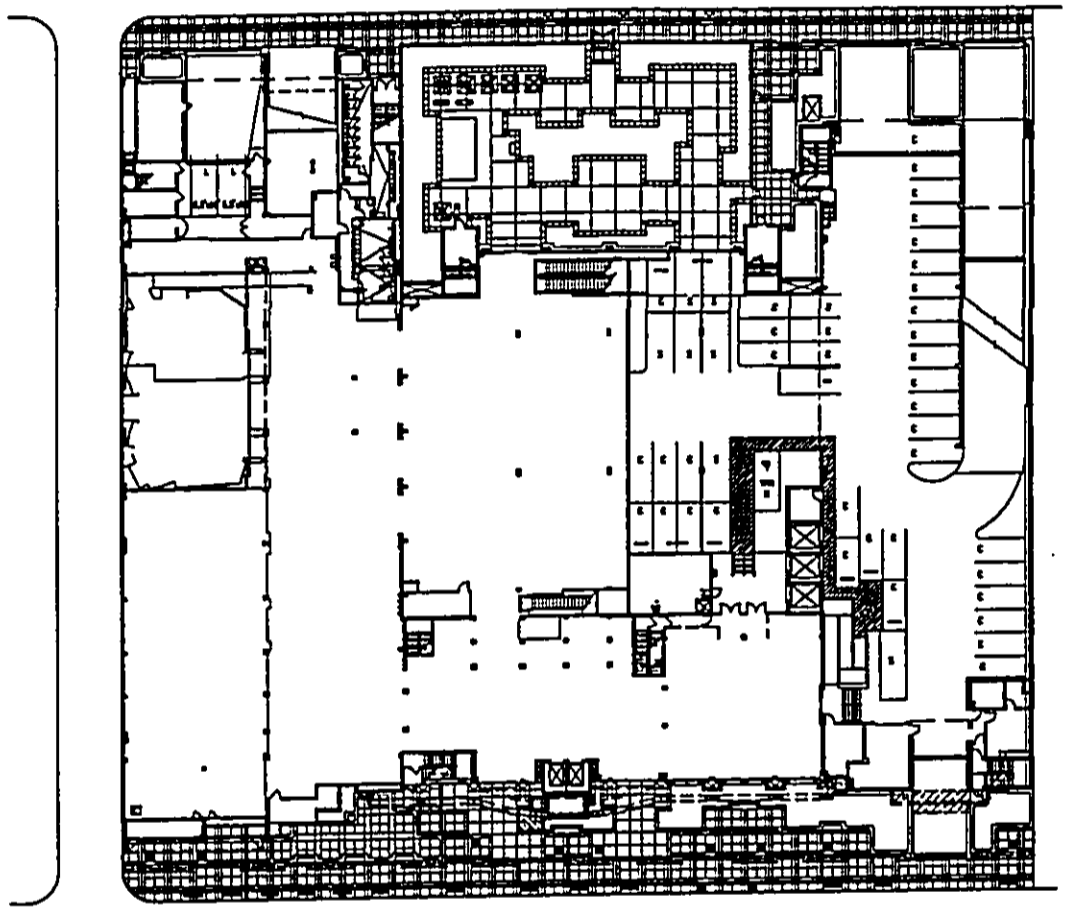
PARKING STALLS PROVIDED: BA

Project No.:

98066

Date:

10/29/98



GROUND FLOOR

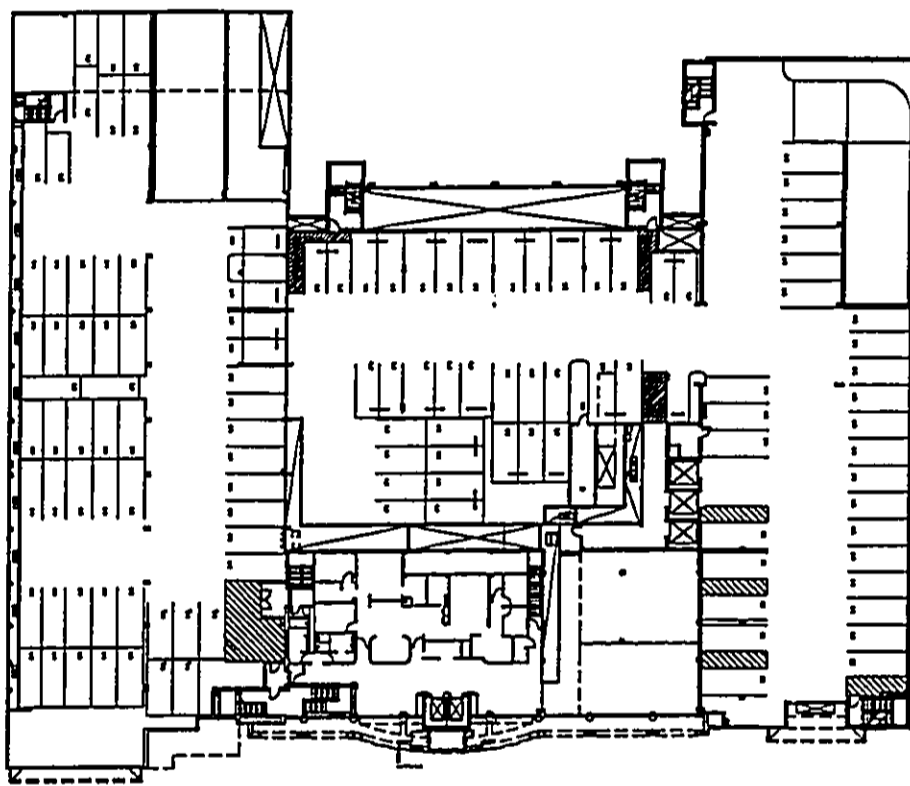
PARKING STALLS PROVIDED
GROUND FLOOR

COMPACT (EXISTING)	.....	39 STALLS (10 ARE TANDEM)
STANDARD (EXISTING)	.....	8 STALLS (2 ARE TANDEM)
HANDICAP (EXISTING)	.....	1 STALL (VAN ACCESSIBLE)
TOTAL (EXISTING)		<u>48 STALLS (12 ARE TANDEM)</u>
LOADING (EXISTING)	2 - (8'-6"x19')	<u>2 SPACES</u>

ING STALLS PROVIDED: BASEMENT & GROUND FLOORS

Sheet:

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MEZZANINE FLOOR

PARKING STALLS PROVIDED

MEZZANINE FLOOR

COMPACT (EXISTING)	22 STALLS (5 ARE TANDEM)
STANDARD (EXISTING)	93 STALLS (22 ARE TANDEM)
HANDICAP (EXISTING)	6 STALLS
TOTAL (EXISTING)	<u>121 STALLS (27 ARE TANDEM)</u>

S = STANDARD 8'-3"x18'-0" PER 1997 LAND USE ORDINANCE (5 STALLS)

Project:

DFS WAIKIKI ROOFTOP EXPANSION

Title:

PARKING STALLS PROVIDED: MEZ

Project No.:

98066

Date:

10/29/98

KING STALLS PROVIDED: MEZZANINE FLOOR

Sheet:

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PARKING CALCULATIONS AND REQUIREMENTS

FLOOR AREA CALCULATIONS

EXISTING DFS WAIKIKI (PROJECT # 88-86):
 FLOOR AREA 110,523.2 S.F.
 BASEMENT FLOOR AREA 10,014.2 S.F.
 ROOFTOP LANAI (AREA TO BE INCLUDED WITH PROPOSED ROOF TOP EXPANSION) -1,288.0 S.F. (DEDUCT)
 TOTAL FLOOR AREA 120,537.4 S.F.

GROUND FLOOR MODIFICATION (PROJECT # 93-19): 8,010.6 S.F.

EXISTING DFS WAIKIKI (PROJECT # 94-80)
 FLOOR AREA 43,819.0 S.F.
 BASEMENT FLOOR AREA 1,330.0 S.F.
 TOTAL FLOOR AREA 45,149.0 S.F.

SUMMARY

EXISTING DFS WAIKIKI (PROJECT # 88-86): 120,537.4 S.F.
 GROUND FLOOR MODIFICATION (PROJECT # 93-19): 8,010.6 S.F.
 EXISTING DFS WAIKIKI (PROJECT # 94-80) 45,149.0 S.F.
 EXISTING FACADE (PROJECT # 97118) 1,720.5 S.F.
 PROPOSED DFS ROOF TOP EXPANSION PHASE-1 (PROJ.# 98-66) 175,417.5 S.F.
 PROPOSED DFS ROOF TOP EXPANSION PHASE-2 (PROJ.# 98-66) 8132.25 S.F.
 PROPOSED DFS ROOF TOP EXPANSION PHASE-2 (PROJ.# 98-66) 5512.75 S.F.
 TOTAL 13,645.0 S.F.
 TOTAL FLOOR AREA 190,350.5 S.F.

PARKING STALLS REQUIRED:

$\frac{183,549.75 \text{ S.F.}}{800} = 229.43 \text{ PARKING STALLS} \dots\dots = 230 \text{ PARKING STALLS (PHASE -1)}$
 $\frac{190,350.5 \text{ S.F.}}{800} = 237.9 \text{ PARKING STALLS} \dots\dots = 238 \text{ PARKING STALLS (PHASE 1 AND 2)}$

PARKING STALL TYPES REQUIRED: (BASED ON 221 STALLS)

AT LEAST 60% STANDARD, NO MORE THAN 40% COMPACT:
 COMPACT 88 STALLS 40%
 STANDARD (INCLUDING HANDICAP) 133 STALLS 60%
 TANDEM -NO MORE THAN 25% OF TOTAL NO. OF STALLS 55 STALLS

HANDICAP STALLS REQUIRED:

FOR 200 - 300 STALLS = 7 HANDICAP STALLS

LOADING SPACES REQUIRED:

176,705.5 S.F.
 - 60,000.00 S.F.(FOR FIRST 60,000 S.F.) 4 SPACES
 116,705.5 S.F.
 $\frac{116,705.5 \text{ S.F.}}{50000} = 2.3 \text{ SPACES} \dots\dots = 2 \text{ SPACES}$
 TOTAL LOADING SPACES REQUIRED 6 SPACES

PARKING STALLS PROVIDED

SEE PLANS BELOW

BASEMENT
 BASEMENT TOTAL

GROUND FLOOR
 GROUND FLOOR TOTAL

MEZZANINE FLOOR
 MEZZANINE FLOOR TOTAL

TOTAL PARKING STALLS PROVIDED

VARIANCE APPROVED
 7-02-96 (CASE NO.)

TOTAL PARKING ACCOMMODATED

TOTAL PARKING STALL SIZES

COMPACT
 STANDARD W/ 7 HA
 TOTAL

TANDEM STALLS

HANDICAP STALLS PROVIDED

GROUND FLOOR HANDICAP
 MEZZANINE FLOOR HANDICAP

TOTAL HANDICAP STALLS PROVIDED

LOADING SPACE PROVIDED

BASEMENT LOADING
 GROUND FLOOR LOADING

TOTAL LOADING SPACES PROVIDED

VARIANCE REQUESTED

PARKING REQUIRED (TOTAL)
 EXISTING TOTAL PARKING PROVIDED

VARIANCE REQUESTED

PARKING REQUIRED (TOTAL)
 EXISTING TOTAL PARKING PROVIDED

VARIANCE REQUESTED

Project:

DFS WAIKIKI ROOFTOP EXPANSION

Title:

PARKING CALCULATIONS AND REQUIREMENTS
 STALLS PROVIDED, LOADING SPACES

Project No.:

98066

Date:

10/29/98

PARKING STALLS PROVIDED

SEE PLANS BELOW

BASEMENT

BASEMENT TOTAL 37 STALLS

GROUND FLOOR

GROUND FLOOR TOTAL 48 STALLS

MEZZANINE FLOOR

MEZZANINE FLOOR TOTAL 121 STALLS

TOTAL PARKING STALLS PROVIDED

206 STALLS

VARIANCE APPROVED

7-02-96 (CASE NO. 96/VAR-20)

15 STALLS WAIVED

TOTAL PARKING ACCOUNTED FOR (206 + 15)

221 STALLS

TOTAL PARKING STALL SIZES PROVIDED: (BASED ON 207 STALLS)

COMPACT 74 STALLS 36%

STANDARD W/ 7 HANDICAP STALLS 132 STALLS 64%

TOTAL 206 STALLS

TANDEM STALLS

48 STALLS 23%

HANDICAP STALLS PROVIDED

GROUND FLOOR HANDICAP (VAN ACCESSIBLE) 1 STALLS

MEZZANINE FLOOR HANDICAP 6 STALLS

TOTAL HANDICAP SPACES PROVIDED 7 STALLS

LOADING SPACE PROVIDED

BASEMENT LOADING (EXISTING) 3 (12'x35') + 1 (8'-6"x22') = 4 SPACES

GROUND FLOOR LOADING (NEW) 2 (8'-6"x19') = 2 SPACES

TOTAL LOADING SPACES PROVIDED 6 SPACES

VARIANCE REQUESTED FOR

PARKING REQUIRED (PHASE-1) 230 STALLS

EXISTING TOTAL PARKING ACCOUNTS FOR - 221 STALLS

VARIANCE REQUESTED FOR 9 STALLS

PARKING REQUIRED (PHASE 1 AND 2) 238 STALLS

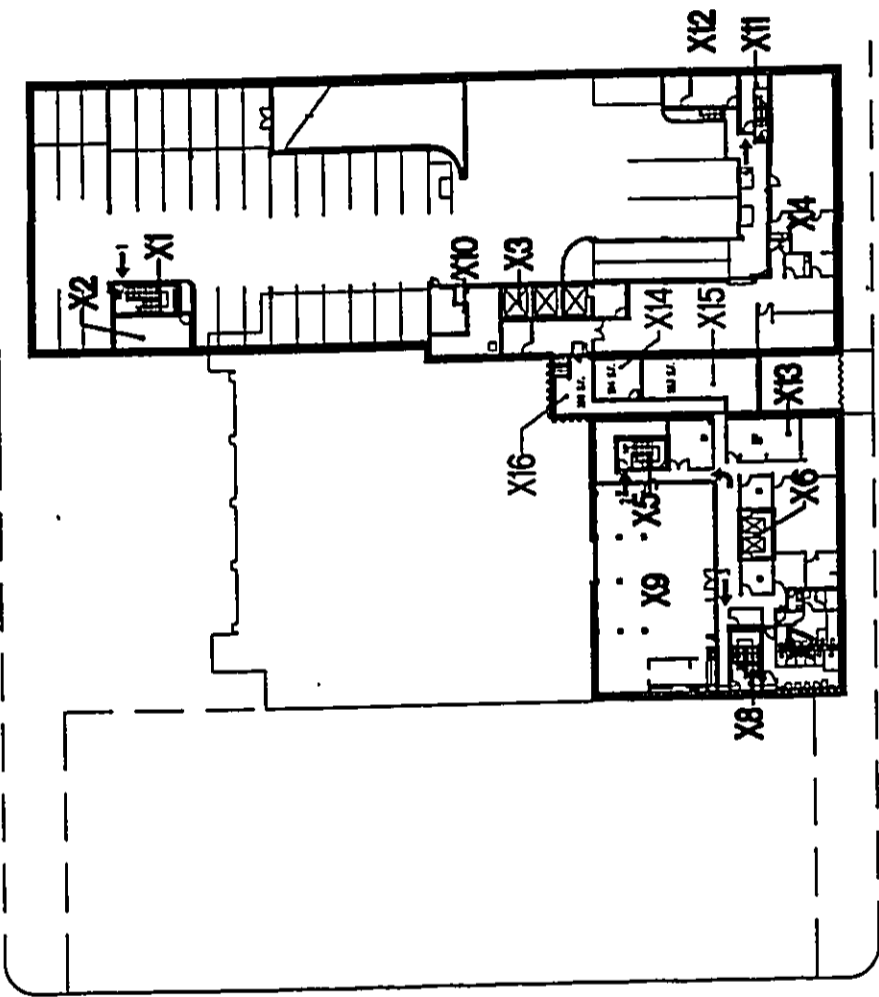
EXISTING TOTAL PARKING ACCOUNTS FOR - 221 STALLS

VARIANCE REQUESTED FOR 17 STALLS

NG CALCULATIONS AND REQUIREMENTS, PARKING STALLS PROVIDED, HANDICAP
S PROVIDED, LOADING SPACE PROVIDED, VARIANCE REQUESTED FOR

Sheet:

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BASEMENT FLOOR

OCCUPANT LOAD CALCULATIONS

SPACE NO.	USE	STAIR WIDTH	STAIR DOOR WIDTH	AREA	OCCUPANT LOAD FACTOR	OCCUPANCY
X1	STAIRS	4'-0"	3'-0"	221 SQ. FT.		
X2	MECH. EQUIP. RM.			295	300	1
X3	ELEVATORS			351		
X4	OFFICES			3,692	100	37
X5	STAIRS	4'-0"	3'-0"	179		
X6	ELEVATORS			179		
X7	RESTROOMS			828		
X8	STAIRS	4'-0"	3'-0"	234		
X9	LOUNGE			2,683	15	179
X10	MECH. EQUIP. RM.			551	300	2
X11	STAIRS	4'-0"	3'-0"	228		
X12	STORAGE			296	300	1
X13	OFFICES			3,161	100	32
X14	OFFICE			214 SQ. FT.	100	3
X15	OFFICE			553	100	6
X16	CORRIDOR			460	100	5
TOTAL		16'-0"	12'-0"	14,125 SQ. FT.		266

Project: DFS WAIKIKI ROOFTOP EXPANSION

Title: BASEMENT FLOOR

Project No.: 98066

Date: 10/29/98

Scale:

MENT FLOOR

X10	MECH. EQUIP. RM.				551			300	2
X11	STAIRS	4'-0"	3'-0"		228				
X12	STORAGE				296			300	1
X13	OFFICES				3,161			100	32
X14	OFFICE				214 SQ. FT.			100	3
X15	OFFICE				553			100	6
X16	CORRIDOR				460			100	5

TOTAL 16'-0" 12'-0" 14,125 SQ. FT. 266

EXIT REQUIREMENTS		OCCUPANCY
OCCUPANT LOADS		
THIS FLOOR		266
FIRST ADJACENT FLOOR ABOVE X 50%		0
FIRST ADJACENT FLOOR BELOW X 50%		0
(WHEN IT EXISTS THRU THIS FLOOR)		
STORY IMMEDIATELY BEYOND		
THE FIRST ADJACENT STORY X 25%		0

TOTAL 266

NUMBER OF EXITS REQUIRED BASED ON OCCUPANCY OF 0-501 MIN. OF 2 EXITS

NUMBER OF EXITS PROVIDED 5

NUMBER OF EXITS FROM BASEMENT (X5+X8) 2

NUMBER OF EXITS FROM EXISTING PARKING AREA (X1+X11) 2

EXIT WIDTH CALCULATION (BASEMENT FLOOR) 266 X 0.30 79.8 INCHES

FOR STAIRWAYS (O.L. X 0.3) 6.65 FEET

STAIRWAY EXIT WIDTH PROVIDED (X1+X5+X8+X11+N2) 21 FEET

OCCUPANT LOAD 14,276 200 71.38

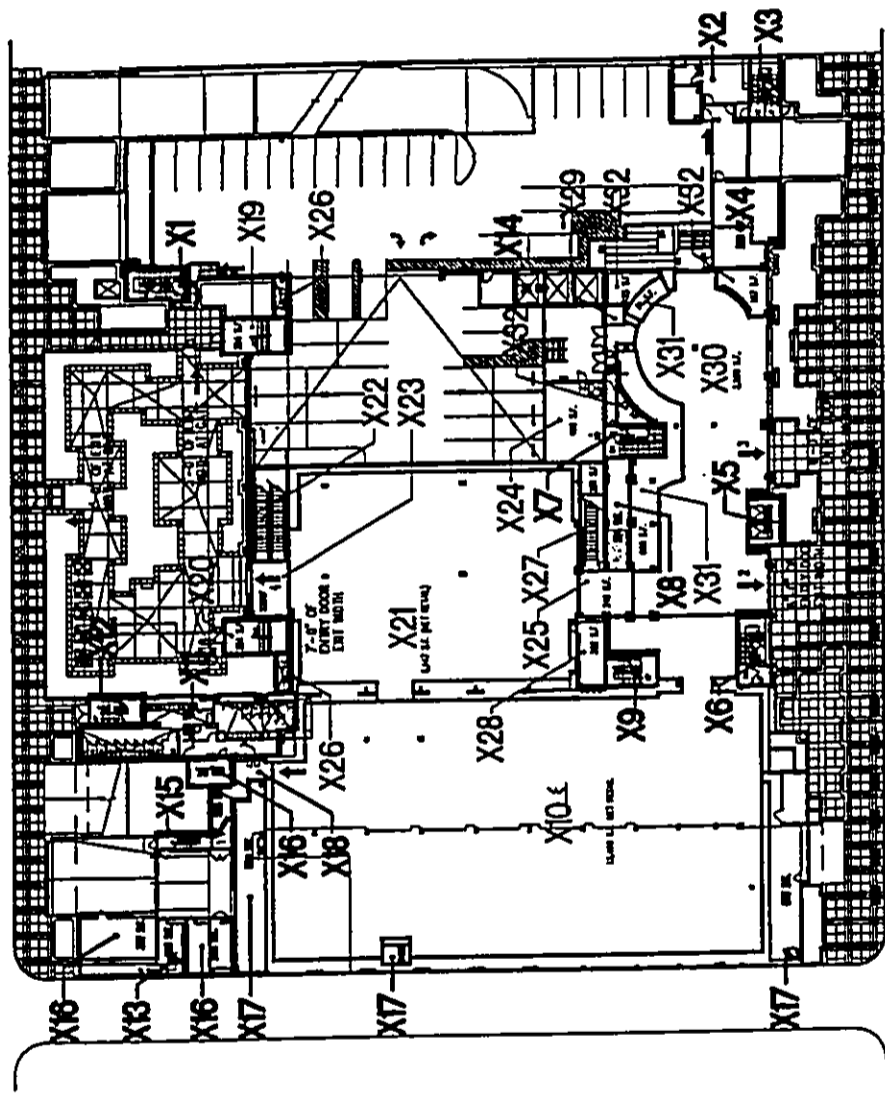
PARKING AREAS

EXIT WIDTH CALCULATION (PARKING AREA) 71.38 X 0.30 21.41 INCHES

FOR STAIRWAYS (O. L. X 0.3) 1.78 FEET

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GROUND FLOOR

OCCUPANT LOAD CALCULATIONS

SPACE NO.	USE	STAIR WIDTH	STAIR DOOR WIDTH	AREA	OCCUPANT LOAD FACTOR	OCCUPANCY
X1	STAIRS	4'-0"	3'-0"	211 SQ. FT.		
X2	RESTROOMS			444		
X3	STAIRS	4'-0"	3'-0"	209	300	2
X4	MECH. EQUIP. RM.			586		
X5	ELEVATORS	4'-0"	3'-6"	183		
X6	STAIRS	4'-0"	3'-0"	256	100	3
X7	STAIRS	4'-0"	3'-0"	203		
X8	WORKROOM			274		
X9	STAIRS	4'-0"	3'-0"	162	30	450
X10	RETAIL			13,499		
X11	RESTROOMS			1,128		
X12	STAIRS	8'-0"	PR. 3'-0"	168		
X13	STAIRS	4'-0"	3'-0"	293		
X14	ELEVATORS	4'-6"	3'-0"	468		
X15	STAIRS	4'-6"	3'-0"	98		
X16	MECH./ELEC. ROOM			771	300	3
X17	STOCK ROOM/FIT. RM.			1,325	300	5
X18	CORRIDOR			253	100	3
X19	STAIRS	5'-0"	3'-0"	254 SQ. FT.		
X20	STAIRS	5'-0"	3'-0"	254		
X21	RETAIL			6,147	30	205
X22	ESCALATOR			375	100	3
X23	VESTIBULE			222	300	1
X24	MECH. ROOM			499		

Project:

DFS WAIKIKI ROOFTOP EXPANSION

Title:

GROUND FLOOR

Project No.:

98066

Date:

10/29/98

Scale:

ND FLOOR

		4'-0"	3'-0"		30	450
X9	STAIRS			162		
X10	RETAIL			13,499		
X11	RESTROOMS			1,128		
X12	STAIRS	8'-0"	PR. 3'-0"	168		
X13	STAIRS	4'-0"	3'-0"	293		
X14	ELEVATORS			468		
X15	STAIRS	4'-6"	3'-0"	98		
X16	MECH./ELEC. ROOM			771	300	3
X17	STOCK ROOM/FT. RUL.			1,325	300	5
X18	CORRIDOR			253	100	3
X19	STAIRS	5'-0"	3'-0"	254 SQ. FT.		
X20	STAIRS	5'-0"	3'-0"	254		
X21	RETAIL			6,147	30	205
X22	ESCALATOR			375		
X23	VESTIBULE			222	100	3
X24	MECH. ROOM			499	300	1
X25	VESTIBULE			249	100	3
X26	MECH. SHAFTS			128		
X27	ESCALATOR			261		
X28	ELEC. ROOM			202	300	1
X29	CORRIDOR			195	100	2
X30	LOBBY			3,580	15	239
X31	OFFICES			776	100	8
X32	STORAGE			357	300	2
TOTAL		46'-6"	33'-6"	34,030 SQ. FT.		930

EXIT REQUIREMENTS OCCUPANCY

OCCUPANT LOADS	OCCUPANCY
THIS FLOOR	930
FIRST ADJACENT FLOOR ABOVE X 50% (MEZZANINE)	168 X 0.50
FIRST ADJACENT FLOOR BELOW X 50% (BASEMENT)	266 X 0.50
(WHEN IT EXISTS THRU THIS FLOOR)	133
STORY IMMEDIATELY BEYOND	
THE FIRST ADJACENT STORY X 25% (KALJA)	1,310 X 0.25
	328

TOTAL	1,475
NUMBER OF EXITS REQUIRED BASED ON OCCUPANCY OF OVER 1,000	MIN. OF 4 EXITS
NUMBER OF EXITS PROVIDED	5

EXIT WIDTH CALCULATION (GROUND LEVEL)	
FOR OTHER EXITS (O. L. X 0.2)	930 X 0.20
	186 INCHES
	15.5 FEET

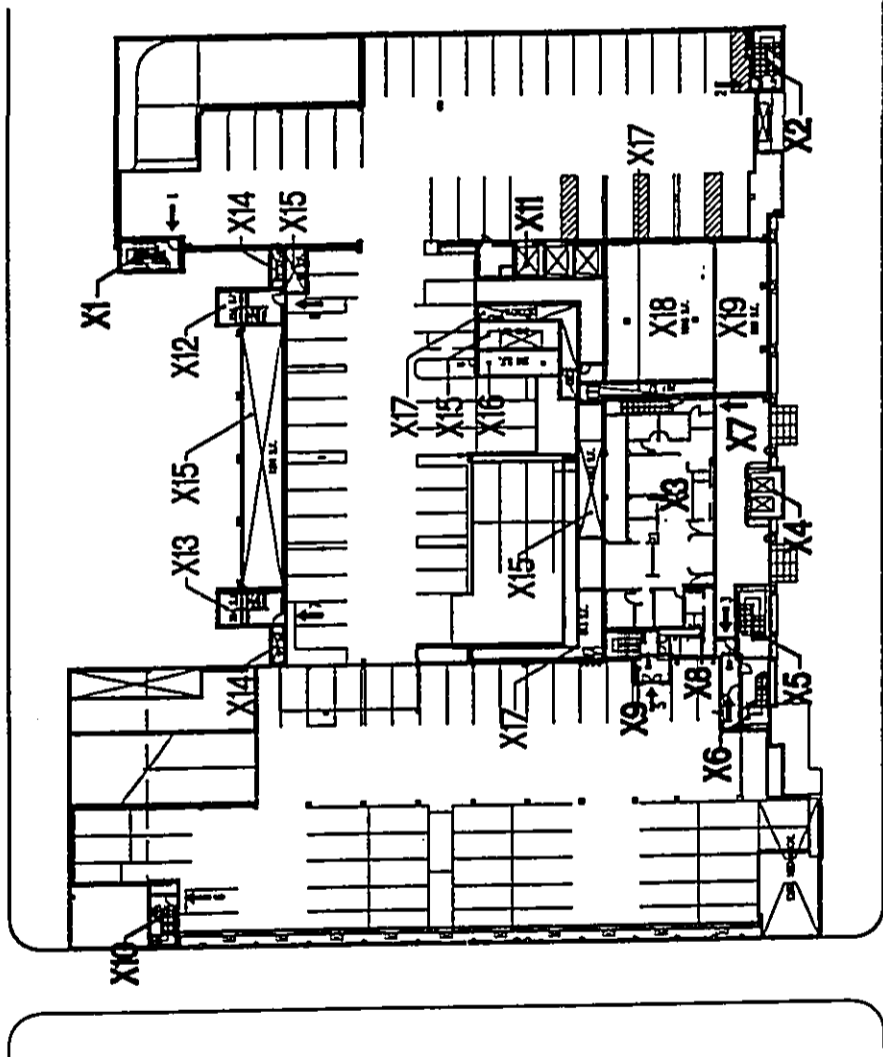
STAIRWAY AND DOOR EXIT WIDTH PROVIDED (X15 + 6' DR + 6' DR + 3' DR + 3' DR)	22.5 FEET
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OCCUPANT LOAD GARAGE	13,824	200	69.12
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EXIT WIDTH CALCULATION (GARAGE)	
FOR STAIRWAYS (O. L. X 0.3)	69.12 X 0.30
	20.74 INCHES
	1.73 FEET

Sheet:

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MEZZANINE FLOOR

OCCUPANT LOAD CALCULATIONS

SPACE NO.	USE	STAIR WIDTH	STAIR DOOR WIDTH	AREA	OCCUPANT LOAD FACTOR	OCCUPANCY
X1	STAIRS	4'-0"	3'-0"	211 SQ. FT.		
X2	STAIRS	4'-0"	3'-0"	221	100	26
X3	OFFICES			2,584		
X4	ELEVATOR			183		
X5	STAIRS	4'-0"	3'-0"	256		
X6	STAIRS	4'-0"	3'-0"	215		
X7	LOUNGE			1,048	15	70
X8	RESTROOMS			309		
X9	STAIRS	4'-0"	PR. 3'-0"	274		
X10	STAIRS	4'-0"	3'-0"	191		
X11	ELEVATOR			465		
X12	STAIRS	5'-0"	3'-0"	254 SQ. FT.		
X13	STAIRS	5'-0"	3'-0"	254		
X14	MECH. SHAFTS			128		
X15	ESCALATOR			2,047		
X16	ELEC. ROOM			218	300	1
X17	MECH. SHAFTS			1,156		
X18	OFFICE			1,615	100	17

Project: DFS WAIKIKI ROOFTOP EXPANSION

Title: MEZZANINE FLOOR

Project No.: 98066

Date: 10/29/98

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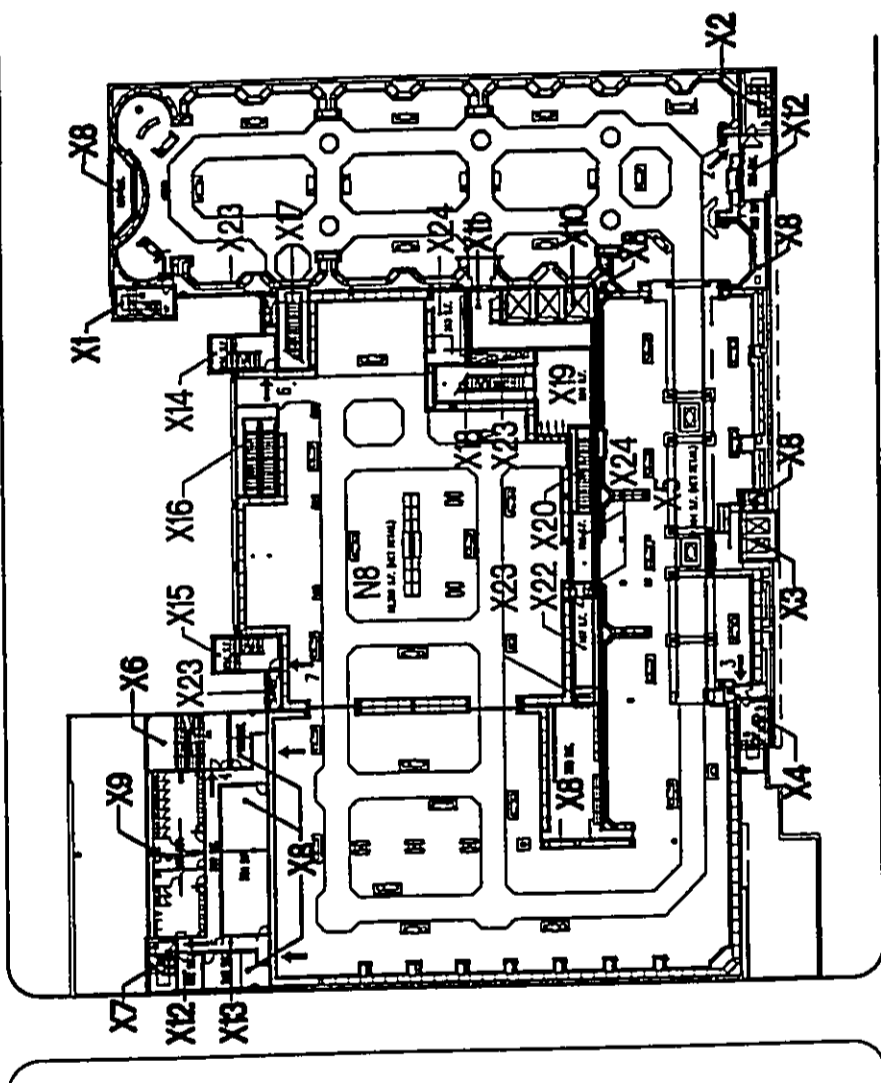
ANINE FLOOR

X4	ELEVATOR	4'-0"	3'-0"	183		
X5	STAIRS	4'-0"	3'-0"	256		
X6	STAIRS	4'-0"	3'-0"	215		
X7	LOUNGE			1,048	15	70
X8	RESTROOMS			309		
X9	STAIRS	4'-0"	PR. 3'-0"	274		
X10	STAIRS	4'-0"	3'-0"	191		
X11	ELEVATOR			485		
X12	STAIRS	5'-0"	3'-0"	254 SQ. FT.		
X13	STAIRS	5'-0"	3'-0"	254		
X14	MECH. SHAFTS			128		
X15	ESCALATOR			2,047		
X16	ELEC. ROOM			218	300	1
X17	MECH. SHAFTS			1,156		
X18	OFFICE			1,615	100	17
X19	LOUNGE			806	15	54
TOTAL		34'-0"	27'-0"	10,984 SQ. FT.		168

EXIT REQUIREMENTS	OCCUPANCY
OCCUPANT LOADS	
THIS FLOOR	168
FIRST ADJACENT FLOOR ABOVE X 50% (KALIA)	1310 X 0.50
FIRST ADJACENT FLOOR BELOW X 50% (GROUND)	655
(WHEN IT EXISTS THRU THIS FLOOR)	0
STORY IMMEDIATELY BEYOND	
THE FIRST ADJACENT STORY X 25% (DUTY FREE)	1355 X 0.25
339	
TOTAL	1,162
NUMBER OF EXITS REQUIRED BASED ON OCCUPANCY OF OVER 1,000	MIN. OF 4 EXITS
NUMBER OF EXITS PROVIDED	8
EXIT WIDTH CALCULATION (MEZZANINE FLOOR) FOR STAIRWAYS (O. L. X 0.3)	168 X 0.30
	50 INCHES
	5 FEET
STAIRWAY EXIT WIDTH PROVIDED (X1+X2+X5+X6+X9+X10+X11+X2)	33 FEET
OCCUPANT LOAD PARKING AREA	200
181.61	
EXIT WIDTH CALCULATION (PARKING AREA) FOR STAIRWAYS (O. L. X 0.3)	181.61 X 0.30
	54.48 INCHES
	4.54 FEET

Sheet

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KALIA FLOOR

OCCUPANT LOAD CALCULATIONS

SPACE NO.	USE	STAIR WIDTH	STAIR DOOR WIDTH	AREA	OCCUPANT LOAD FACTOR	OCCUPANCY
X1	STAIRS	4'-0"	3'-0"	211 SQ. FT.		
X2	STAIRS	4'-0"	3'-0"	209		
X3	ELEVATORS	4'-0"	3'-0"	183		
X4	STAIRS	4'-0"	3'-0"	253	30	934
X5	RETAIL	8'-0" PR.	3'-0"	27,994		
X6	STAIRS	4'-0"	3'-0"	482		
X7	STAIRS	4'-0"	3'-0"	163	300	8
X8	STORAGE/STOCKRM.			2,372		
X9	RESTROOMS			979		
X10	ELEVATORS			351	100	9
X11	CORRIDOR			852	300	2
X12	ELEC. EQUIP. RM.			317	100	6
X13	CORRIDOR			560		
X14	STAIRS	5'-0"	3'-0"	284 SQ. FT.		

Project: DFS WAIKIKI ROOFTOP EXPANSION

Title: KALIA FLOOR

Project No.: 98066

Date: 10/29/98

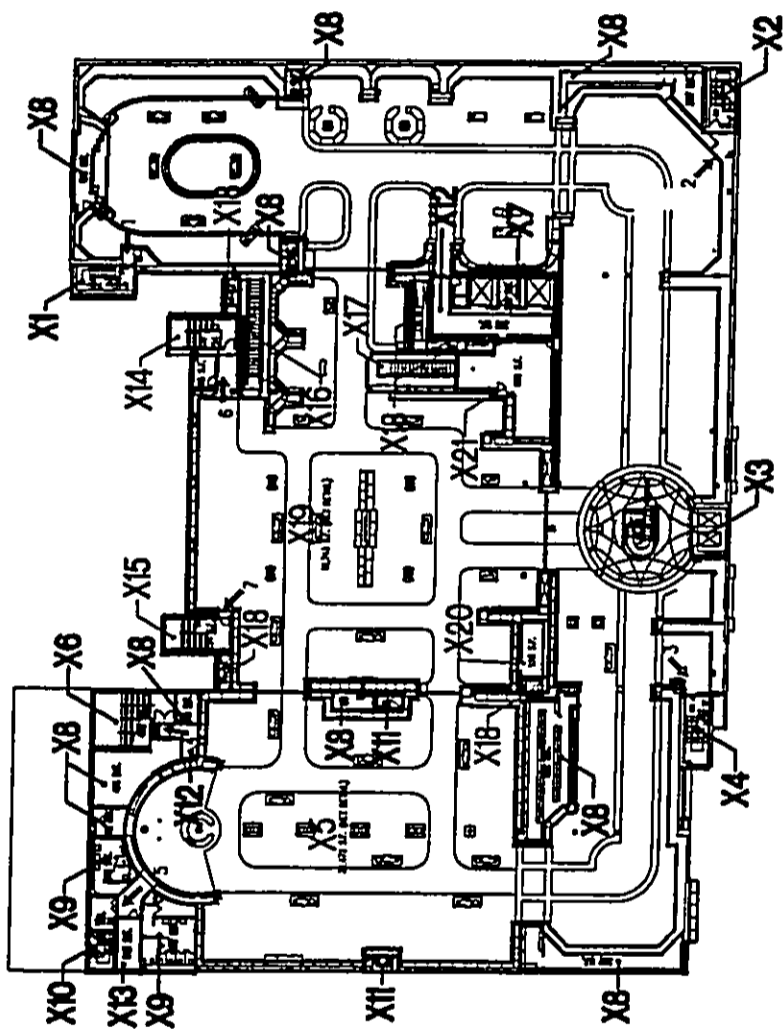
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SPACE NO.	USE	WIDTH	WIDTH	AREA	FACTOR	OCCUPANCY
X1	STAIRS	4'-0"	3'-0"	211 SQ. FT.		
X2	STAIRS	4'-0"	3'-0"	209		
X3	ELEVATORS	4'-0"	3'-0"	183		
X4	STAIRS	4'-0"	3'-0"	253		30
X5	RETAIL			27,994		934
X6	STAIRS	8'-0" PR.	3'-0"	482		
X7	STAIRS	4'-0"	3'-0"	163		8
X8	STORAGE/STOCK			2,372		300
X9	RESTROOMS			979		
X10	ELEVATORS			351		
X11	CORRIDOR			852		100
X12	ELEC. EQUIP. RM.			317		300
X13	CORRIDOR			560		100
X14	STAIRS	5'-0"	3'-0"	254 SQ. FT.		
X15	STAIRS	5'-0"	3'-0"	254		
X16	ESCALATOR			389		
X17	ESCALATOR			270		
X18	ESCALATOR			384		
X19	VESTIBULE			504		100
X20	ESCALATOR			195		
X21	RETAIL			10,259		342
X22	ELEC. EQUIP. RM.			187		300
X23	MECH. SHAFTS			268		
X24	FITTING RM./STOCK			464		300
TOTAL		34'-0"	24'-0"	48,354 SQ. FT.		1,310
EXIT REQUIREMENTS						
OCCUPANT LOADS						
THIS FLOOR						
FIRST ADJACENT FLOOR ABOVE X 50% (DUTY FREE)						
FIRST ADJACENT FLOOR BELOW X 50% (MEZZANINE)						
(WHEN IT EXISTS THRU THIS FLOOR)						
STORY IMMEDIATELY BEYOND						
THE FIRST ADJACENT STORY X 25% (ROOF)						
TOTAL						2,038
NUMBER OF EXITS REQUIRED BASED ON OCCUPANCY OF OVER 1,000						
MIN. OF 4 EXITS						
NUMBER OF EXITS PROVIDED						
7						
EXIT WIDTH CALCULATION (KALIA FLOOR)						
FOR STAIRWAYS (O. L. X 0.3)						
1,310 X 0.30						
393 INCHES						
32.75 FEET						
EXIT WIDTH PROVIDED (X1+X2+X4+X6+X7+H1+H2)						
34 FEET						

FLOOR

Sheet:

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DUTY FREE FLOOR

OCCUPANT LOAD CALCULATIONS

SPACE NO.	USE	STAIR WIDTH	STAIR DOOR WIDTH	AREA	OCCUPANT LOAD FACTOR	OCCUPANCY
X1	STAIRS	4'-0"	3'-0"	211 SQ. FT.		
X2	STAIRS	4'-0"	3'-0"	209		
X3	ELEVATORS			183		
X4	STAIRS	4'-0"	3'-0"	222		
X5	RETAIL			29,323	30	978
X6	STAIRS	8'-0" PR.	3'-0"	439		
X7	ELEVATORS			398		
X8	STORAGE/STOCK F.R.			2323	300	8
X9	RESTROOMS			649		
X10	STAIRS	4'-0"	3'-0"	253		
X11	SHAFTS			98		
X12	CORRIDOR			488	100	5
X13	ELEC. EQUIP. RM.			148	300	1
X14	STAIRS	5'-0"	3'-0"	254 SQ. FT.		
X15	STAIRS	5'-0"	3'-0"	254		
X16	ESCALATOR			249		
X17	ESCALATOR			335		
X18	SHAFT			382		
X19	RETAIL			10,743	30	359
X20	ELEC. EQUIP. RM.					
X21						

Project:

DFS WAIKIKI ROOFTOP EXPANSION

Title:

DUTY FREE FLOOR

Project No.:

98066

Date:

10/29/98

Scale:

FREE FLOOR

Sheet
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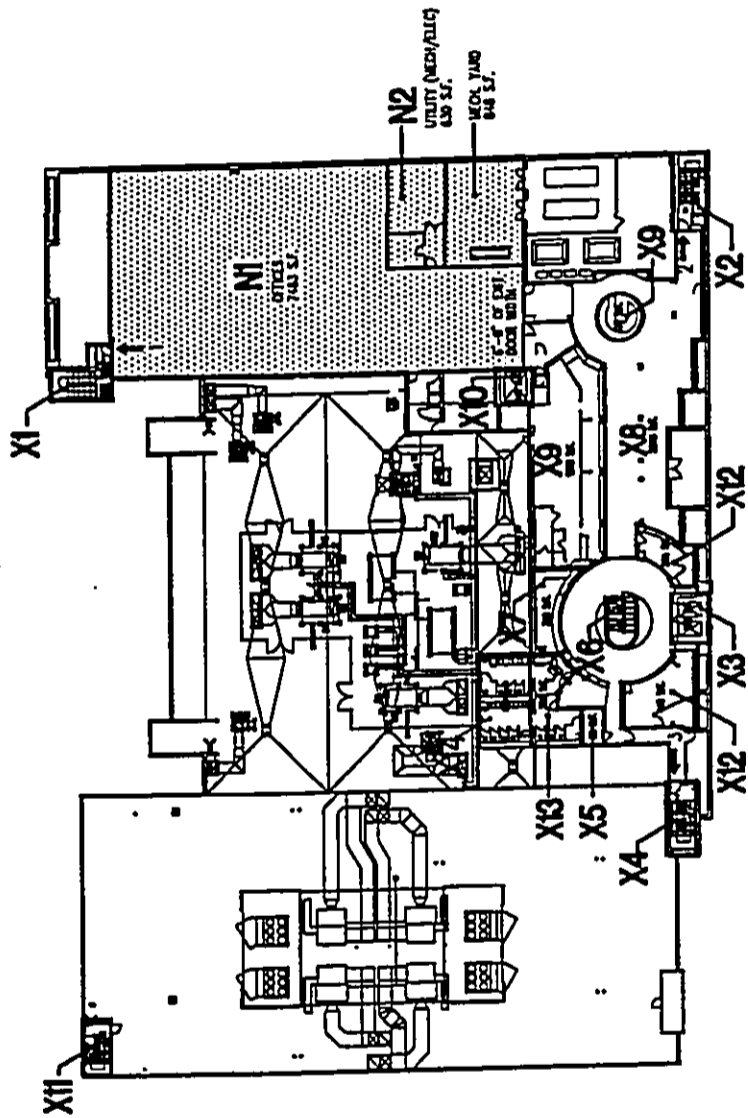
NO.	DESCRIPTION	WIDTH	DEPTH	AREA	PER. REQ.	AREA	PER. REQ.
X4	STAIRS	4'-0"	3'-0"	222			
X5	RETAIL			29,323	30		978
X6	STAIRS	8'-0"	PR. 3'-0"	439			
X7	ELEVATORS			398			
X8	STORAGE/STOCK/F.R.			2323	300		8
X9	RESTROOMS			649			
X10	STAIRS	4'-0"	3'-0"	253			
X11	SHAFTS			98			
X12	CORRIDOR			488	100		5
X13	ELEC. EQUIP. RM.			148	300		1
X14	STAIRS	5'-0"	3'-0"	254 SQ. FT.			
X15	STAIRS	5'-0"	3'-0"	254			
X16	ESCALATOR			249			
X17	ESCALATOR			335			
X18	SHAFT			382			
X19	RETAIL			10,743	30		359
X20	ELEC. EQUIP. RM.			158	300		1
X21	FITTING RM./STOCK RM.			665	300		3
TOTAL		34'-0"	24'-0"	47,984 SQ. FT.			1,355

EXIT REQUIREMENTS	OCCUPANCY
OCCUPANT LOADS	
THIS FLOOR	1,355
FIRST ADJACENT FLOOR ABOVE X 50% (ROOF)	99
FIRST ADJACENT FLOOR BELOW X 50% (KALUA)	0
(WHEN IT EXISTS THRU THIS FLOOR)	
STORY IMMEDIATELY BEYOND	0
THE FIRST ADJACENT STORY X 25%	

TOTAL	1,454
NUMBER OF EXITS REQUIRED BASED ON OCCUPANCY OF OVER 1,000	MIN. OF 4 EXITS
NUMBER OF EXITS PROVIDED	7

EXIT WIDTH CALCULATION (DUTY FREE FLOOR) FOR STAIRWAYS (O. L. X 0.3)	1,355 X 0.30	406.5 INCHES 33.88 FEET
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EXIT WIDTH PROVIDED (X1+X2+X4+X6+X10+H1+H2)	34 FEET
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ROOF LEVEL

OCCUPANT LOAD CALCULATIONS

SPACE NO.	USE	STAIR WIDTH	STAIR DOOR WIDTH	AREA	OCCUPANT LOAD FACTOR	OCCUPANCY
X1	STAIRS	4'-0"	3'-0"	272 SQ. FT.		
X2	STAIRS	4'-0"	3'-0"	254		
X3	ELEVATOR			183		
X4	STAIRS	4'-0"	3'-0"	222		
X5	STORAGE			88	300	1
X6	STAIRS			149		
X7	RETAIL			322	30	11
X8	DINING AREA			2,840	15	189
X9	KITCHEN			1,796	200	9
X10	ELEVATOR			141		
X11	STAIRS	4'-0"	3'-0"	163	100	7
X12	OFFICES			670		
X13	RESTROOMS			399		
X14	RESTROOMS			528 SQ. FT.		

Project: DFS WAIKIKI ROOFTOP EXPANSION

Title: ROOF FLOOR

Project No.: 98066

Date: 10/29/98

Scale:

FLOOR

X1 STAIRS 4'-0" 3'-0" 272 SQ. FT.

X2 STAIRS 4'-0" 3'-0" 254

X3 ELEVATOR 183

X4 STAIRS 4'-0" 3'-0" 300 1

X5 STORAGE 88

X6 STAIRS 149

X7 RETAIL 322

X8 DINING AREA 2,840 11

X9 KITCHEN 1,796 189

X10 ELEVATOR 141 9

X11 STAIRS 4'-0" 3'-0" 100 7

X12 OFFICES 670

X13 RESTROOMS 399

X14 RESTROOMS 528 SQ. FT.

SUBTOTAL-EXISTING 21'-0" 15'-0" 7,564 SQ. FT. 217

N1 OFFICES 7483 SQ. FT. 100 75

N2 UTILITY (MECH/ELEC) 630 SQ. FT. 300 2

SUBTOTAL-NEW 8113 SQ. FT. 77

TOTAL 21'-0" 15'-0" 15,677 SQ. FT. 294

EXIT REQUIREMENTS

OCCUPANCY

OCCUPANT LOADS (O. L.)

THIS FLOOR 294

FIRST ADJACENT FLOOR ABOVE X 50% 0

FIRST ADJACENT FLOOR BELOW X 50% (DUTY FREE) 0

(WHEN IT EXISTS THRU THIS FLOOR)

STORY IMMEDIATELY BEYOND

THE FIRST ADJACENT STORY X 25% 0

TOTAL

NUMBER OF EXITS REQUIRED BASED ON OCCUPANCY OF 1-500 294

NUMBER OF EXITS PROVIDED

3

EXIT WIDTH CALCULATION FOR STAIRWAYS (O. L. X 0.3)

294 88.2 INCHES OR 7.35 FEET

EXIT WIDTH PROVIDED (X1+X2) ONLY

8 FEET

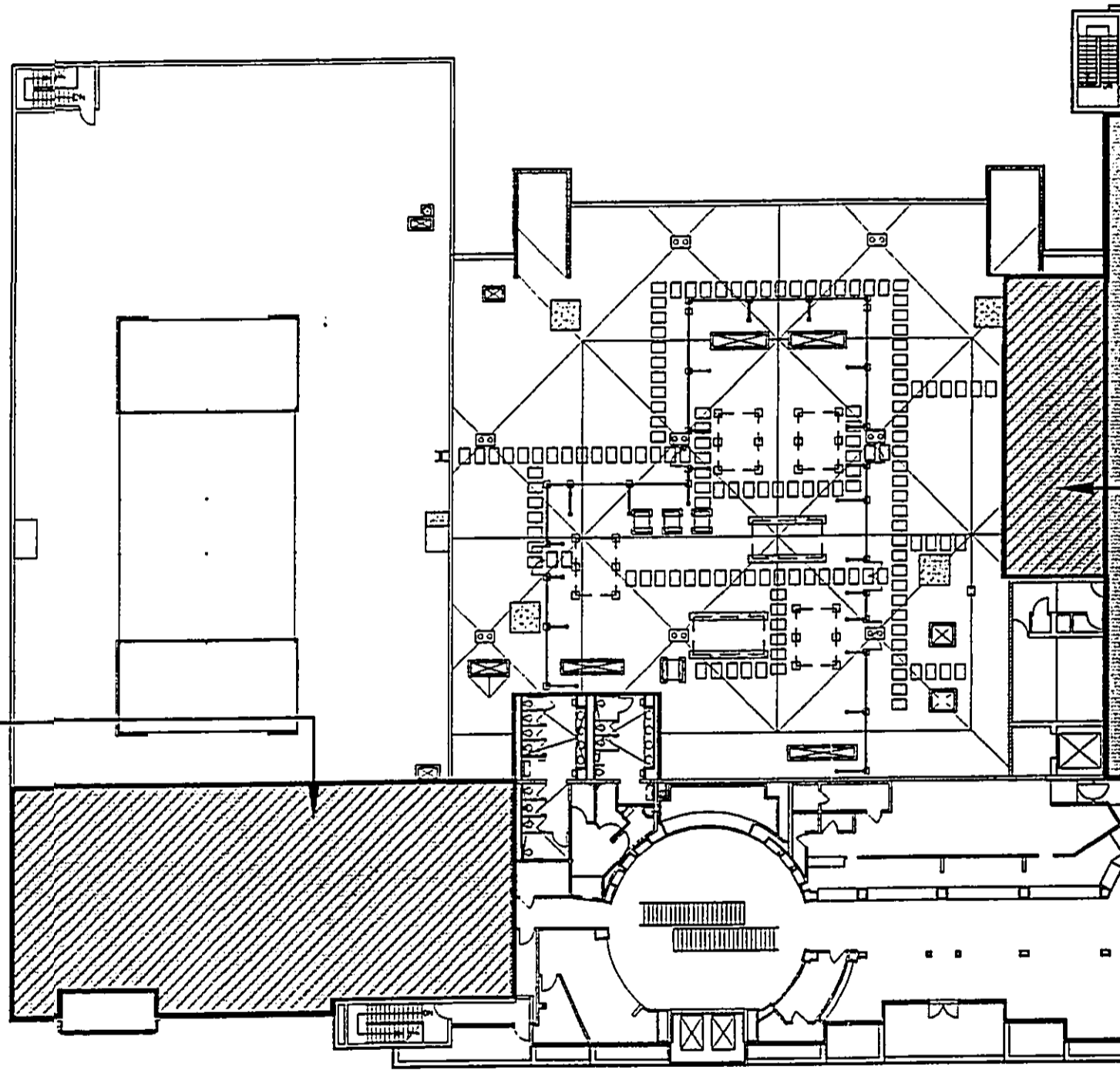
EXIT WIDTH PROVIDED (X1+X2+X4)

12 FEET

Sheet:

T-10

PHASE 2:
4,215 SQ. FT. NET



Project:

DFS WAIKIKI ROOFTOP EXPANSION

Title:

ROOF LEVEL FLOOR PLAN

Project No.:

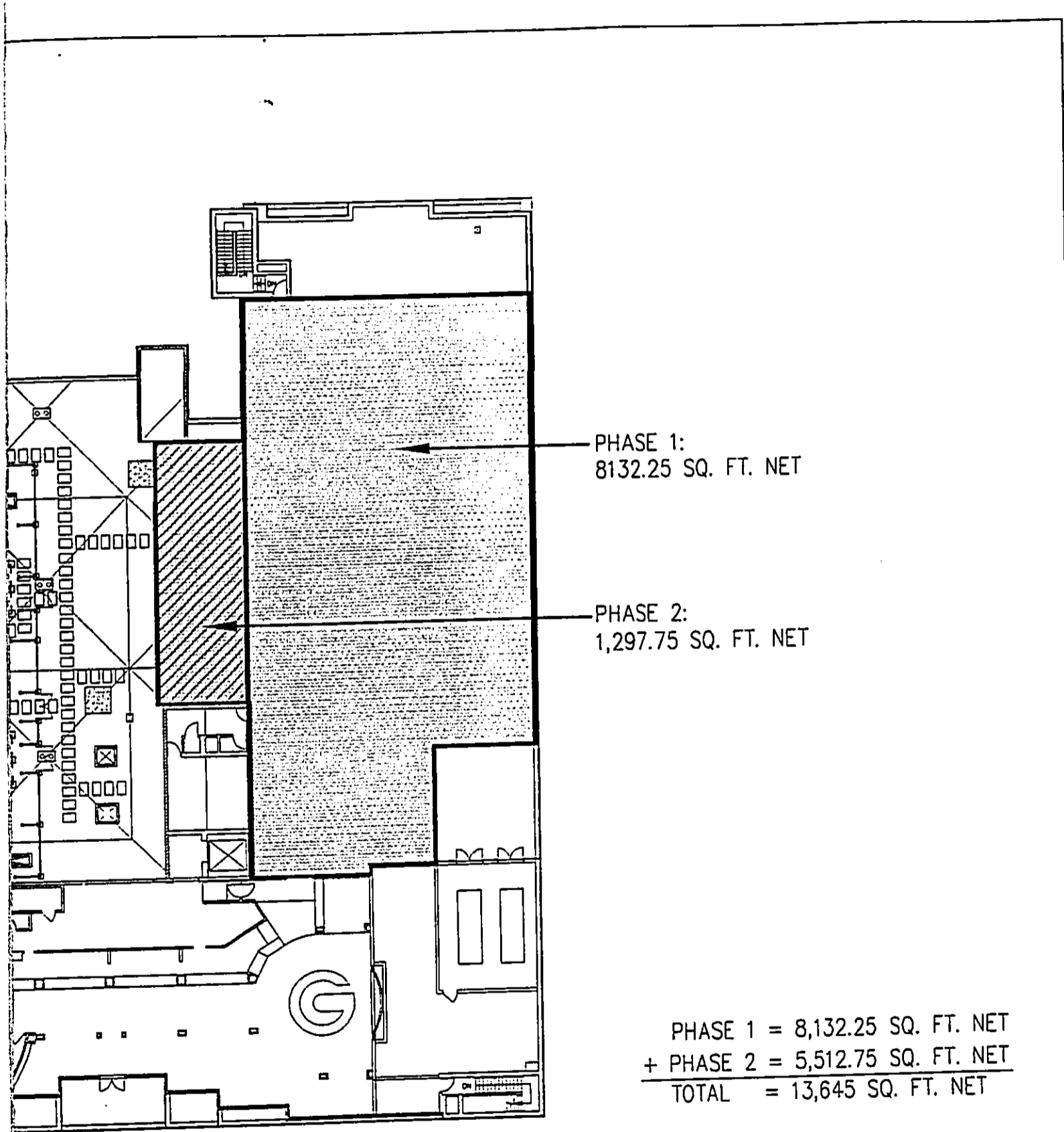
98066

Date:

10/29/98

Scale:

1"=30'-0"



PHASE 1:
8132.25 SQ. FT. NET

PHASE 2:
1,297.75 SQ. FT. NET

PHASE 1 = 8,132.25 SQ. FT. NET
 + PHASE 2 = 5,512.75 SQ. FT. NET

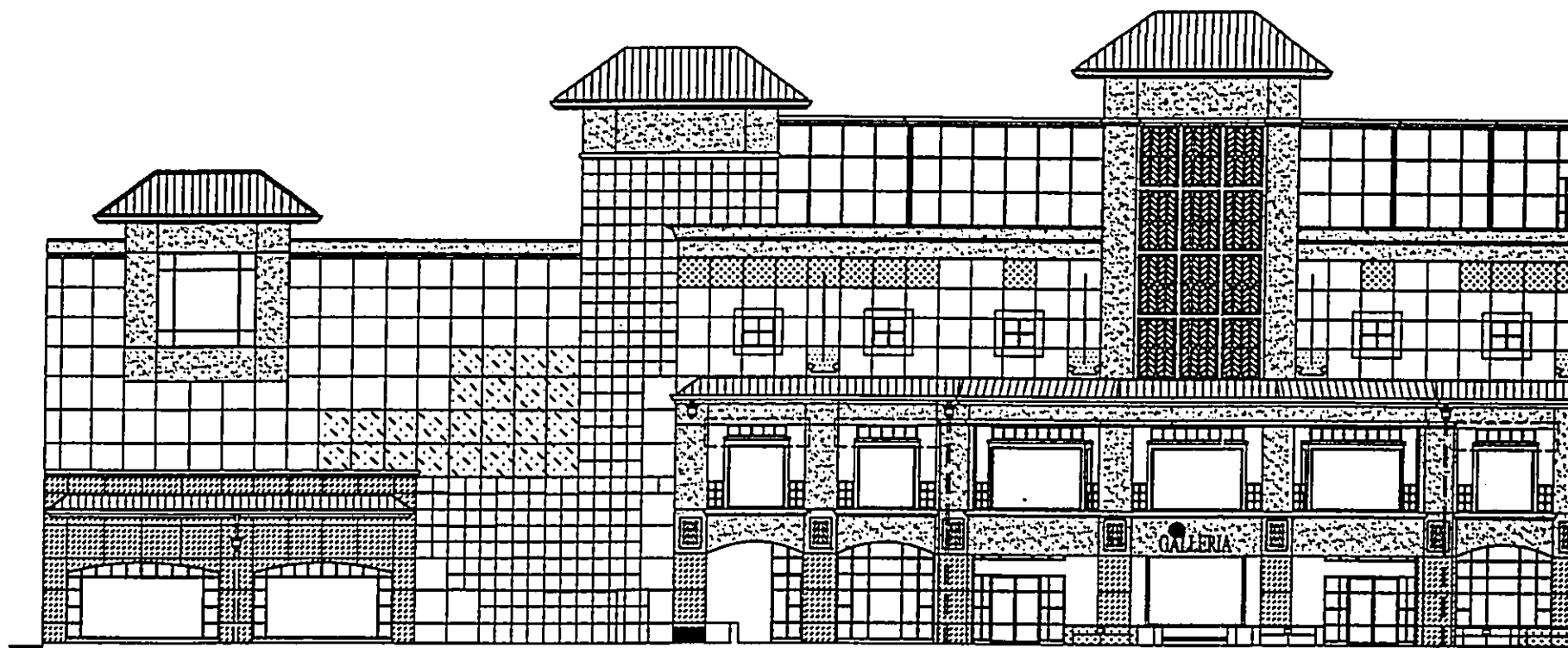
 TOTAL = 13,645 SQ. FT. NET

LEVEL FLOOR PLAN

0'-0"

Sheet:

A-1



Project:

DFS WAIKIKI ROOFTOP EXPANSION

Title:

ROYAL HAWAIIAN ELEVATION

Project No.:

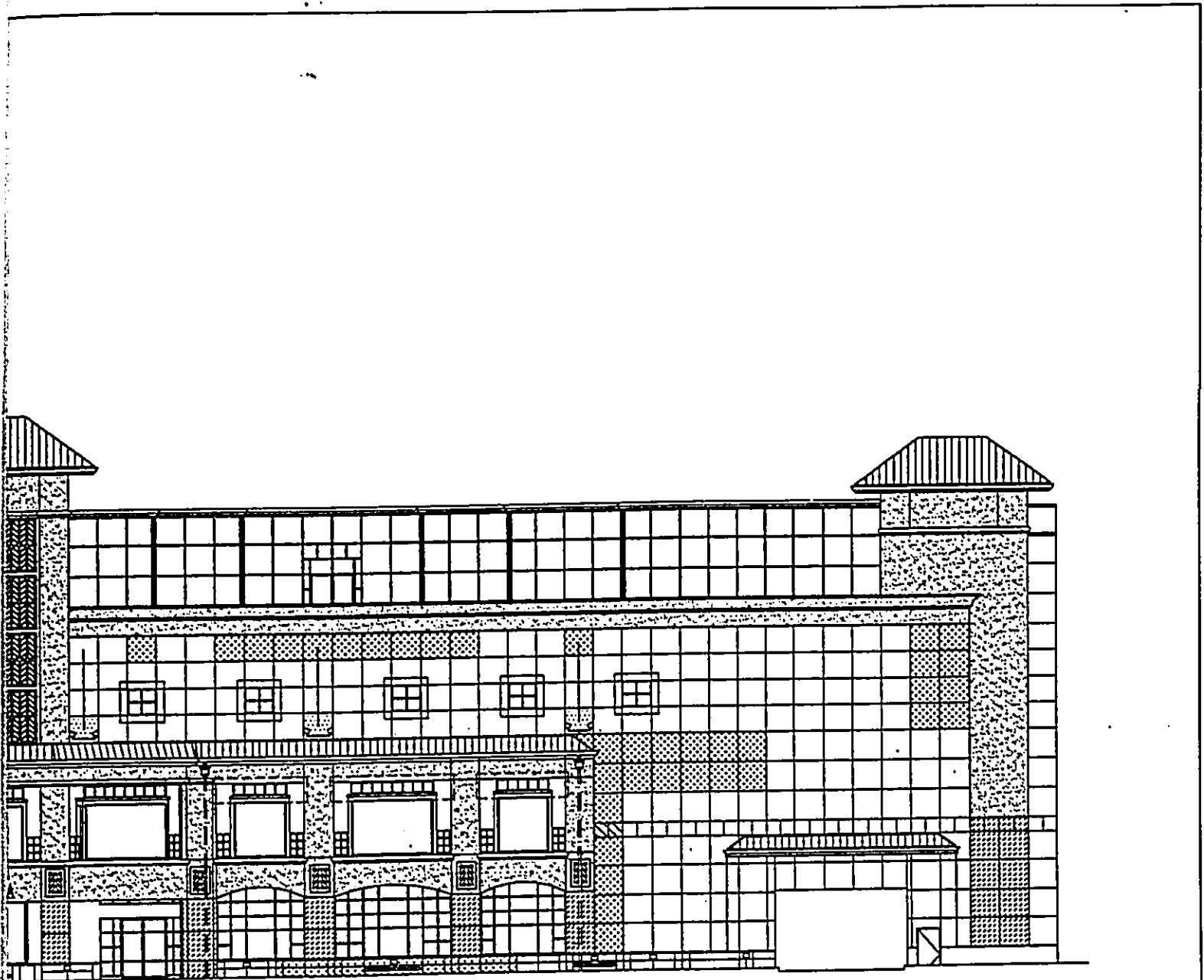
98066

Date:

10/29/98

Scale:

1"=20'-0"

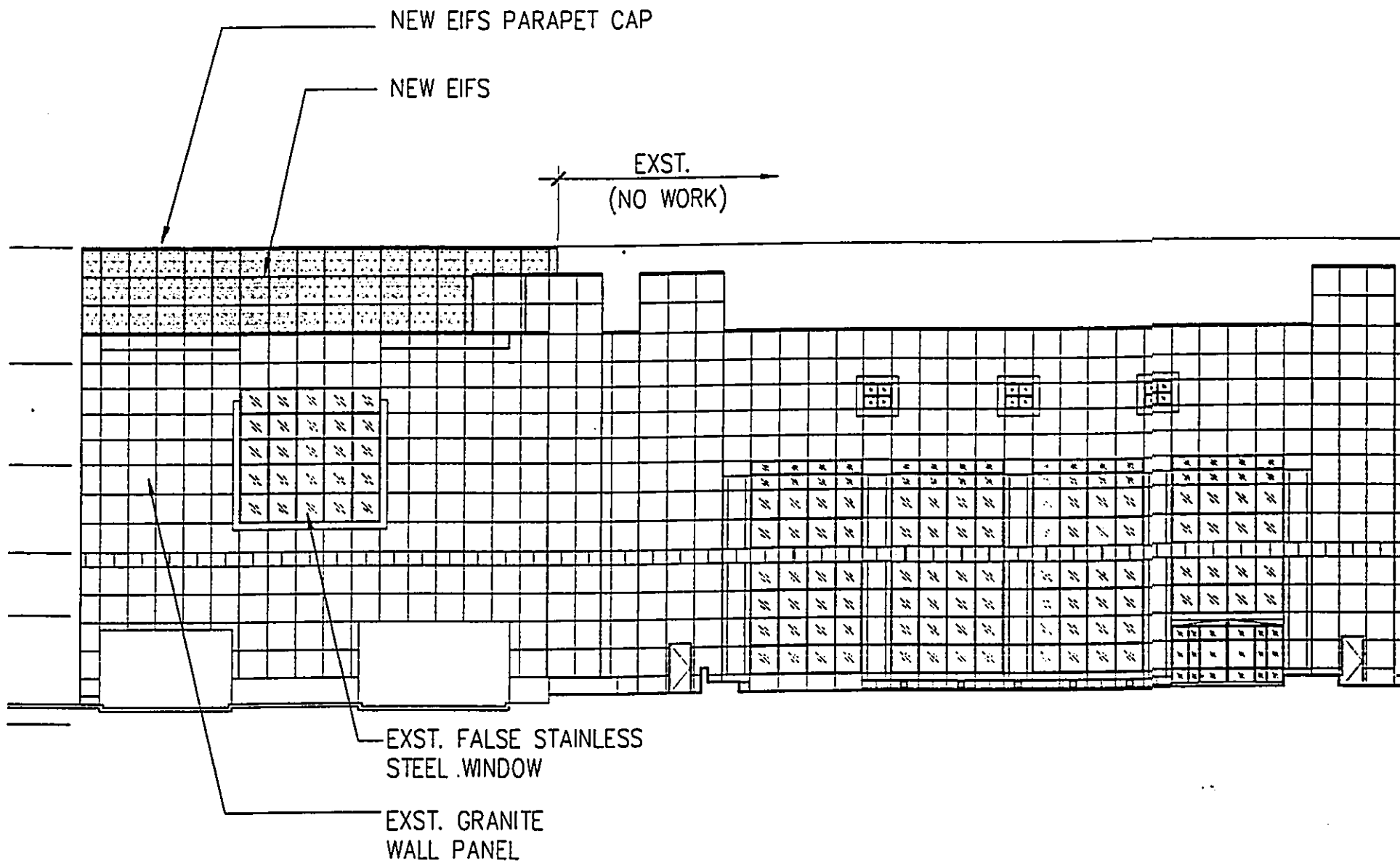


L HAWAIIAN ELEVATION

0'-0"

Sheet:

A-2



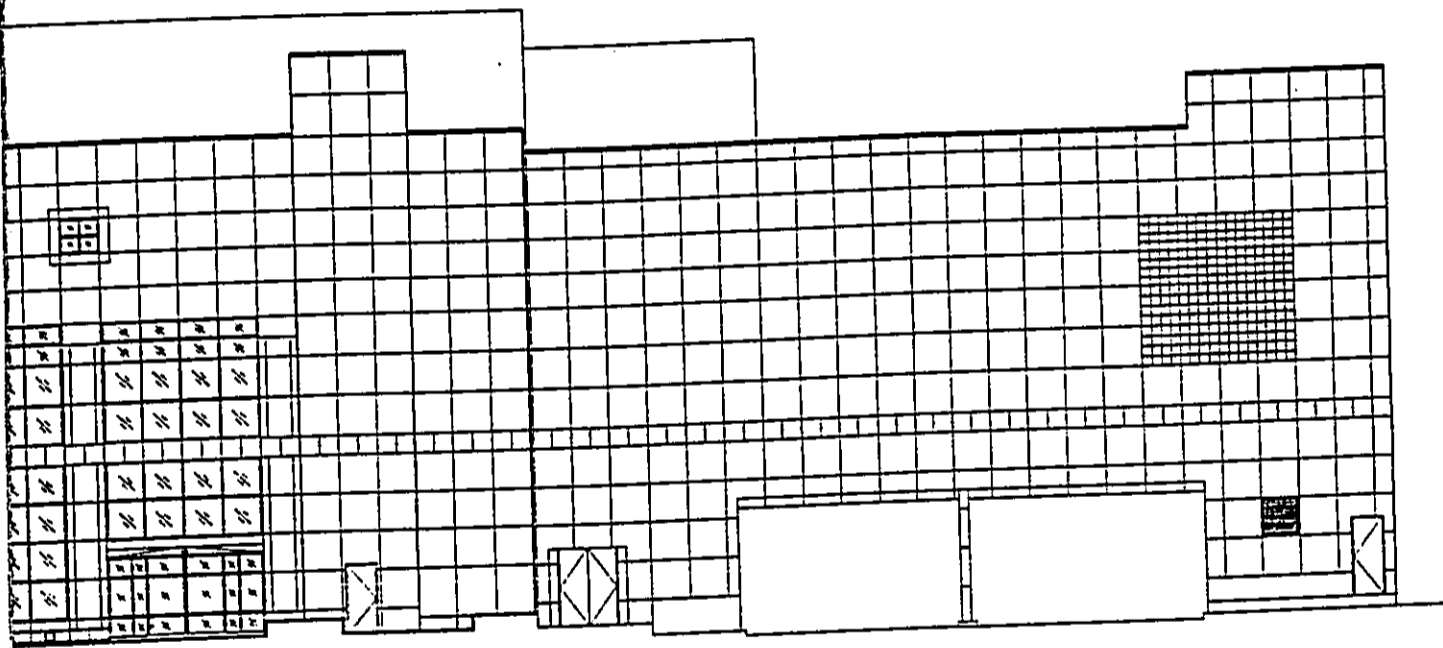
Project: DFS WAIKIKI ROOFTOP EXPANSION

Title: LEWERS STREET ELEVATION

Project No.: 98066

Date: 10/29/98

Scale: 1"=20'-0"

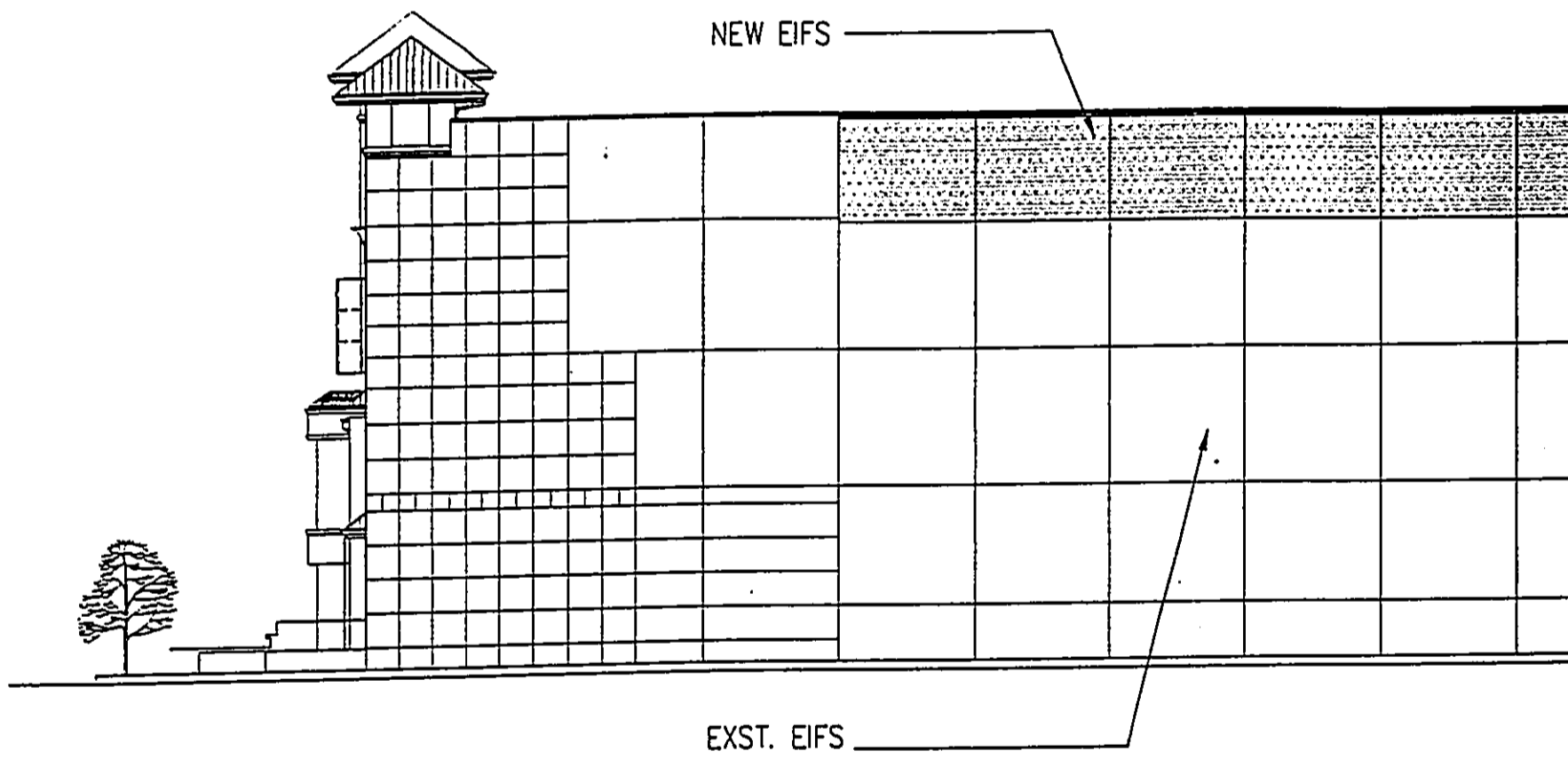


RS STREET ELEVATION

0'-0"

Sheet:

A-3



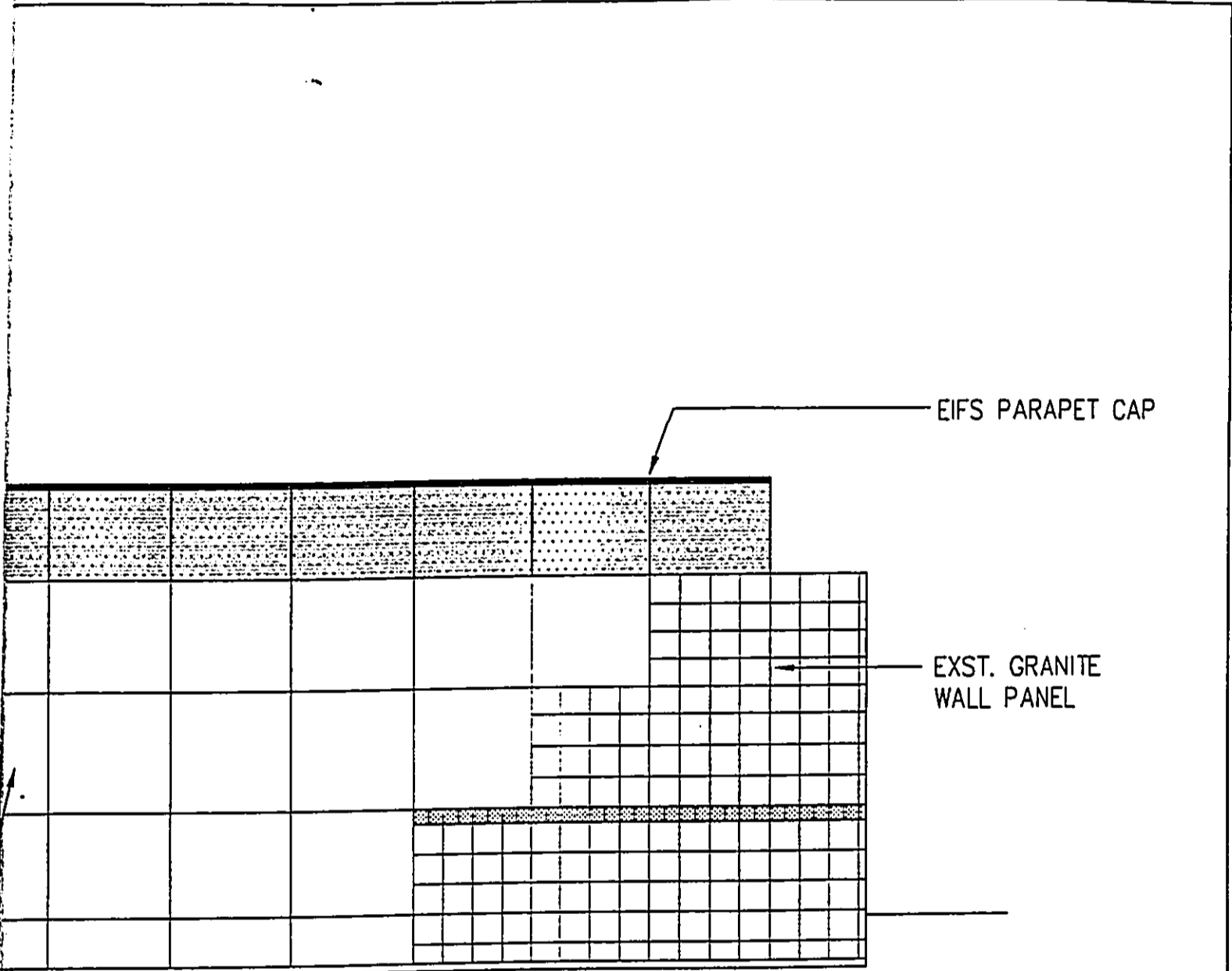
Project: DFS WAIKIKI ROOFTOP EXPANSION

Title: MAUKA ELEVATION

Project No.: 98066

Date: 10/29/98

Scale: 1"=20'-0"



EIFS PARAPET CAP

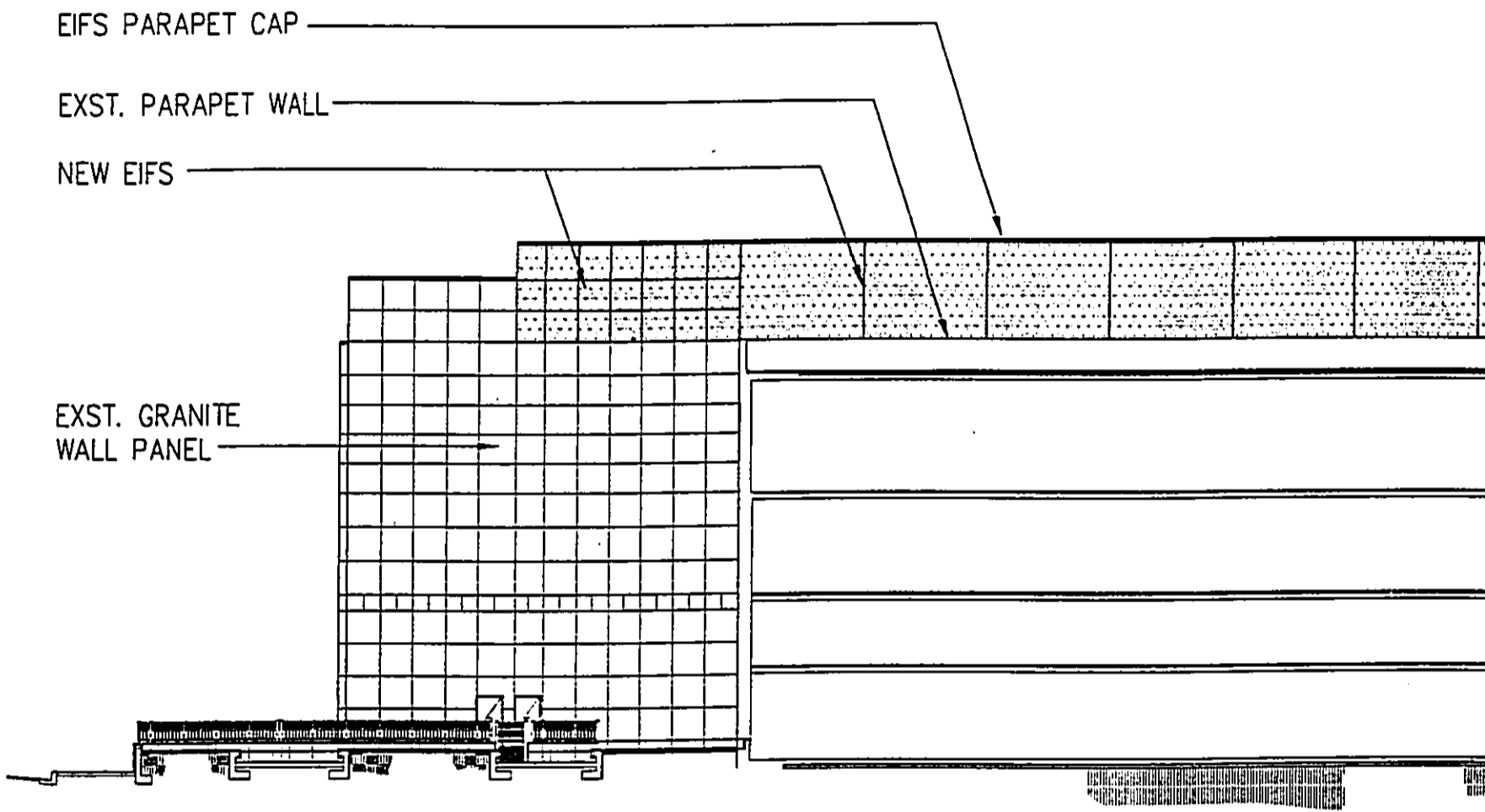
EXST. GRANITE
WALL PANEL

A ELEVATION

Sheet

A-4

0'-0"



Project

DFS WAIKIKI ROOFTOP EXPANSION

Title

MAKAI ELEVATION

Project No.:

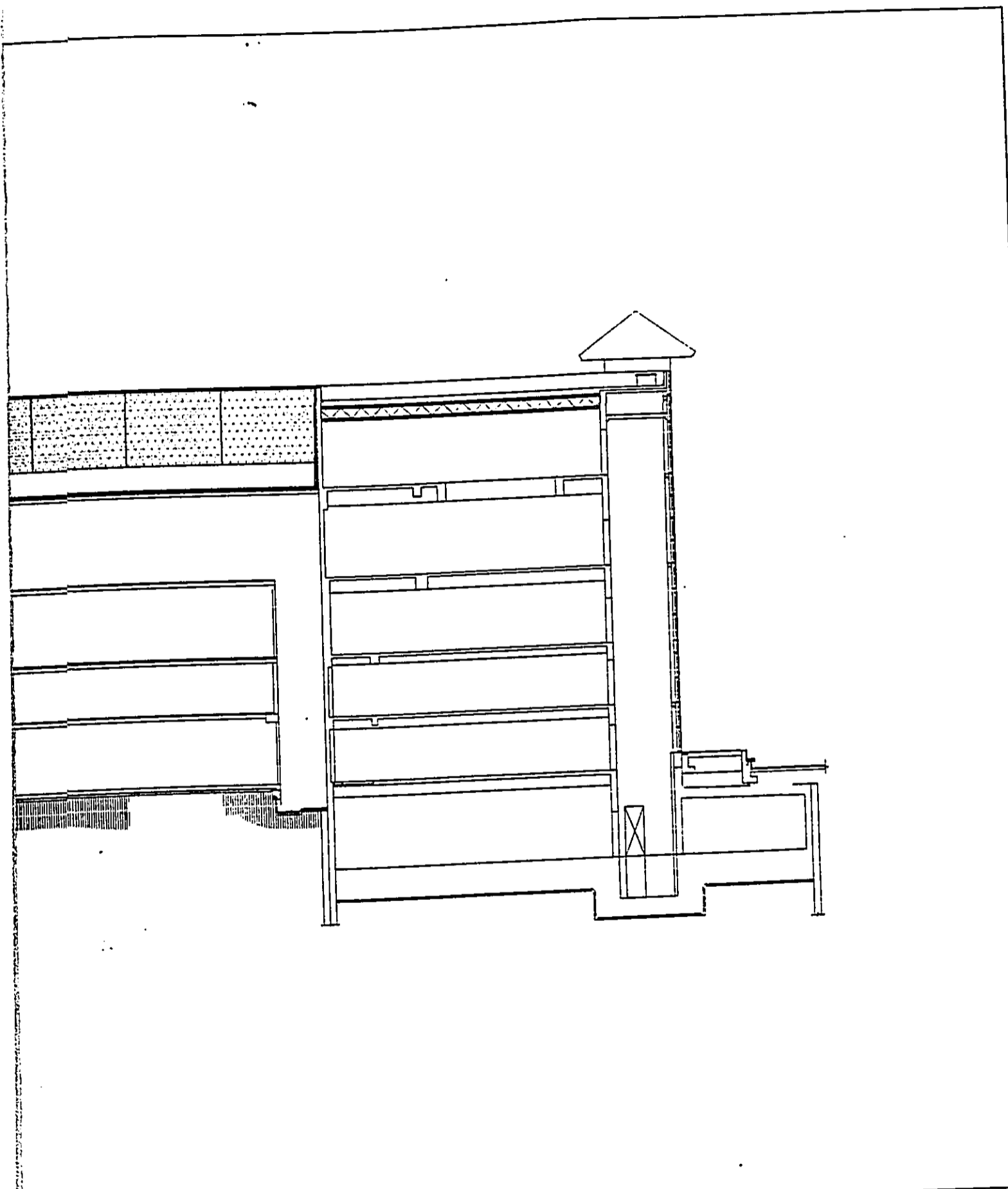
98066

Date:

10/29/98

Scale:

1"=20'-0"



ELEVATION

-0"

Sheet:

A-5