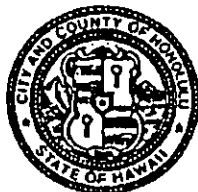


DEPARTMENT OF DESIGN AND CONSTRUCTION
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 2ND FLOOR
HONOLULU, HAWAII 96813
PHONE: (808) 523-4564 • FAX: (808) 523-4567



JEREMY HARRIS
MAYOR

RANDALL K. FUJIKI, AIA
DIRECTOR

ROLAND D. LIBBY, JR., AIA
DEPUTY DIRECTOR

IDEA 99-0081

March 16, 1999

Mr. Gary Gill, Director
Office of Environmental Quality Control
State of Hawaii
235 South Beretania Street, Suite 702
Honolulu, Hawaii 96813

OFFICE OF ENVIRONMENTAL
QUALITY CONTROL
99 MAR 23 12:50
RECEIVED


Dear Mr. Gill:

Subject: Finding of No Significant Impact (FONSI) for Miscellaneous Sidewalk Improvements, Part II - Chinatown, TMK: 1-7-2, 1-7-3, and 2-1-2, Honolulu, Oahu, Hawaii

The Department of Design and Construction has reviewed the comments received during the 30-day public comment period which began on September 23, 1998. The project consists of sidewalk improvements on the mauka and makai side of King Street from River Street to Bethel Street. For reasons set forth in the enclosed Final Environmental Assessment (EA), this agency has determined that this project will not have significant environmental effects and has issued a FONSI. Please publish this notice in the April 8, 1999, Office of Environmental Quality Control's (OEQC) Environmental Notice.

We have enclosed a completed OEQC Publication Form and four copies of the Final EA. Please call Dennis Toyama of the Division of Infrastructure Design and Engineering at 523-4756 or our consultant, Keith Kurahashi of Kusao & Kurahashi, Inc., at 538-6652 if you have any questions.

Very truly yours,


RANDALL K. FUJIKI
Director

Encl.

cc: Kusao & Kurahashi, Inc.

27

APR 8 1999

FILE COPY

1999-04-08-0A-PEA-China town Sidewalk
Improvements King St.

**FINAL ENVIRONMENTAL ASSESSMENT FOR CHINATOWN
SIDEWALK IMPROVEMENTS KING STREET
FROM RIVER STREET TO BETHEL STREET
(MISCELLANEOUS SIDEWALK IMPROVEMENTS,
PART II - CHINATOWN)**

**Tax Map Key 1-7-02, 1-7-03 and 2-1-02
Honolulu, Oahu, Hawaii**

**Proposing Agency:
Department of Design and Construction
City and County of Honolulu**

Responsible Official:  MAR 10 1999
FOR Randall K. Fujiki Date
Director

Kusao & Kurahashi, Inc.
1314 S. King Street, Suite 1263
Honolulu, Hawaii 96814
(808) 538-6652

Agent

UFG
QUALITY CONTROL

99 MAR 23 12:50

RECEIVED

MARCH 1999

TABLE OF CONTENTS

I.	INTRODUCTION	1
II.	GENERAL INFORMATION	1
	A. APPLICANT	1
	B. APPROVING AGENCY	1
	C. FEE OWNER	2
	D. AGENT	2
	E. ENGINEERS	2
	F. TAX MAP KEY	2
	G. LOCATION	2
	H. STATE LAND USE	2
	I. DEVELOPMENT PLAN	2
	J. SPECIAL DISTRICT	2
	K. ZONING	2
	L. EXISTING USE	2
	M. AGENCIES CONSULTED	6
III.	DESCRIPTION OF THE PROPOSED ACTION	6
	A. GENERAL DESCRIPTION	6
	1. Proposed Development	6
	2. Location	7
	3. Surrounding Area	7
	4. Land Use Approvals	8
	B. TECHNICAL CHARACTERISTICS	9
	1. Sidewalk Widening	9
	2. Other Improvements Proposed	9
	3. Infrastructure/Utilities/Services Details	11
	4. Development Schedule	13

C.	ECONOMIC CHARACTERISTICS	13
1.	Economic Growth	13
2.	Employment	14
3.	Government Revenues/Taxes	14
D.	SOCIAL CHARACTERISTICS	14
1.	Residential Population	14
2.	Visitor Population	14
3.	Character or Culture of the Neighborhood	14
4.	Displacement	14
E.	ENVIRONMENTAL CHARACTERISTICS	15
1.	Soils	15
2.	Topography	15
3.	Drainage	15
4.	Flooding	16
5.	Noise	16
6.	Air Quality	16
IV.	AFFECTED ENVIRONMENT	16
A.	SUBJECT SITE AND SURROUNDING AREA	16
B.	COASTAL OR NATURAL RESOURCES	17
1.	Public Shoreline and Recreation areas	17
2.	Rare or Endangered Wildlife Species	17
C.	HISTORIC, CULTURAL, AND ARCHAEOLOGICAL RESOURCES	17
D.	COASTAL VIEWS	20
E.	WATER QUALITY	21
V.	AGENCY COMMENTS	21

VI. MITIGATION MEASURES	21
A. DRAINAGE	21
B. NOISE	22
C. AIR QUALITY	22
D. ACCESS TO BUSINESSES	22
VII. BASIS FOR A FINDING OF NO SIGNIFICANT IMPACT FOR THE PROPOSED COMMERCIAL DEVELOPMENT	23
A. DESCRIPTION OF THE PROPOSED ACTION	23
B. DETERMINATION AND REASONS SUPPORTING DETERMINATION	24
VIII. CONCLUSION	32

LIST OF EXHIBITS

Exhibit	Description	Page
1	Location Map and Development Plan Land Use Map	3
2	Development Plan Public Facilities Map	4
3	Zoning	5

LIST OF APPENDICES

Appendix	Description
I	Plans
II	Letter from the State Historic Preservation Division
III	Agency Comments

**FINAL ENVIRONMENTAL ASSESSMENT FOR CHINATOWN
SIDEWALK IMPROVEMENTS KING STREET FROM RIVER STREET
TO BETHEL STREET (MISCELLANEOUS SIDEWALK
IMPROVEMENTS, PART II - CHINATOWN)**

I. INTRODUCTION

This Final Environmental Assessment Report, for the Chinatown Sidewalk Improvements on King Street from River Street to Bethel Street is filed because the proposed improvements involve the use of City land and funds and most of the project site is situated in the Chinatown Historic District which is designated on the State and National Historic Registers. This report is prepared in accordance with Chapter 343, Hawaii Revised Statutes, as amended, and Title 11, Chapter 200, Sec. 11-200 et. seq., Environmental Impact Statement Administrative Rules, State Department of Health.

This final environmental assessment provides the basis for a Finding of No Significant Impact (FONSI) for the proposed project pursuant to Sec. 11-200-2 of the Department of Health (DOH) Environmental Impact Statement (EIS) Rules.

II. GENERAL INFORMATION

- A. APPLICANT : Department of Design and Construction
City and County of Honolulu
650 So. King Street, 2nd Floor
Honolulu, Hawaii 96813
- B. APPROVING AGENCY: Department of Design and Construction
City and County of Honolulu
650 So. King Street, 2nd Floor
Honolulu, Hawaii 96813

Chinatown Sidewalk Improvements*Final Environmental Assessment

- C. FEE OWNER : City and County of Honolulu
- D. AGENT : Kusao & Kurahashi, Inc.
Planning and Zoning Consultants
1314 So. King Street, Suite 1263
Honolulu, Hawaii 96814
(808) 538-6652
- E. ENGINEERS : Shimabukuro, Endo & Yoshizaki, Inc.,
Civil & Structural Engineers
1126 12th Avenue
Honolulu, Hawaii 96816
- F. TAX MAP KEY : 1-7-02, 1-7-03 and 2-1-02
- G. LOCATION : North King Street, from River Street to
Bethel Street (Exhibit 1)
- H. STATE LAND USE : Urban
- I. DEVELOPMENT PLAN
- LAND USE MAP : Roadway, King Street (Exhibit 1)
- PUBLIC FACILITIES
MAP : Publicly funded roadway improvements in
the within 6 years category (Exhibit 2)
- J. SPECIAL DISTRICT : Chinatown Special District
- K. ZONING : BMX-4 Central Business Mixed Use
District (Exhibit 3)
- L. EXISTING USE : Roadway and sidewalk areas

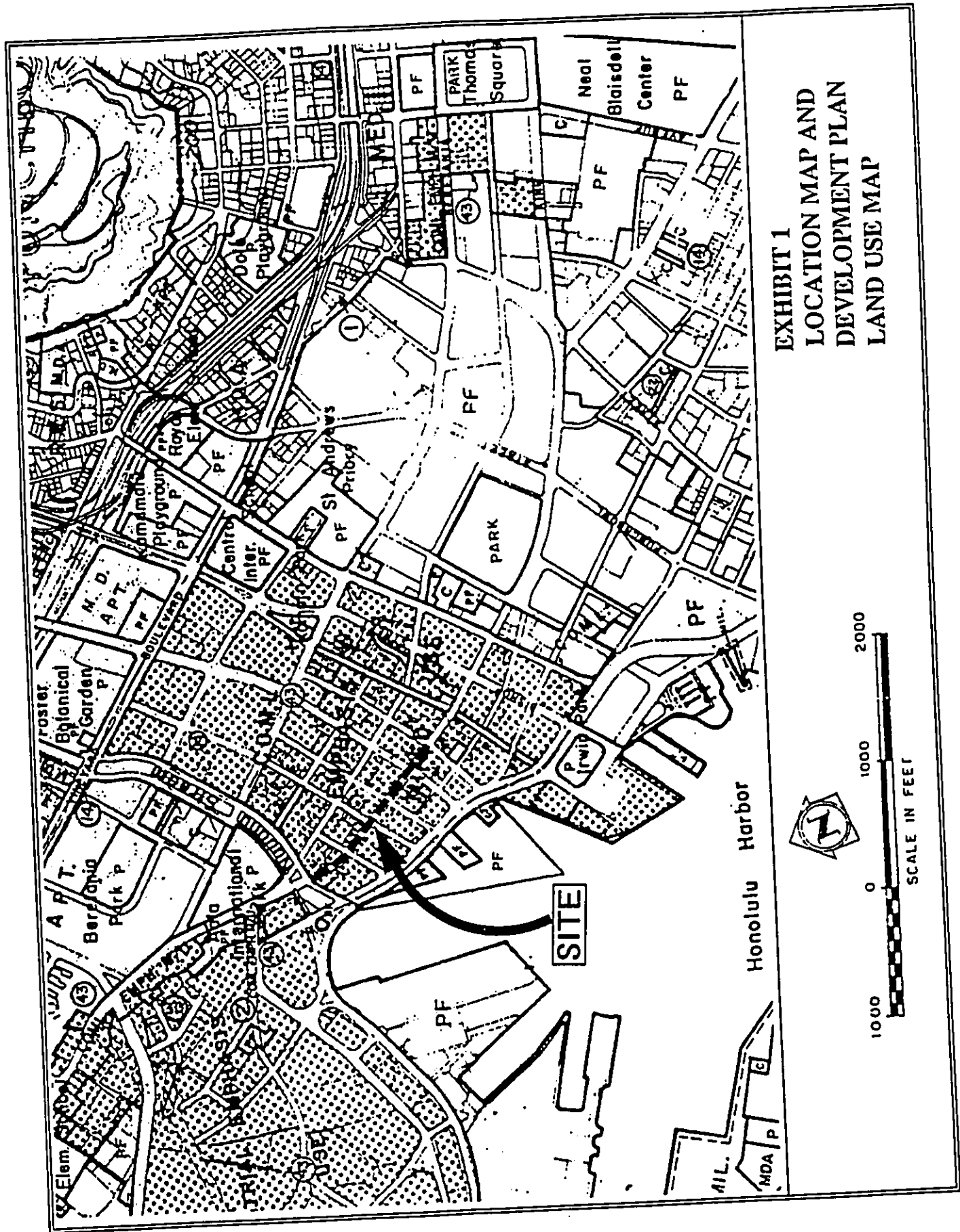


EXHIBIT 1
 LOCATION MAP AND
 DEVELOPMENT PLAN
 LAND USE MAP

CORRECTION

THE PRECEDING DOCUMENT(S) HAS
BEEN REPHOTOGRAPHED TO ASSURE
LEGIBILITY
SEE FRAME(S)
IMMEDIATELY FOLLOWING

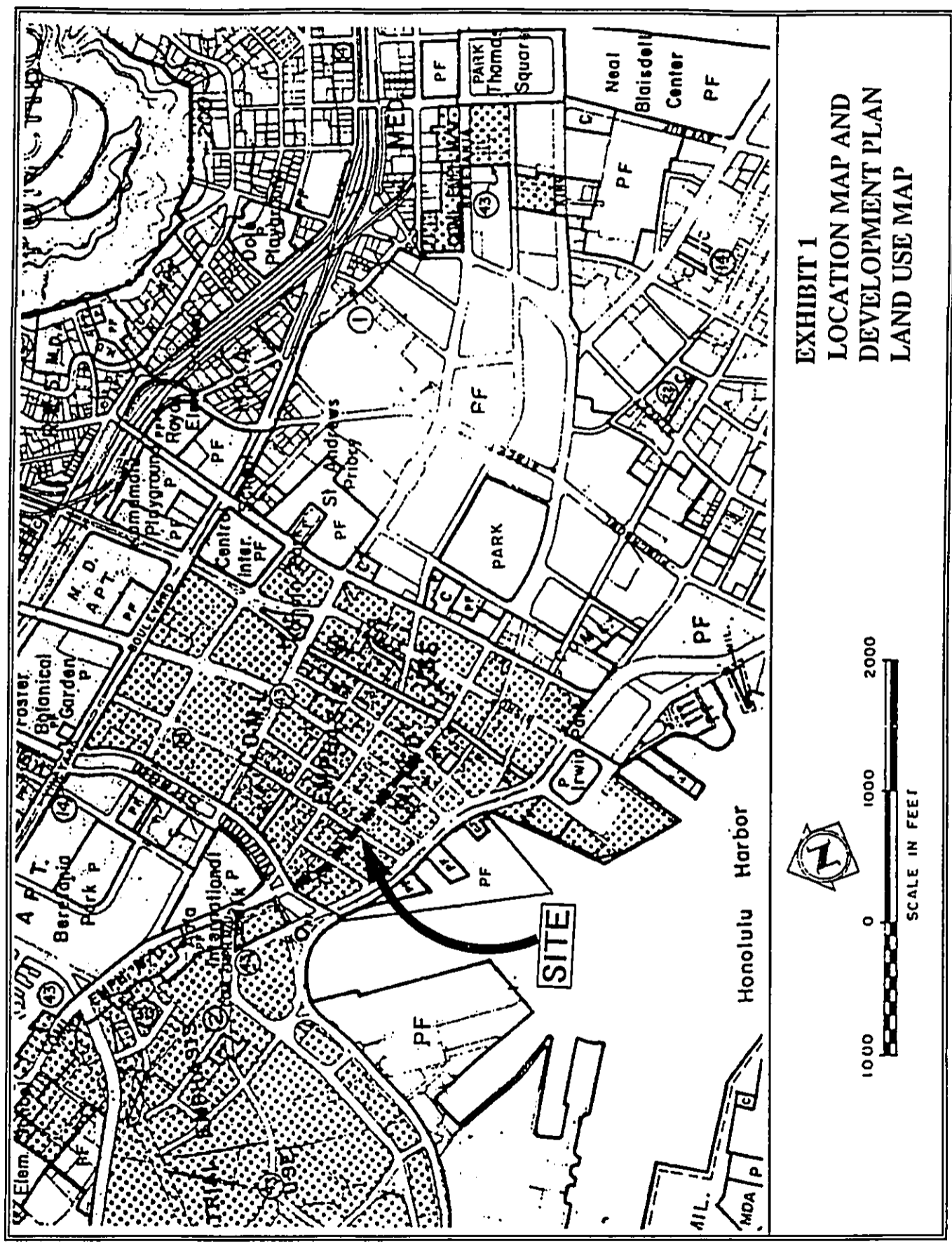


EXHIBIT 1
LOCATION MAP AND
DEVELOPMENT PLAN
LAND USE MAP

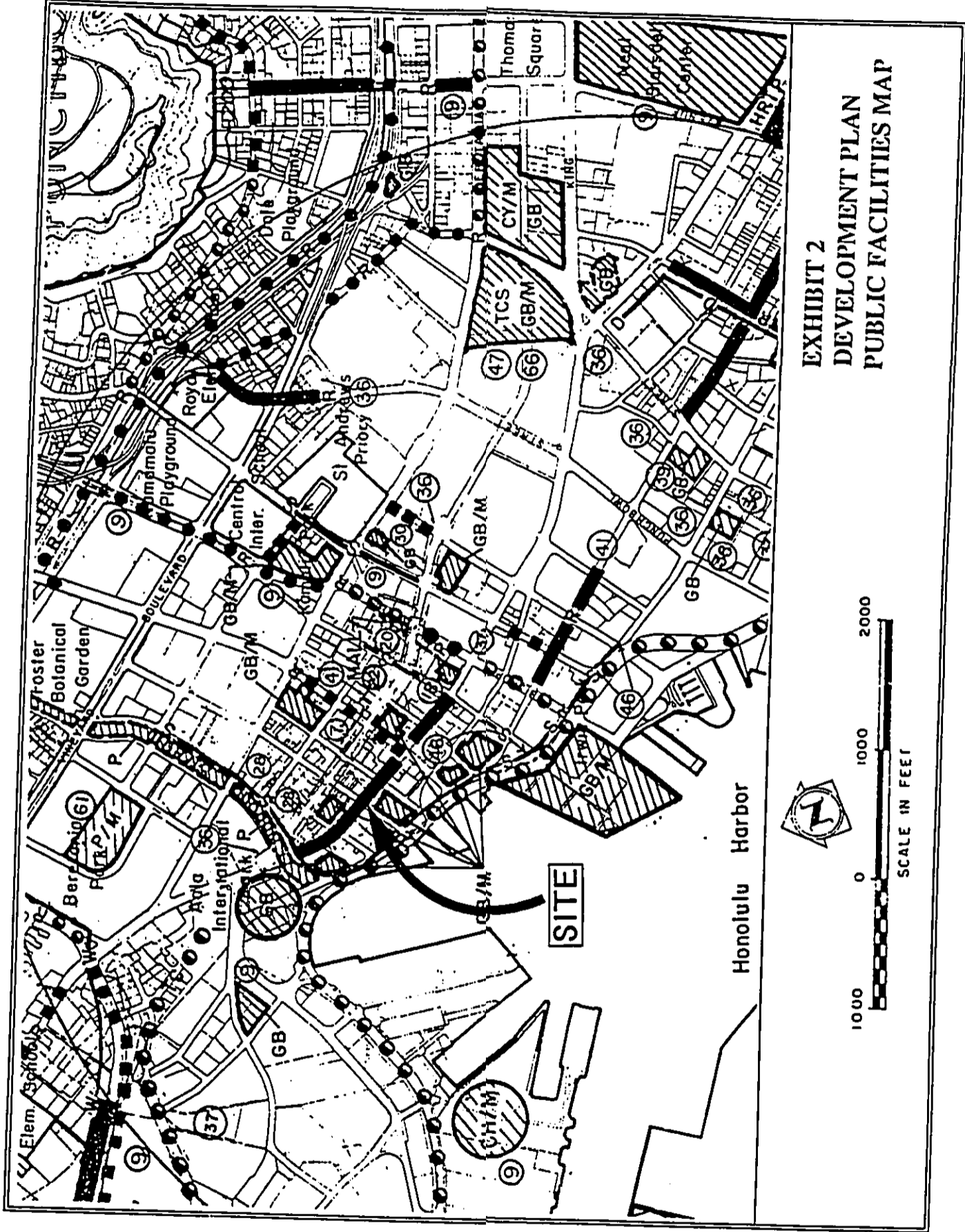


EXHIBIT 2
DEVELOPMENT PLAN
PUBLIC FACILITIES MAP

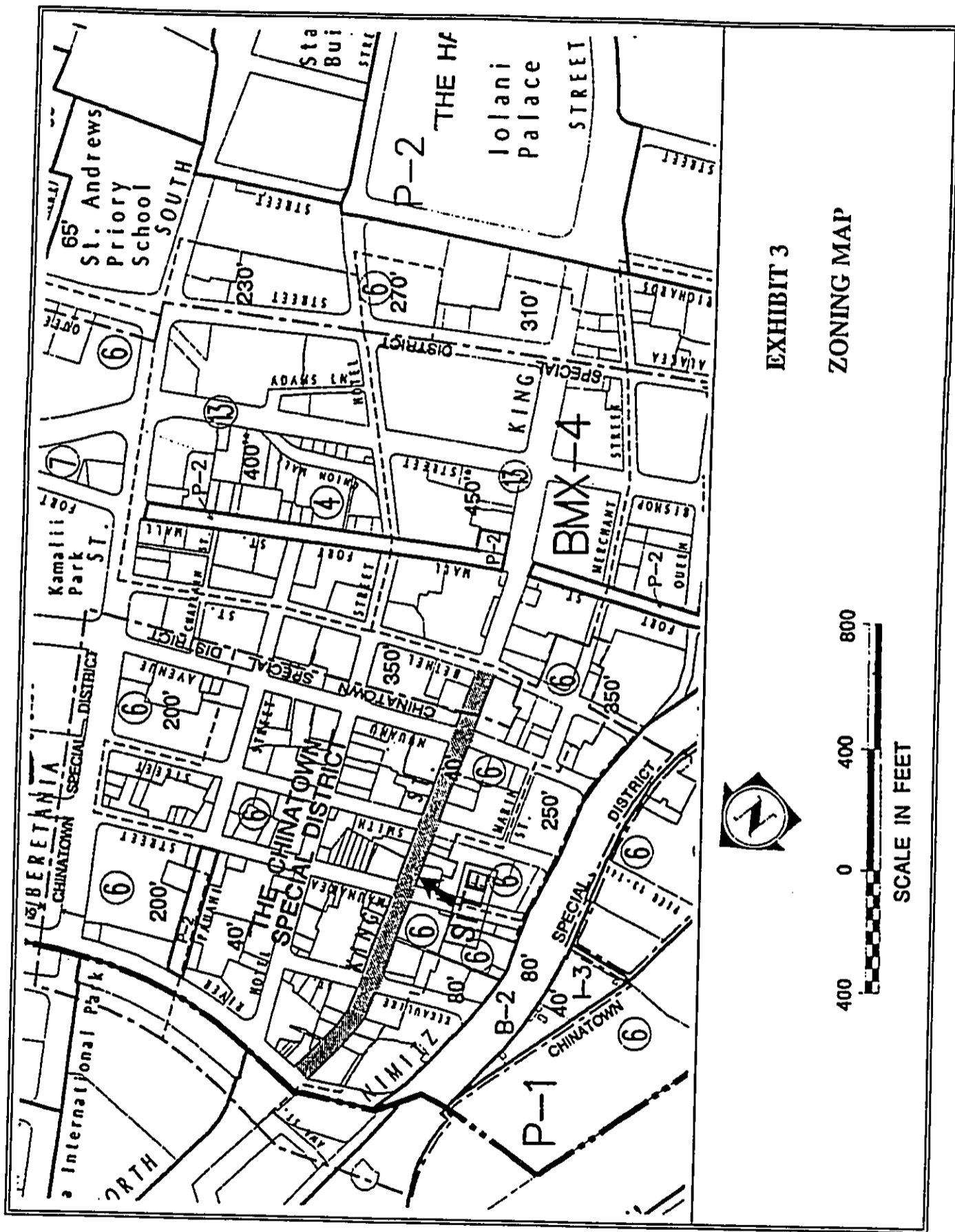


EXHIBIT 3

ZONING MAP

- M. AGENCIES
CONSULTED :
- Department of Transportation Services
 - Department of Planning and Permitting
 - Department of Land and Natural Resources
 - State Historic Preservation Division
 - Department of Health (State)
 - Planning Department
 - Mayor's Downtown/Chinatown Task Force
 - Hawaiian Electric Company, Inc.
 - Department of Environmental Services
 - Board of Water Supply
 - Department of Facility Maintenance
 - Office of Environmental Quality Control

III. DESCRIPTION OF THE PROPOSED ACTION

A. GENERAL DESCRIPTION

1. Proposed Development

Miscellaneous sidewalk improvements, in this section of Chinatown will include widening of the sidewalks on the mauka and makai side of North King Street from River Street to Bethel Street. This will be achieved by reducing existing lane widths on King Street, while maintaining four through lanes. In addition, the project will include provision of a storm drain system in King Street from Smith Street to Nuuanu Avenue; new street light standards designed for an appearance consistent with the earlier development period of most of the structures in Chinatown; new street name signs mounted on traffic signal standards at the intersections; new accessibility ramps at the intersections; relocation of certain water and utility

lines; installation of street trees (Fiddlewood) at a spacing of about 20 feet on center; modification of awnings to accommodate the new street trees; and relocation to curbside of certain above ground appurtenances, such as fire hydrants, signs, light poles and street light standards.

The proposed 18 inch sidewalk widening and new typical lane widths are shown in the set of plans included in Appendix I.

The City and County of Honolulu has made a number of capital improvements in Chinatown in recent years, and this project is a continuation of the Chinatown improvements. It is the objective of the City and County of Honolulu to preserve and enhance the historic character of Chinatown and in doing so the proposed sidewalk improvements will enhance the appearance of the street scape and allow for greater pedestrian linkages within and connecting outside Chinatown.

2. Location

The project site is located in Chinatown along King Street from River Street to Bethel Street. It is within the Central Business District of Honolulu in an area also known as Downtown. The entire project site is outside of the Special Management Area (SMA).

3. Surrounding Area

The project is located in an urban setting in the Chinatown Historic District that is located in the Central Business District. The surrounding area includes the City's Financial District, the Hawaii

Capital District and the Aloha Tower Market Place. The shops on both sides of King Street include food and sundry shops that sell local and exotic foods and imported items, other retail stores, office buildings and financial institutions.

4. Land Use Approvals

a. State Land Use

The project is in the State Land Use Urban District.

The proposed sidewalk improvements are consistent with the site's Urban designation.

b. Development Plan

The Primary Urban Center Development Plan (DP) Land Use Map designates the project site as a road right-of-way and the proposed sidewalk improvements are consistent with the site's designation. The Primary Urban Center Development Plan Public Facilities Map designates the project site for publicly funded roadway improvements in the within 6 years category. The proposed sidewalk widening will implement the improvements planned along this portion of King Street.

c. Zoning

The project site is zoned BMX-4 Central Business Mixed Use District and the sidewalk improvements will enhance the pedestrian experience in the Chinatown area, in keeping the BMX-4 zoning. The project will require a

Chinatown Special District minor permit which will be processed by the Department of Planning and Permitting.

B. TECHNICAL CHARACTERISTICS

1. Sidewalk Widening

The proposed sidewalk improvements for King Street, from River Street to Bethel Street will include widening the sidewalks on King Street by 18 inches on both the mauka (east) and makai (west) sides of the street and adding a two-foot gutter to the mauka side of the street. This additional 18 inches will increase the sidewalks on both the mauka and makai sides of the street to about a 9½-foot width.

The remaining street width would be restriped to provide four through lanes, three 9-foot travel lanes on the mauka portion of King Street and a 10-foot bus lane on the makai portion of the street.

2. Other Improvements Proposed

a. Storm Drain System

The project proposes to correct a minor drainage problem that occurs at the intersection of King Street and Nuuanu Avenue, which is not serviced by a storm drain system. A storm drain system will be provided in King Street from Nuuanu Avenue to Smith Street to connect the King Street and Nuuanu Avenue intersection with the existing storm drain system at the intersection of King Street and Smith Street.

b. **New Street Light Standards**

New street light standards designed for an appearance consistent with the earlier development period of most of the structures in Chinatown will be provided to replace existing more modern appearing street light standards.

c. **New Street Name Signs**

New street name signs are planned to be mounted onto the traffic signal standard which will place them over the street to provide greater visibility and easier recognition for motorists.

d. **New Accessibility Ramps**

New accessibility ramps are planned at the intersections to provide better access to the crosswalks and sidewalks for physically challenged residents and visitors.

e. **Relocation of Water and Utility Lines**

Certain portions of water lines and utility lines will be relocated in the King Street right-of-way as needed to clear new curbs and gutters, the new storm drain line, or other improvements.

f. **Installation of Street Trees and Modification of Awnings**

The City plans to install Fiddlewood trees with spacing of about 20 feet on center on both sides of King Street from River Street to Bethel Street. These trees will implement the

street tree plan for King Street and will provide shade and a pleasant contrast to the built-up urban environment.

Certain awnings will have to be modified to accommodate the new street trees planted in the sidewalk area.

g. Relocation to Curbside of Certain Above Ground Appurtenances

Certain above ground features such as fire hydrants, signs, light poles, and street light standards will be relocated to curbside with the widening of the sidewalks.

3. Infrastructure/Utilities/Services Details

a. Water

The proposed sidewalk improvements will require limited water service for the proposed street trees. This service will be provided through an irrigation system. In addition, some of the existing water lines will be relocated within the King Street right-of-way to clear new curb and gutter areas.

b. Electricity/Telephone Services

The proposed sidewalk improvements will not require new telephone service and electrical service, but, will require relocation of certain utility lines within the King Street right-of-way.

c. Wastewater Disposal

The proposed sidewalk improvements will not require wastewater service nor will it affect existing wastewater lines in the King Street right-of-way.

d. Solid Waste

Limited solid waste will be generated by the proposed sidewalk improvements, in the form of organic waste materials generated by the trees. It is expected that this green waste will be composted by the Department of Parks and Recreation's maintenance crew or disposed of in some other responsible fashion. The project will not affect municipal refuse services.

e. Roadways

The proposed development is part of a roadway right-of-way improvement project that will widen the sidewalks along King Street. Pedestrian circulation on the mauka and makai sides of King Street between River Street and Bethel Street will be improved by the proposed sidewalk improvements.

While improving pedestrian circulation, the proposed sidewalk widening project will minimize impact to traffic circulation by retaining four through lanes on King Street. The proposed improvements are not expected to affect the

level of service provided by the affected portion of King Street.

f. Drainage

The existing drainage patterns and system will for the most part be maintained in the proposed sidewalk widening project. The only difference will be to provide a storm water drainage system along King Street for the block between Smith Street and Nuuanu Avenue to correct a current minor drainage problem at the King Street and Nuuanu Avenue intersection. There will be no increase in impermeable surfaces and the project will have no long term effect on drainage in the area, other than improving the drainage at the intersection of King Street and Nuuanu Avenue. There will, however, be short term construction phase impact on drainage.

4. Development Schedule

The applicant hopes to complete their permit processing by March of 1999, with construction beginning shortly thereafter and completed in about six months.

C. ECONOMIC CHARACTERISTICS

1. Economic Growth

The proposed improved and widened sidewalk will create a more friendly pedestrian area which may attract more residents and visitors to the area to frequent the businesses affected by the sidewalk widening improvement, in the long run. In the short term,

the construction activity occurring on the sidewalk fronting the businesses may impede traffic circulation and access to the businesses that front on the sidewalk areas being widened.

2. Employment

The project will provide short-term construction jobs but no long term permanent jobs.

3. Government Revenues/Taxes

Tax revenues, including state income tax and general excise taxes will be generated by the short-term construction work.

D. SOCIAL CHARACTERISTICS

1. Residential Population

The project will not affect residential population, since no dwelling units are planned.

2. Visitor Population

The project will have no direct impact on the visitor population, but will present a more friendly pedestrian area in the historic Chinatown District, which will be an amenity for our visitors.

3. Character or Culture of the Neighborhood

The proposed sidewalk widening improvement will have no impact on the character or culture of the neighborhood.

4. Displacement

No businesses or tenants will be permanently displaced by the proposed improvements. However, access to certain businesses,

during the construction phase, will be affected by the proposed improvements.

E. ENVIRONMENTAL CHARACTERISTICS

1. Soils

According to the United States Department of Agriculture, Soil Conservation Service's "Soil Survey of Islands of Kauai, Oahu, Maui, Molokai, and Lanai, State of Hawaii" the site is classified as Ewa silty clay loam (EmA). Runoff is very slow and the erosion hazard is no more than slight for this soil type. This soil type is found throughout the Chinatown area and through the portion of the financial district in downtown Honolulu located makai of King Street. In the downtown area, this soil type supports roadways, and low to high rise commercial and residential developments.

2. Topography

The project site and surrounding area is relatively flat and fully developed with the Central Business District of downtown Honolulu. This urban area does not contain any significant or important natural topographic features except Nuuanu Stream which will not be affected by the proposed sidewalk widening project.

3. Drainage

The proposed development will not increase runoff from the site. The project will not involve a significant amount of excavation during construction and will have minimal impact on receiving waters with the utilization of best management practices to control

runoff. Drainage volumes and quality is not expected to change upon completion of the sidewalk improvements.

4. Flooding

According to the Federal Flood Insurance Rate Maps (FIRM) for the City and County of Honolulu, the project site is in Zone X, an area determined to be outside the 500-year flood. The proposed sidewalk improvements will not affect a flood hazard district.

5. Noise

Short term impact will occur from construction vehicles and equipment operating on the project site and other construction related noise.

6. Air Quality

Short term impact on air quality will occur from construction vehicles and equipment operating on the project site.

IV. AFFECTED ENVIRONMENT

A. SUBJECT SITE AND SURROUNDING AREA

As discussed earlier, the project site is located in Chinatown along King Street from River Street to Bethel Street. It is within the Central Business District of Honolulu in an area also known as Downtown. The entire project site is outside of the Special Management Area (SMA).

The project is located in an urban setting in the Chinatown Historic District that is located in the Central Business District of downtown Honolulu. The surrounding area includes the City's Financial District, the

Hawaii Capital District and the Aloha Tower Market Place. The shops on both sides of King Street include food and sundry shops that sell local and exotic foods and imported items, other retail stores, offices and financial institutions.

B. COASTAL OR NATURAL RESOURCES

1. Public Shoreline and Recreation areas

The proposed sidewalk widening project will not affect access to the shoreline or recreation areas. The project site is located about 400 feet from the Honolulu Harbor at River Street and extends further from the Harbor at Bethel Street (about 650 feet).

2. Rare or Endangered Wildlife Species

This urbanized, developed site does not contain any significant wildlife habitats, or rare or endangered flora and fauna.

C. HISTORIC, CULTURAL, AND ARCHAEOLOGICAL RESOURCES

The property is listed on both the Hawaii and National Registers of Historic Places, but the proposed sidewalk widening project proposes to excavate only to the same elevation as the excavation done for the existing roadway and existing utilities and the development of the site is not expected to have an impact on historic, cultural or archaeological resources.

Based on our preliminary discussions with the State Historic Preservation Office, Department of Land and Natural Resources, on the sidewalk widening portion of the project, and in order to retain wherever

possible the character of the Chinatown Historic District, we propose the following:

- i. Retention of lava rock curbs.
- ii. Re-use of granite pavers between River Street and Kekaulike Street.
- iii. Granite pavers will be used throughout the project.
- iv. Having the contractor contact the State Historic Preservation Office regarding the availability of granite pavers they may have stored and available for use on this project, since additional granite pavers will be needed for the widened sidewalk.

Since we will not go below the depths of previous construction, we do not feel that an archaeologist will be needed to monitor trenching activities.

We agree to abide by the following condition in order to further minimize impacts to historic, cultural or archaeological resources:

"If, during construction, any previously unidentified sites or remains (such as artifacts, shell, bone, or charcoal deposits, human burials, rock or coral alignments, pavings, or walls) are encountered, the Applicant shall stop work and contact the State Department of Land and Natural Resources Historic Sites Office at 692-8032 immediately. Work in the immediate area shall be stopped until the office is able to assess the

impact and make further recommendations for mitigative activity."

This condition should provide adequate protection should unidentified sites or remains be found.

The State Historic Preservation Division, in a letter dated June 15, 1998 (Appendix II), concurred with the proposed sidewalk widening and other planned improvements, with the exception of the installation of street trees in the Chinatown Historic District. They do not support the planting of street trees which they feel will have a visual impact on the historic character of King Street.

We understand the State Historic Preservation Division concerns about the installation of street trees in the Chinatown Historic District. However, in keeping with the City's street plan which is a policy for the Chinatown area, street trees are planned on King Street, as they have been provided on Hotel Street. The sidewalk is being widened to specifically accommodate the addition of street trees and to improve and enhance the pedestrian experience in Chinatown.

The Street Tree Program was adopted by Ordinance No. 3738 by the City Council on June 2, 1971. It was established to provide a program for tree planting which will make the City (Honolulu) a healthier and more beautiful place in which to live. Its objective is to plant and maintain as many trees as aesthetically appropriate,

physically possible and economically feasible. It is also to make Honolulu known as the "City of Flowering Trees".

The guidelines for the Street Tree Program include taking every opportunity to plant trees. One of the priority areas for planting trees is along major streets and highways.

These trees will implement the City's street tree plan for King Street and will provide shade and a pleasant contrast to the built-up urban environment.

Based on recent discussions that the applicant has had with staff of the State Historic Preservation Division, the primary concern with the street trees is based on the extent to which the existing building canopies will be altered.

In order to minimize the impact to existing awnings, we will relocate street trees and street light standards where feasible to areas between awnings or in areas where awnings will not have to be altered. When we do need to alter an awning to locate a street tree or street light standard, we will make cuts in the awning to accommodate the street tree or light standard, rather than remove and replace the entire awning.

D. COASTAL VIEWS

The proposed sidewalk widening improvements including the street trees will not impact on important coastal views, since the views of the coastline are presently blocked by buildings along the makai side of King Street, except at the intersections which will not contain street trees.

E. WATER QUALITY

The water quality of surrounding bodies of water, including the Nuuanu Stream and Honolulu Harbor, is not expected to be affected by the sidewalk widening project, except during the construction phase. The project will not involve a significant amount of excavation during construction. Drainage volumes and runoff quality are not expected to change upon completion of the sidewalk improvements. The project is not situated over a potable water source and will not impact on the City's potable ground water system.

V. AGENCY COMMENTS

The applicant has prepared point-by-point responses to each of the comments received during the agency comment period for the Draft Environmental Assessment. The Final Environmental Assessment reflects some of the changes recommended by the agencies. Copies of the agency comment letters and the applicant's responses are included in Appendix III.

VI. MITIGATION MEASURES

A. DRAINAGE

The project will not involve a significant amount of excavation during construction and impact on receiving waters will be minimized through the utilization of best management practices to control runoff.

B. NOISE

In order to mitigate temporary construction impacts on noise, the contractor will be directed to ensure that vehicle and equipment engines are properly maintained to ensure efficient operation. Further mitigation of noise impacts will be provided by ensuring that contractors comply with existing noise regulations of the State and County.

C. AIR QUALITY

In order to mitigate temporary construction impacts on air quality, the contractor will be directed to incorporate frequent (twice daily) watering of exposed soil and gravel areas. Contractors working on the project will also be directed to insure that their vehicles engines are properly maintained to ensure efficient operation and minimize vehicle exhaust fumes.

D. ACCESS TO BUSINESSES

In order to minimize the impact to affected businesses fronting on the proposed sidewalk improvements along King Street, only half of the sidewalk area and one travel lane will be worked on at a time with access to each business maintained throughout the businesses hours of operation. In some periods of construction, ramps to the businesses will need to be provided.

**VII. BASIS FOR A FINDING OF NO SIGNIFICANT IMPACT
FOR THE PROPOSED COMMERCIAL DEVELOPMENT**

A. DESCRIPTION OF THE PROPOSED ACTION

Miscellaneous sidewalk improvements, in this section of Chinatown will include widening of the sidewalks on the mauka and makai side of North King Street from River Street to Bethel Street. This will be achieved by reducing lane widths on King Street, while maintaining four through lanes. In addition, the project will include provision of a storm drain system in King Street from Smith Street to Nuuanu Avenue; new street light standards designed for an appearance consistent with the earlier development period of most of the structures in Chinatown; new street name signs mounted on traffic signal standards at the intersections; new accessibility ramps at the intersections; relocation of certain water and utility lines; installation of street trees (Fiddlewood) at a spacing of about 20 feet on center; modification of awnings to accommodate the new street trees; and relocation to curbside of certain above ground appurtenances, such as fire hydrants, signs, light poles and street light standards.

The City and County of Honolulu has made a number of capital improvements in Chinatown in recent years, and this project is a continuation of the Chinatown improvements. It is the objective of the City and County of Honolulu to preserve and enhance the historic character of Chinatown and in doing so the proposed sidewalk improvements will enhance the appearance of the street scape and allow for greater pedestrian linkages within and connecting outside Chinatown.

B. DETERMINATION AND REASONS SUPPORTING DETERMINATION

The proposed project would not have a significant effect on the environment and therefore preparation of an environmental impact statement is not required. Based on the "Significance Criteria", Section 12 of Hawaii Administrative Rules Title 11, Chapter 200, "Environmental Impact Statement Rules", which were reviewed and analyzed, we have come to the following conclusions:

1. **No irrevocable commitment to loss or destruction of any natural or cultural resource would result.**

It is the objective of the City and County of Honolulu to preserve and enhance the historic character of Chinatown and in doing so the proposed sidewalk improvements will enhance the appearance of the street scape and allow for greater pedestrian linkages within and connecting outside Chinatown. Based on our preliminary discussions with the State Historic Preservation Office, Department of Land and Natural Resources, on the proposed sidewalk widening portion of the improvements, and in order to retain wherever possible the character of the Chinatown Historic District, we propose the following:

- i. Retention of lava rock curbs.
- ii. Re-use of granite pavers between River Street and Kekaulike Street.
- iii. Granite pavers will be used throughout the project.

- iv. Having the contractor contact the State Historic Preservation Office regarding the availability of granite pavers they may have stored and available for use on this project, since additional granite pavers will be needed for the widened sidewalk.

Since we will not go below the depths of previous construction, we do not feel that an archaeologist will be needed to monitor trenching activities.

During the construction of the project, should any previously unidentified archaeological resources such as artifacts, shell, bone, or charcoal deposits, human burial, rock or coral alignments, pavings or walls be encountered, the applicant will stop work and contact the Historic Preservation Office for review and approval of mitigation measures.

The State Historic Preservation Division, in a letter dated June 15, 1998 (Appendix II), concurred with the proposed sidewalk widening and other planned improvements, with the exception of the installation of street trees in the Chinatown Historic District. They do not support the planting of street trees which they feel will have a visual impact on the historic character of King Street.

The State Historic Preservation Division, in a letter dated December 8, 1998, presented concerns about the new tile work for the sidewalks; the need for archaeological monitoring should ground disturbance occur below previously excavated road bed or existing

utility corridors previously disturbed; the installation of street trees; the alterations to the awnings in the historic district; and the Canopy No. 5 design which does not replicate the existing canopy.

The tile work proposed will be granite pavers, finished to be similar to the existing granite pavers found on the mauka side of King Street between River Street and Kekaulike Street.

We do not expect to disturb the ground below the existing road bed and utility corridors which have been previously disturbed. Should we excavate below the previously disturbed areas, we will provide on-site archaeological monitoring.

We understand the State Historic Preservation's concern about the installation of street trees in the Chinatown Historic District. However, in keeping with the City's street plan which is a policy for the Chinatown area, street trees are planned on King Street, as they have been provided on Hotel Street. The sidewalk is being widened to specifically accommodate the addition of street trees and to improve and enhance the pedestrian experience in Chinatown.

The Street Tree Program was adopted by Ordinance No. 3738 by the City Council on June 2, 1971. It was established to provide a program for tree planting which will make the City (Honolulu) a healthier and more beautiful place in which to live. Its objective is to plant and maintain as many trees as aesthetically appropriate, physically possible and economically feasible. It is also to make Honolulu known as the "City of Flowering Trees".

The guidelines for the Street Tree Program include taking every opportunity to plant trees. One of the priority areas for planting trees is along major streets and highways.

In order to minimize the impact to existing awnings, we will relocate street trees and street light standards where feasible to areas between awnings or in areas where awnings will not have to be altered. When we do need to alter an awning to locate a street tree or street light standard, we will make cuts in the awning to accommodate the street tree or light standard, rather than remove and replace the entire awning.

In order to minimize the disturbance to Canopy No. 5's historic character the canopy shall be cut back, only as needed, to accommodate street trees; the fascia shall be reinstalled on the shortened canopy with details similar to the original; the existing roofing shall be removed and replaced with similar roofing after installation of the shortened canopy; and a new gutter shall be added to the fascia and new down spouts will be added.

We will do our best to match the existing design of canopies being modified if replacement materials need to be used.

As discussed earlier, the proposed project will not affect access to the shoreline. The project site is located about 400 feet from the Honolulu Harbor at River Street and extends further from the Harbor at Bethel Street (about 650 feet).

2. **The action would not curtail the range of beneficial uses of the environment.**

The project will not curtail the range of beneficial uses of the environment. The project site is situated in a roadway right-of-way and will be redeveloped with similar roadway appurtenances which will not affect any environmentally sensitive area and will not curtail beneficial uses of the surrounding urban environment.

3. **The proposed action does not conflict with the state's long-term environmental policies or goals and guidelines.**

The State's environmental policies and guidelines are set forth in Chapter 344, Hawaii Revised Statutes, "State Environmental Policy". The broad policies set forth include conservation of natural resources and enhancement of the quality of life. As discussed earlier, the project does not affect significant natural resources. It is the objective of the City and County of Honolulu to preserve and enhance the historic character of Chinatown and in doing so the proposed sidewalk improvements will enhance the appearance of the street scape and allow for greater pedestrian linkages within and connecting outside Chinatown, enhancing the quality of life for residents and visitors to the Chinatown area.

4. **The economic or social welfare of the community or state would not be substantially affected.**

The project will give a temporary boost to the State's economy with the provision of short-term construction employment and related tax impacts.

The social welfare of the community would be positively affected by the improvements which will enhance the pedestrian experience in the Chinatown Historic District.

5. The proposed action does not substantially affect public health.

The proposed action will not affect public health.

6. No substantial secondary impacts, such as population changes or effects on public facilities, are anticipated.

The proposed sidewalk widening and improvement project will not affect the island's population growth or existing public facilities.

7. No substantial degradation of environmental quality is anticipated.

The project will not have a long term adverse impact on environmental quality on this section of King Street. In order to mitigate temporary construction impacts on air quality, the contractor will be directed to incorporate frequent (twice daily) watering of exposed soil and gravel areas. Contractors working on the project will also be directed to insure that their vehicles engines are properly maintained to insure efficient operation and minimized vehicle exhaust fumes.

In order to mitigate temporary construction impacts on noise, the contractors will be directed to insure that vehicle and equipment engines are properly maintained to insure efficient operation. Further mitigation of noise impacts will be provided by insuring that contractors comply with existing noise regulations of the State and County.

In order to mitigate temporary construction impacts on water quality, best management practices will be followed in minimizing drainage impacts to the near shore waters.

8. **The proposed action does not involve a commitment to larger actions, nor would cumulative impacts result in considerable effects on the environment.**

The proposed project does not involve a commitment to larger actions nor will it result in cumulative impacts to the environment.

The proposed sidewalk improvements will not generate future projects, creating a cumulative impact.

9. **No rare, threatened or endangered species or their habitats would be affected.**

No rare, threatened, or endangered species or their habitats would be affected.

10. **Air quality, water quality or ambient noise levels would not be detrimentally affected.**

In order to mitigate temporary construction impacts on air quality, the contractor will be directed to incorporate frequent (twice daily) watering of exposed soil and gravel areas. Contractors working on the project will also be directed to ensure that their vehicles engines are properly maintained to insure efficient operation and minimize vehicle exhaust fumes.

In order to mitigate temporary construction impacts on noise, contractors will be directed to insure that vehicle and equipment engines are properly maintained to insure efficient operation.

Further mitigation of noise impacts will be provided by insuring that contractors comply with existing noise regulations of the State and County.

In order to mitigate temporary construction impacts on water quality, best management practices will be followed in minimizing drainage impacts to the near shore waters.

11. **The project would not affect environmentally sensitive areas, such as flood plains, tsunami zones, erosion-prone areas, geologically hazardous lands, estuaries, fresh waters or coastal waters.**

No environmentally sensitive area would be affected by the proposed sidewalk improvements.

12. **Substantially affects scenic vistas and viewplanes identified in county or state plans or studies.**

The proposed sidewalk widening improvements including the street trees will not impact on important coastal views, since the views of the coastline are presently blocked by buildings along the makai side of King Street, except at the intersections which will not contain street trees.

13. **Requires substantial energy consumption.**

The proposed sidewalk improvements will not require substantial energy consumption.

VIII. CONCLUSION

Based on the foregoing Final Environmental Assessment, the applicant respectfully requests your consideration of a Finding of No Significant Impact (FONSI). The project will be developed and constructed in a fashion that will be sensitive to the environment.

APPENDIX I

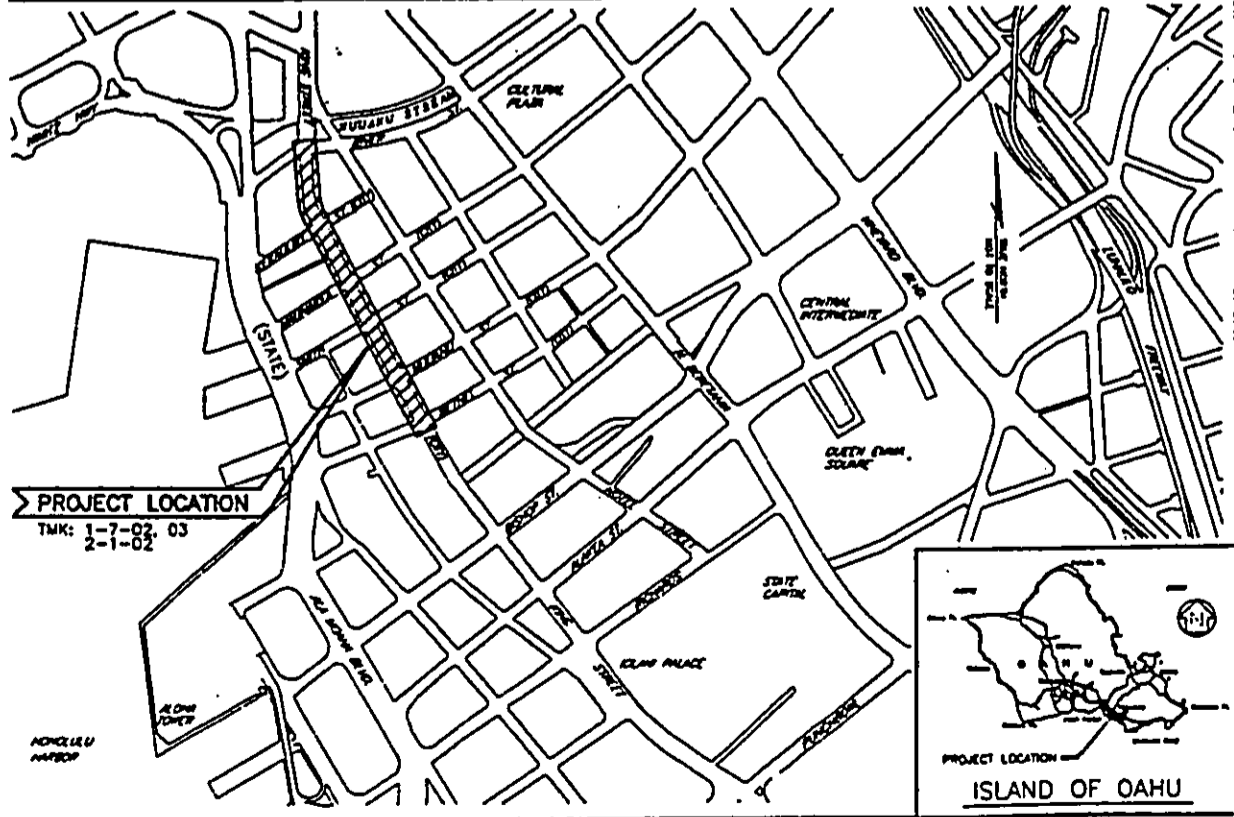
PLANS

JOB NO. 18-98

MISCELLANEOUS SIDEWALK IMPROVEMENTS PART II - CHINATOWN HONOLULU, OAHU, HAWAII

DEPARTMENT OF DESIGN AND CONSTRUCTION
CITY AND COUNTY OF HONOLULU

PREPARED BY
SHIMABUKURO, ENDO & YOSHIZAKI, INC.

LOCATION MAP	APPROVED
 <p>PROJECT LOCATION TMK: 1-7-02-03 2-1-02</p> <p>ISLAND OF OAHU</p>	<p><i>[Signature]</i> 11/20/98 DIRECTOR OF DESIGN AND CONSTRUCTION DATE</p> <p>JAN. SALAMBA, DIRECTOR DEPARTMENT OF PLANNING AND PERMITTING DATE</p>

NO. 18-98

SIDEWALK IMPROVEMENTS - CHINATOWN KUALA, OAHU, HAWAII

DESIGN AND CONSTRUCTION
COUNTY OF HONOLULU

PREPARED BY
TOSORO, ENDO & YOSHIZAKI, INC.



THE WORK WAS REVIEWED BY ME OR
UNDER MY SUPERVISION
Stanley S. Puhala
REGISTERED PROFESSIONAL ENGINEER
1124 17th Avenue
Honolulu, Hawaii 96814

APPROVED		INDEX OF DRAWINGS					
		SHEET NO.	A&E NO.	TITLE	SHEET NO.	A&E NO.	TITLE
 STANLEY S. PUHALA COUNTY OF HONOLULU DIRECTOR OF PLANNING AND PERMITTING DATE: 11/20/98	1	T-1	TITLE SHEET	32	L-1	LANDSCAPE IRRIGATION & PLANTING PLAN RIVER ST. TO KEOALUKE ST.	
	2	C-1	NOTES	33	L-2	LANDSCAPE IRRIGATION & PLANTING PLAN KEOALUKE ST. TO BETHEL ST.	
	3	C-2	GENERAL PLAN AND ABBREVIATIONS	34	L-3	LANDSCAPE DETAILS	
	4	C-3	EXISTING SITE CONDITIONS—STA. (-)3+00 TO 5+00	35	E-1	ELECTRICAL SYMBOLS, GENERAL NOTES AND EQUIPMENT SCHEDULE	
	5	C-4	EXISTING SITE CONDITIONS—STA. 5+00 TO 15+00	36	E-2	NOTES	
	6	C-5	PLAN AND PROFILE - STA. 0+00 TO 5+00	37	E-3	ELECTRICAL DEMOLITION PLAN "A"	
	7	C-6	PLAN AND PROFILE - STA. 5+00 TO 10+00	38	E-4	ELECTRICAL DEMOLITION PLAN "B"	
	8	C-7	PLAN AND PROFILE - STA. 10+00 TO 14+00	39	E-5	ELECTRICAL DEMOLITION PLAN "C"	
	9	C-8	TYPICAL SIDEWALK SECTIONS AND DETAILS	40	E-6	STREET LIGHT PLAN - I	
	10	C-9	HAWAIIAN ELECTRIC CO. WULF AND MISC. DETAILS	41	E-7	STREET LIGHT PLAN - II	
	11	C-10	DRAINAGE AND MISCELLANEOUS DETAILS	42	E-8	STREET LIGHT PLAN - III	
	12	C-11	CURB RETURN DETAILS	43	E-9	KING ST./RIVER ST. TRAFFIC SIGNAL PLAN	
	13	C-12	STRIPING PLAN - STA. (-)3+00 TO 5+00	44	E-10	KING ST./KEOALUKE ST. TRAFFIC SIGNAL PLAN	
	14	C-13	STRIPING PLAN - STA. 5+00 TO 14+75	45	E-11	KING ST./MUNAKA ST. TRAFFIC SIGNAL PLAN	
	15	A-1	CANOPY MODIFICATIONS - RIVER ST. TO KEOALUKE MALL	46	E-12	KING ST./SMITH ST. TRAFFIC SIGNAL PLAN	
	16	A-2	CANOPY MODIFICATIONS - SMITH ST. TO MAUNU AVE.	47	E-13	KING ST./MAUNU AVE. TRAFFIC SIGNAL PLAN	
	17	A-3	CANOPY MODIFICATIONS - MAUNU AVE. TO BETHEL ST.	48	E-14	KING ST./BETHEL ST. TRAFFIC SIGNAL PLAN	
	18	A-4	CANOPY PROFILES—EXISTING, NEW & PROPOSED	49	E-15	TRAFFIC SIGNAL POLE AND HEAD SCHEDULE	
	19	A-5	REPAIRING OF SIDEWALKS - RIVER ST. TO KEOALUKE MALL	50	E-16	TRAFFIC SIGNAL DETAILS - I	
	20	A-6	REPAIRING OF SIDEWALKS - RIVER ST. TO KEOALUKE MALL	51	E-17	TRAFFIC SIGNAL DETAILS - II	
	21	A-7	REPAIRING OF SIDEWALKS - KEOALUKE MALL TO MUNAKA ST.	52	E-18	TRAFFIC SIGNAL DETAILS - III	
	22	A-8	REPAIRING OF SIDEWALKS - MUNAKA ST. TO SMITH ST.	53	E-19	TRAFFIC SIGNAL DETAILS - IV	
	23	A-9	REPAIRING OF SIDEWALKS - SMITH ST. TO MAUNU AVE.	54	E-20	TRAFFIC SIGNAL DETAILS - V	
	24	A-10	REPAIRING OF SIDEWALKS - MAUNU AVE. TO BETHEL ST.	55	E-21	TYPICAL DUCT SECTIONS	
	25	A-11	MISC. CANOPY & PAVING DETAILS	56	E-22	TRAFFIC SIGNAL PULLBOX DETAILS	
	26	S-1	GENERAL NOTES	57	E-23	STREET LIGHT DETAILS	
	27	S-2	PARTIAL PLANS—CANOPY #1, #2 & #3	58	E-24	ELECTRIC SERVICE DETAILS	
	28	S-3	PARTIAL PLANS—CANOPY #7 & #8	59	E-25	STREET LIGHT PULLBOX DETAILS (CAC)	
	29	S-4	PARTIAL PLANS—CANOPY #9 & #11	60	E-26	ONE-LINE DIAGRAM	
	30	S-5	PARTIAL PLANS—CANOPY #12 & #13	61	E-27	TRAFFIC SIGNAL CAMERA DETAILS	
	31	S-6	PARTIAL PLAN & CANOPY #5	62	E-28	HISTORIC BUILDING WALKER TABLE FOR KING STREET FRONTAGES	
			63	E-29	NOTES FOR HAWAIIAN ELECTRIC CO. AND TOSORO GAS COMPANY GENERAL CONSTRUCTION NOTES FOR CPE HAWAIIAN TEL FACILITIES		

T-1 SHEET 1 OF 63

MISC. SIDEWALK IMPROVEMENTS. PART II - CHINATOWN

GENERAL NOTES

1. ALL CONSTRUCTION WORK (EXCEPT WORK WITHIN STATE RIGHT-OF-WAY) SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SEPTEMBER 1988" AND "STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, SEPTEMBER 1984," AS AMENDED, OF THE DEPARTMENT OF PUBLIC WORKS, CITY AND COUNTY OF HONOLULU AND THE COUNTIES OF MAUI, MOLOKAI AND HAWAII.
2. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION BRANCH, DIVISION OF CONSTRUCTION MANAGEMENT AT 523-4883, SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK.
3. THE UNDERGROUND PIPES, CABLES OR DUCT LINES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING THE AREA. WHEREVER CONNECTIONS OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR THE NEW LINES.
4. THE EXISTING UTILITIES HAVE BEEN SHOWN ON THESE PLANS INsofar AS IT IS POSSIBLE TO DO SO. THEIR LOCATIONS AS SHOWN ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL MAKE AN INDEPENDENT CHECK ON THE GROUND AND WITH THE VARIOUS UTILITY COMPANIES AND GOVERNMENTAL AGENCIES TO ASCERTAIN THE EXISTENCE AND THE EXACT LOCATIONS OF ALL UTILITIES.
5. ALL EXISTING UTILITIES TO REMAIN IN USE, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE PROTECTED AT ALL TIMES BY THE CONTRACTOR DURING CONSTRUCTION UNLESS SPECIFIED ON THE PLANS TO BE ABANDONED. ANY DAMAGE TO THE EXISTING UTILITIES SHOWN ON THE PLANS OR MADE KNOWN TO THE CONTRACTOR SHALL BE REPAIRED AND PAID FOR BY THE CONTRACTOR.
6. UNLESS RELOCATION IS CALLED FOR ON THE PLANS, EXISTING UTILITIES SHALL REMAIN IN SERVICE AND IN PLACE. IF RELOCATION OF EXISTING UTILITIES IS REQUIRED FOR THE CONTRACTOR'S CONVENIENCE, INTERRUPTION OF SERVICE SHALL BE KEPT TO A MINIMUM AND SHALL BE DONE AT THE CONTRACTOR'S EXPENSE AND ONLY WITH THE APPROVAL OF THE ENGINEER.
7. VERIFY AND CHECK ALL DIMENSIONS AND DETAILS SHOWN ON THE DRAWINGS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE WITH THE APPLICABLE PROVISIONS OF CHAPTER 54, "WATER QUALITY STANDARDS," AND CHAPTER 55, "WATER POLLUTION CONTROL OF TITLE 11, ADMINISTRATIVE RULES OF THE STATE DEPARTMENT OF HEALTH."
9. NO CONTRACTOR SHALL PERFORM ANY TRENCHING OPERATION SO AS TO CAUSE FALLING ROCKS, SOIL OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE COSTS INCURRED FOR ANY REMEDIAL ACTION BY THE CHIEF ENGINEER SHALL BE PAYABLE BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL NOTIFY THE ENGINEER UPON UNCOVERING ANY POTENTIAL HISTORICAL ARTIFACTS OR ITEMS OF ARCHAEOLOGICAL SIGNIFICANCE.
11. THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
12. THE CONTRACTOR SHALL OBTAIN A CONSTRUCTION DEWATERING INTO STORM DRAINAGE SYSTEM PERMIT FROM THE DEPARTMENT OF PLANNING & PERMITTING, DIVISION OF ENGINEERING, FOR WORK INVOLVING DEWATERING DISCHARGE ONTO PUBLIC RIGHT-OF-WAY AND/OR INTO STORM DRAINAGE SYSTEM.
13. THE CONTRACTOR SHALL OBTAIN APPROVALS OF NOTICES OF INTENT FOR COVERAGE UNDER THE MPOES GENERAL PERMITS AS REQUIRED FROM THE STATE DEPARTMENT OF HEALTH.

GASCO NOTES

1. BHP GAS COMPANY GAS PIPELINES IN THE PROJECT AREA ARE PLASTIC COATED AND CATHODICALLY PROTECTED. THE CONTRACTOR SHALL BE EXTREMELY CAREFUL WHEN WORKING NEAR THESE GAS PIPELINES.
2. WRITTEN CLEARANCE MUST BE OBTAINED FROM BHP GAS COMPANY AT LEAST FIVE WORKING DAYS PRIOR TO STARTING EXCAVATION NEAR THESE GAS PIPELINES. SINCE GAS LINE LOCATIONS ON FIELD MAPS ARE APPROXIMATE, THE CONTRACTOR, AFTER OBTAINING WRITTEN CLEARANCE, SHALL CALL BHP GAS COMPANY, AT LEAST FIVE WORKING DAYS BEFORE STARTING EXCAVATION TO ARRANGE FOR FIELD LOCATION OF THE EXISTING GAS LINES. THE TELEPHONE NUMBER IS 594-5575 DURING BUSINESS HOURS AND 526-0066 AFTER HOURS.
3. THE CONTRACTOR SHALL NOTIFY BHP GAS COMPANY IMMEDIATELY AFTER ANY DAMAGE HAS BEEN CAUSED TO EXISTING GAS PIPELINES, COATINGS, OR ITS CATHODIC PROTECTION DEVICES. REPAIR WORK ON SUCH DAMAGE SHALL BE DONE BY BHP GAS COMPANY AND PAID FOR BY THE CONTRACTOR.
4. MINIMUM VERTICAL OR HORIZONTAL CLEARANCE BETWEEN GAS PIPELINES AND OTHER PIPELINES, CONDUITS, DUCTLINES OR OTHER FACILITIES SHALL BE 12 INCHES. ADEQUATE SUPPORT AND PROTECTION FOR GAS PIPELINES EXPOSED IN THE TRENCH SHALL BE PROVIDED AND APPROVED BY BHP GAS COMPANY.
5. THE CONTRACTOR SHALL WORK IN AN EXPEDITIOUS MANNER IN ORDER TO KEEP UNCOVERED GAS PIPELINES EXPOSED FOR AS SHORT A PERIOD OF TIME AS POSSIBLE.

TRAFFIC NOTES FOR CONSTRUCTION WITHIN CITY RIGHT-OF-WAY

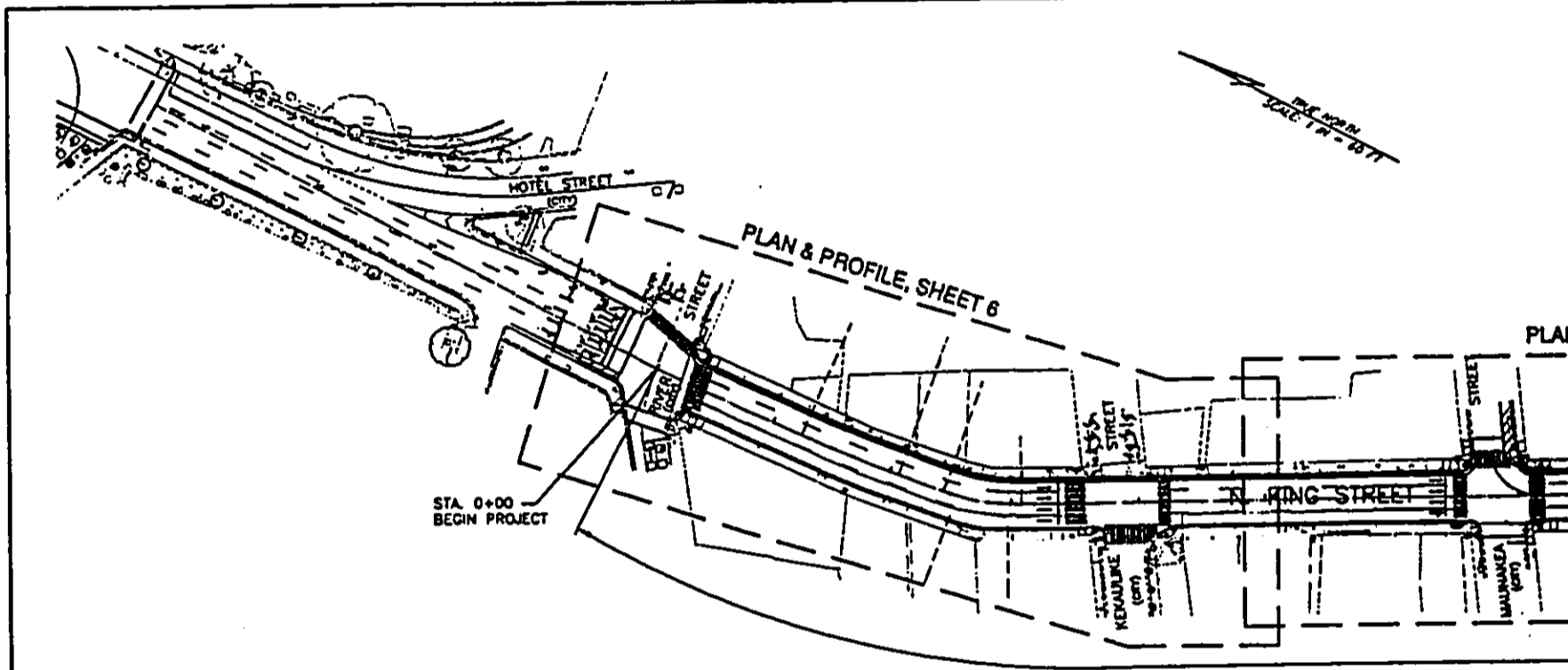
1. A PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT OF TRANSPORTATION SERVICES BEFORE WORK ON ANY PORTION OF A PUBLIC STREET OR HIGHWAY MAY BEGIN.
2. THE CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN ALL NECESSARY SIGNS AND OTHER PROTECTIVE FACILITIES, WHICH SHALL CONFORM WITH THE HAWAII ADMINISTRATION RULES GOVERNING THE USE OF TRAFFIC CONTROL DEVICES AT WORK SITES ON OR ADJACENT TO PUBLIC STREETS AND HIGHWAYS ADOPTED BY THE DIRECTOR OF TRANSPORTATION, AND THE CURRENT U.S. FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, PART VI-TRAFFIC CONTROLS FOR STREET AND HIGHWAY CONSTRUCTION AND MAINTENANCE OPERATIONS."
3. WORK ON ANY CITY STREET AREA MAY BE PERFORMED ONLY BETWEEN THE HOURS OF 8:30 A.M. TO 3:30 P.M., MONDAY THROUGH FRIDAY, UNLESS OTHERWISE PERMITTED BY THE DEPARTMENT OF TRANSPORTATION SERVICES.
4. DURING WORKING HOURS, THE CONTRACTOR SHALL PROVIDE TWO LANES FOR THROUGH TRAFFIC, UNLESS OTHERWISE ALLOWED BY THE CITY OR THE ENGINEER. DURING NON-WORKING HOURS ALL TRENCHES AND OTHER CONSTRUCTION WORK SHALL BE COVERED AND MADE SAFE WITH NON-SKID BRIDGING MATERIAL AND ALL LANES SHALL BE OPEN TO TRAFFIC, EXCEPT AS OTHERWISE ALLOWED BY THE CITY OR THE ENGINEER.
5. AS REQUIRED BY THE DEPARTMENT OF TRANSPORTATION SERVICES, THE CONTRACTOR SHALL PROVIDE OFF-DUTY POLICE OFFICERS TO CONTROL THE FLOW OF TRAFFIC.
6. DRIVEWAYS SHALL BE KEPT OPEN, EXCEPT AS NOTED ON THE PLANS UNLESS THE OWNERS OF THE PROPERTY USING THESE RIGHTS-OF-WAY ARE OTHERWISE PROVIDED FOR SATISFACTORILY.
7. A ROADWAY MAY BE CLOSED ONLY WITH THE EXPRESS PERMISSION OF THE DEPARTMENT OF TRANSPORTATION SERVICES.
8. WHERE PEDESTRIAN WALKWAYS EXIST, THEY SHALL BE MAINTAINED IN PASSABLE CONDITION OR OTHER FACILITIES FOR PEDESTRIANS SHALL BE PROVIDED. PASSAGE BETWEEN WALKWAYS AT INTERSECTIONS SHALL LIKEWISE BE PROVIDED.
9. THE CONTRACTOR SHALL REFERENCE TO THE APPROVAL OF THE DEPARTMENT OF TRANSPORTATION SERVICES, ALL EXISTING TRAFFIC SIGNS, POSTS AND PAVEMENT MARKINGS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNS, POSTS, AND PAVEMENT MARKINGS DISTURBED BY HIS ACTIVITIES. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF TRANSPORTATION SERVICES AT 523-4029 ONE (1) WEEK PRIOR TO ANY WORK TO BE DONE ON SIGNS, POSTS AND PAVEMENT MARKINGS.
10. NO MATERIAL AND/OR EQUIPMENT SHALL BE STOCKPILED OR OTHERWISE STORED WITHIN STREET RIGHTS-OF-WAY EXCEPT AT LOCATIONS DESIGNATED IN WRITING AND APPROVED BY DEPARTMENT OF TRANSPORTATION SERVICES.
11. THE CONTRACTOR SHALL DEMONSTRATE TO THE APPROVAL OF THE ENGINEER THAT CONSTRUCTION TRAFFIC CONTROL DEVICES ARE INSTALLED IN ACCORDANCE WITH THE MUTCD AND HAWAII ADMINISTRATION RULES AS SPECIFIED IN NOTE 2.

ELECTRICAL & MAINTENANCE SERVICES DIVISION NOTES

1. THE CONTRACTOR SHALL NOTIFY THE JOINT POLE COMMITTEE TWO (2) WEEKS IN ADVANCE OF ANY RELOCATION OF UTILITY POLE(S) THAT MAY BE NECESSARY.
2. THE CONTRACTOR SHALL NOTIFY THE ELECTRICAL & MAINTENANCE SERVICES DIVISION, DEPARTMENT OF TRANSPORTATION SERVICES, THREE (3) WORKING DAYS PRIOR TO COMMENCING WORK ON THE STREET LIGHTING SYSTEM (PHONE: 527-5002).
3. THE CONTRACTOR SHALL NOTIFY THE ELECTRICAL & MAINTENANCE SERVICES DIVISION, DEPARTMENT OF TRANSPORTATION SERVICES, THREE (3) WORKING DAYS PRIOR TO COMMENCING WORK ON THE TRAFFIC SIGNAL SYSTEM (PHONE: 523-4589).
4. THE CONTRACTOR SHALL NOTIFY THE ELECTRICAL & MAINTENANCE SERVICES DIVISION, DEPARTMENT OF TRANSPORTATION SERVICES, THREE (3) WORKING DAYS PRIOR TO COMMENCING WORK ON THE FIBER OPTIC SYSTEM (PHONE: 523-4589).
5. THE STREET LIGHTING, TRAFFIC SIGNAL, AND FIBER OPTIC SYSTEMS SHALL BE KEPT OPERATIONAL DURING CONSTRUCTION. ANY RELOCATION OR CHANGEOVER REQUIRED SHALL BE APPROVED BY THE ELECTRICAL & MAINTENANCE SERVICES DIVISION, DEPARTMENT OF TRANSPORTATION SERVICES, AND PERFORMED AND PAID FOR BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO EXISTING STREET LIGHTING, TRAFFIC SIGNAL, AND FIBER OPTIC FACILITIES, INCLUDING THE TRAFFIC SIGNAL INTERCONNECT SYSTEM, AND ANY AND ALL DAMAGES TO THESE FACILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS COST IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND COUNTY OF HONOLULU.

SEWER NOTES

1. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS, SEPT. 1988, 1984, CURRENT CITY PRACTICE AMENDED, AND THE DESIGN VOL. 1, JULY 1993.
2. THE CONTRACTOR SHALL NO MANAGEMENT AT 527-5820 SUBMIT FOUR SETS OF APP COMMENCEMENT OF SEWER
3. THE UNDERGROUND PIPES, HIS RESEARCH OF RECORDS THE LOCATION AND DEPTH THE AREA. THE CONTRACTOR UTILITIES.
4. THE CONTRACTOR SHALL BE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC UTILITIES.
5. RESPONSIBLE FOR ALL PUBLIC UTILITIES.
6. FOR ENTRY BY CITY PERSONNEL REQUIRED CONFIRMED SPACE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC UTILITIES.
 - A. ALL SAFETY EQUIPMENT APPLICABLE TO ALL TO INCLUDE, BUT NOT LIMITED TO:
 1. FULL BODY HARN
 2. LIFELINE AND AS
 3. INGRESS/EGRESS
 4. TWO-WAY RADIOS
 5. EMERGENCY (ESC
 6. CELLULAR TELEPH
 7. CONTINUOUS GAS HYDROGEN SULF OF MONITORING
 8. PERSONAL MULTIT
 - B. CONTINUOUS FORCED ENTRY CONDITIONS.
 - C. ONE ATTENDANCE/RE INTO A CONFINED S
7. FOR SIGN ADJUSTMENT UPW FOR SIGN ADJUSTMENT UPW BELOW CORNE SECTION.
8. TREES SHALL BE SITUATED



PLAN & PROFILE, SHEET 6

GENERAL PLAN
SCALE: 1"=60'

ABBREVIATIONS

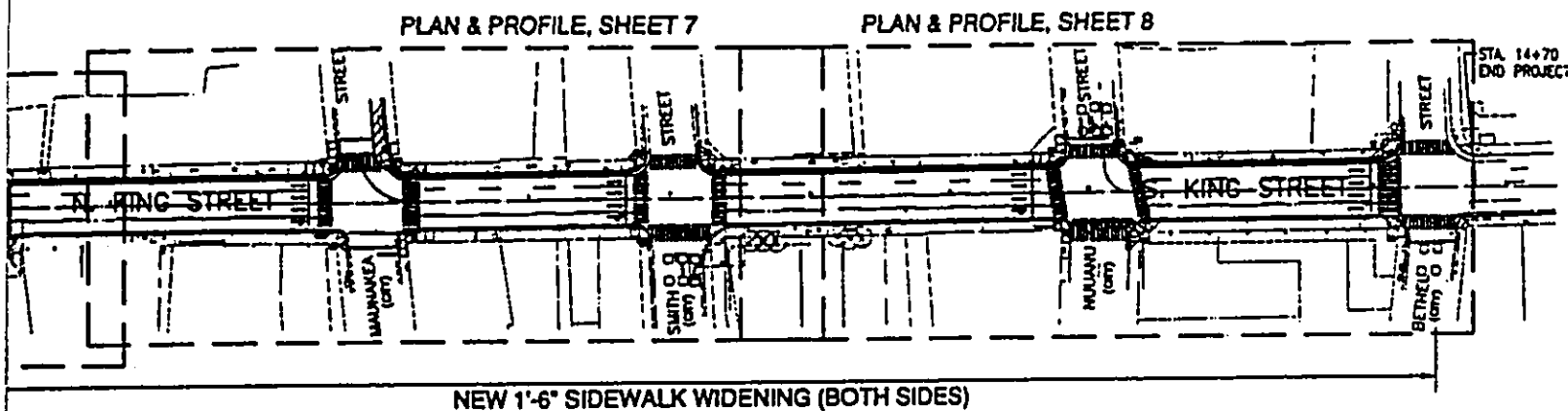
ATM	AUTOMATIC TELLER MACHINE
B/C	BOTTOM CURB
B/L	BASILINE
BFP	BACKFLOW PREVENTER
BM	BENCH MARK
C&C	CITY AND COUNTY OF HONOLULU
CATV	UNDERGROUND CABLEVISION CABLE
CB	CATCH BASIN
CSDMH	CAST IRON STORM DRAIN MANHOLE
CO	CLEAN OUT
CONC.	CONCRETE
D	DRAIN LINE
DET.	DETAIL
DI	DRAIN INTAKE
ELEV.	ELEVATION
EX.	EXISTING
EXST.	EXISTING
EXT.	EXTENSION
FAB	FIRE ALARM BOX
FH	FIRE HYDRANT
FL.	FLOOR
FT.	FEET
G	GAS LINE
GV	GAS VALVE
HEB	HAWAIIAN ELECTRIC BOX
HEMH	HAWAIIAN ELECTRIC COMPANY MANHOLE
HORL	HORIZONTAL
HTB	HAWAIIAN TELEPHONE BOX
HTMH	HAWAIIAN TELEPHONE COMPANY MANHOLE
IMP.	IMPROVEMENTS
INV.	INVERT
LB	STREET LIGHT BOX
LP	STREET LIGHT POLE
MAX	MAXIMUM
MB	MAILBOX
MHL	MURKIN
MTMH	MUTUAL TELEPHONE COMPANY MANHOLE
NO.	NUMBER
P/L	PROPERTY LINE
R	RADIUS
REQ'D	REQUIRED

S	SEWER LINE
SDMH	STORM DRAIN MANHOLE
SLB	SIGNAL LIGHT BOX
SLP	SIGNAL LIGHT POLE
SMH	SEWER MANHOLE
SP	SIGN POLE WITH SIGN
ST.	STREET
STD.	STANDARD
T/C	TOP CURB
TBM	TEMPORARY BENCH MARK
TCB	TRAFFIC CONTROL BOX
TS	TOP OF STEM
TSB	TRAFFIC SIGNAL BOX
TYP.	TYPICAL
U/E	UNDERGROUND ELECTRIC CABLE
U/T	UNDERGROUND TELEPHONE CABLE
UB	UTILITY BOX
UP	UTILITY POLE
VERT.	VERTICAL
W	WATER LINE
W/	WITH
WM	WATER METER
WMH	WATER MANHOLE
WV	WATER VALVE
WVMH	WATER VALVE MANHOLE
#	NUMBER
(I)	WATER METER NUMBER ON INSIDE COVER
(O)	WATER METER NUMBER ON OUTSIDE COVER
o	AT

LEGEND

---S ₈ ---	EXIST. SEWER LINE W/SIZE
---W ₁₂ ---	EXIST. WATER LINE W/SIZE
---D ₁₂ ---	EXIST. STORM DRAIN LINE W/SIZE
---G ₂ ---	EXIST. GAS LINE W/SIZE
---CATV---	EXIST. UNDERGROUND CABLEVISION LINE
---U/E---	EXIST. UNDERGROUND ELECTRICAL LINE
---U/T---	EXIST. UNDERGROUND TELEPHONE LINE

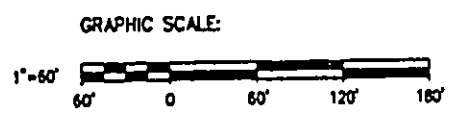
SEE PLAN
SCALE 1/4" = 40 FT



NEW 1'-6" SIDEWALK WIDENING (BOTH SIDES)

GENERAL PLAN
SCALE: 1"=60'

- ND
- EXIST. SEWER LINE W/SIZE
 - EXIST. WATER LINE W/SIZE
 - EXIST. STORM DRAIN LINE W/SIZE
 - EXIST. GAS LINE W/SIZE
 - - - EXIST. UNDERGROUND CABLEVISION LINE
 - - - EXIST. UNDERGROUND ELECTRICAL LINE
 - - - EXIST. UNDERGROUND TELEPHONE LINE



APPROVED:

Chief, Civil Engineering Branch, D.P.P. Date

Chief, Planning & Engineering, D.P.P. Date

Chief, Traffic Review Branch, D.P.P. Date

Chief, Surveying Branch, D.P.P. Date



THIS PLAN WAS PREPARED BY ME OR UNDER MY SUPERVISION.

Stanley S. Shimada
REGISTERED PROFESSIONAL ENGINEER
1134 17th Avenue
Honolulu, Hawaii 96816

NO	DATE	DESCRIPTION	BY	CHK'D BY
		REVISIONS		APPROVED

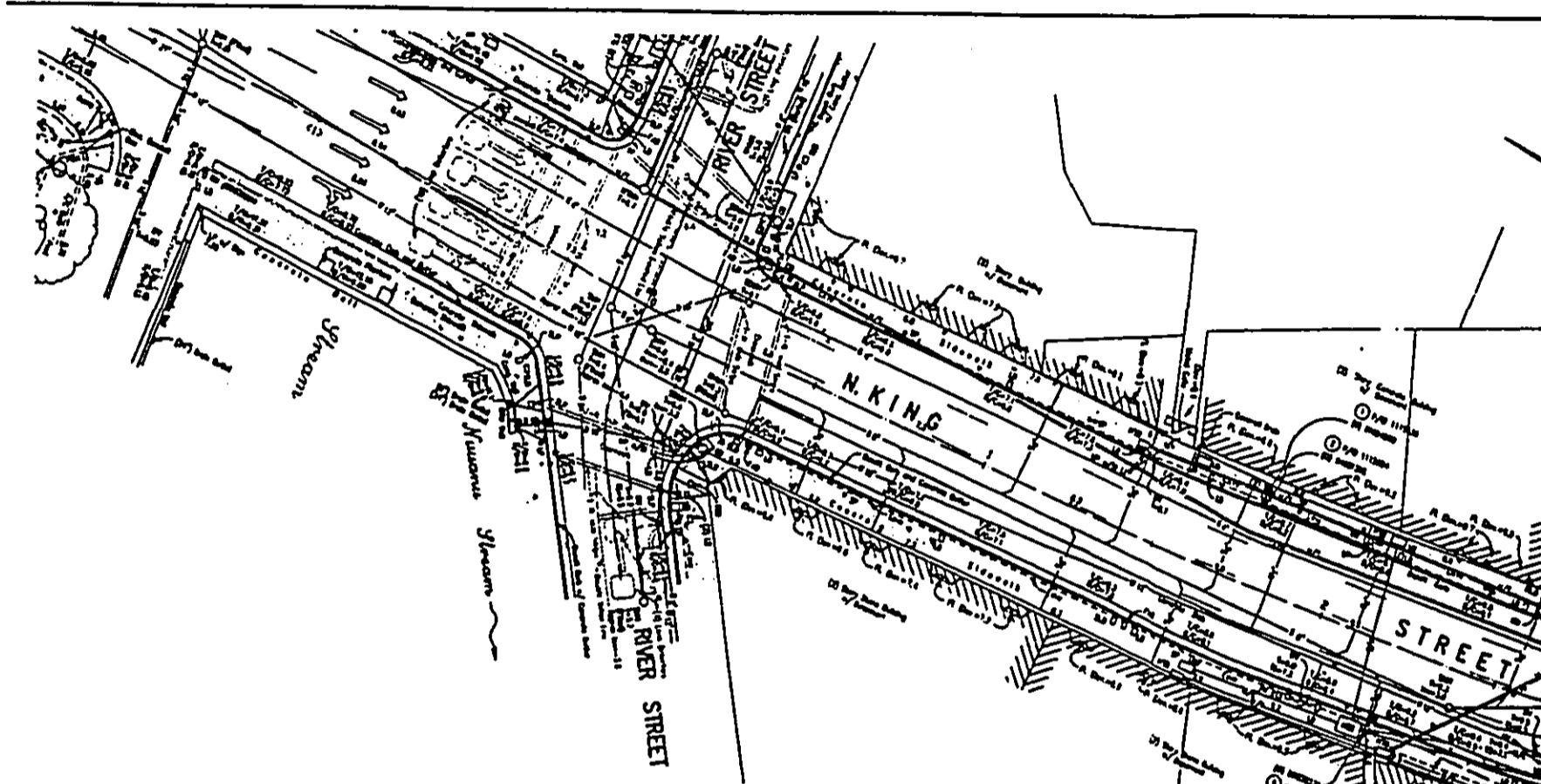
DEPARTMENT OF DESIGN AND CONSTRUCTION
CITY AND COUNTY OF HONOLULU
DIVISION OF INFRASTRUCTURE DESIGN
AND ENGINEERING
MISCELLANEOUS SIDEWALK IMPROVEMENTS
PART II - CHINATOWN
HONOLULU, OAHU, HAWAII

GENERAL PLAN & ABBREVIATIONS

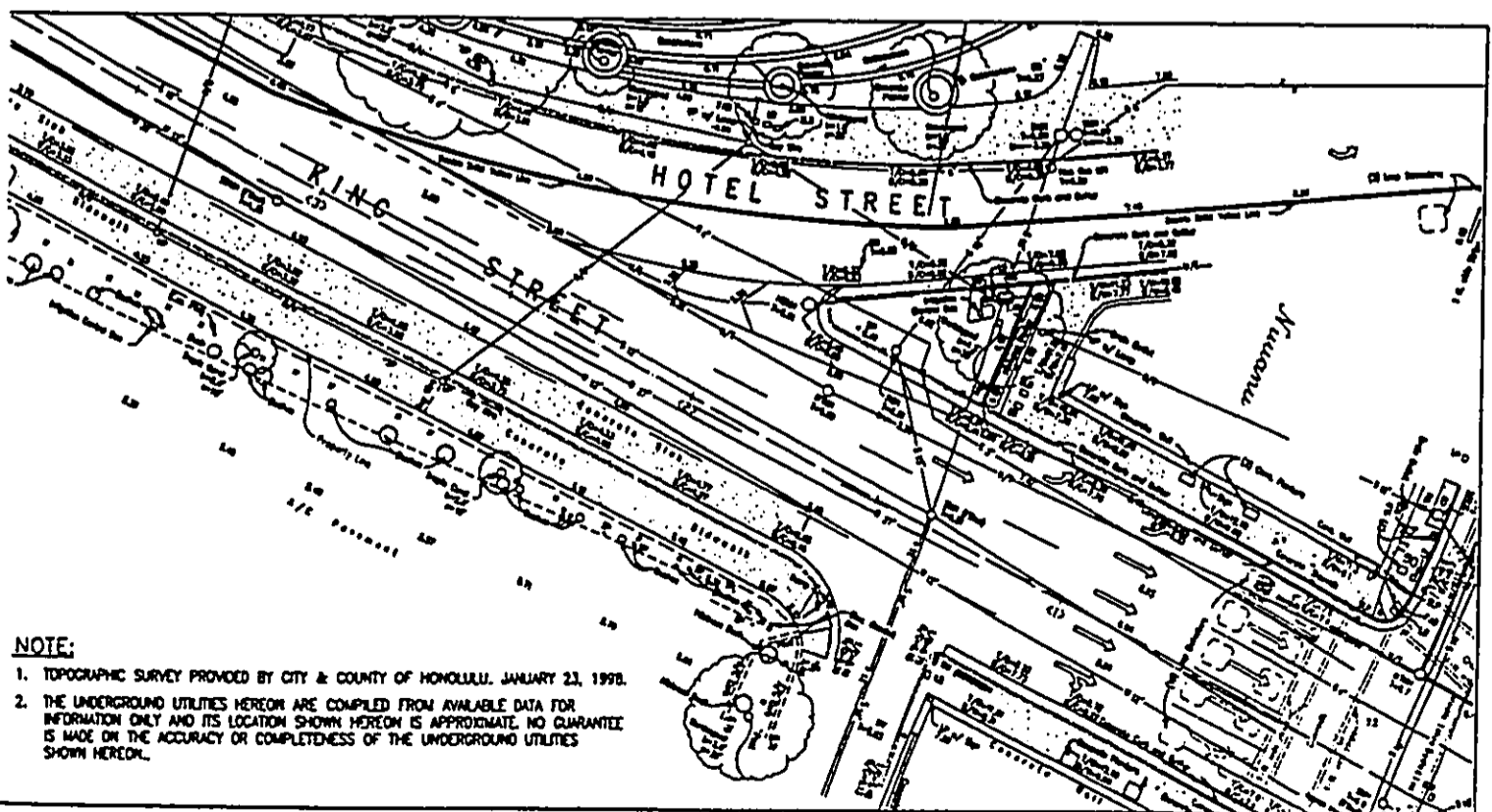
DESIGNED BY: HSC/SSS DATE: _____
DRAWN BY: MTH CHECKED BY: SSS

JOB NO. 18-98

DOCUMENT CAPTURED AS RECEIVED

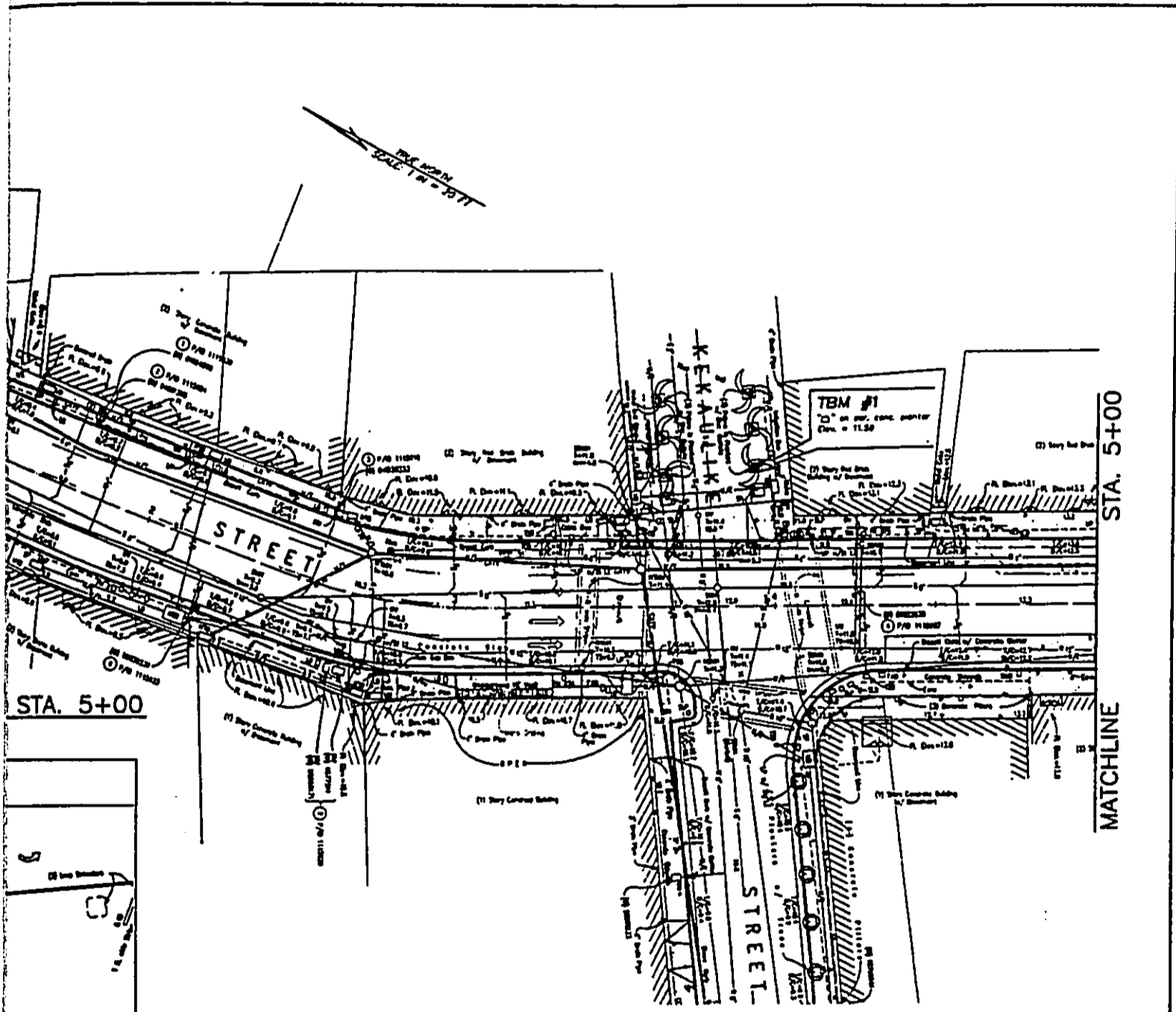


EXISTING SITE CONDITIONS STA. (-) 3+00 TO STA. 5+00
Scale: 1" = 20'



- NOTE:
1. TOPOGRAPHIC SURVEY PROVIDED BY CITY & COUNTY OF HONOLULU, JANUARY 23, 1998.
 2. THE UNDERGROUND UTILITIES HEREON ARE COMPILED FROM AVAILABLE DATA FOR INFORMATION ONLY AND ITS LOCATION SHOWN HEREON IS APPROXIMATE. NO GUARANTEE IS MADE ON THE ACCURACY OR COMPLETENESS OF THE UNDERGROUND UTILITIES SHOWN HEREON.

DOCUMENT CAPTURED AS RECEIVED



STA. 5+00

STA. 5+00
MATCHLINE

APPROVED:

- _____
Chief, Civil Engineering Branch, D.P.P. Date
- _____
Chief, Planning & Engineering, D.P.P. Date
- _____
Chief, Traffic & Transit Branch, D.P.P. Date
- _____
Chief, Maintenance Branch, D.P.P. Date

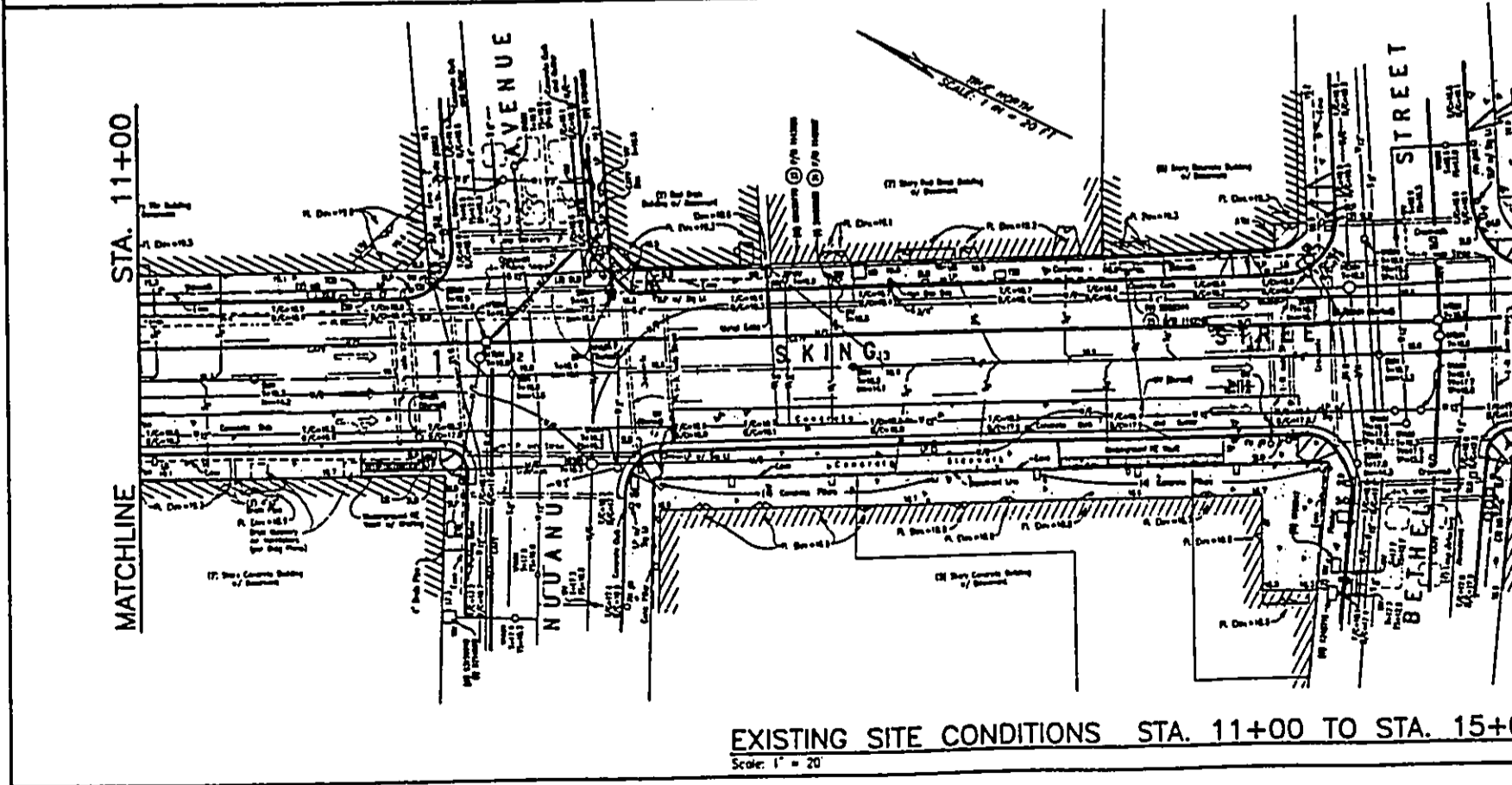
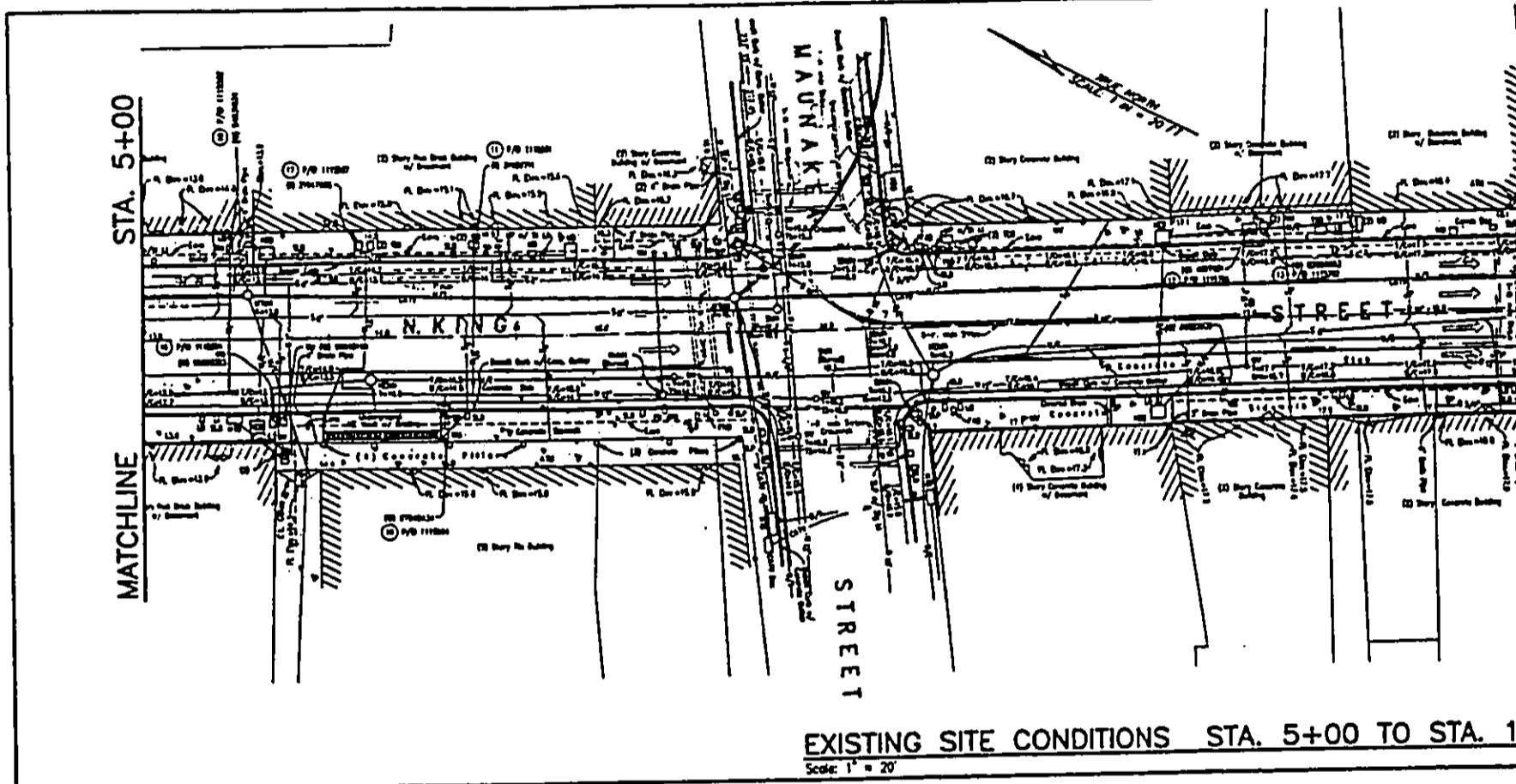


THE STATE OF HAWAII
COUNTY OF HONOLULU
STANLEY S. SPAULDING, P.E.
1122 720 Avenue
Honolulu, Hawaii 96816

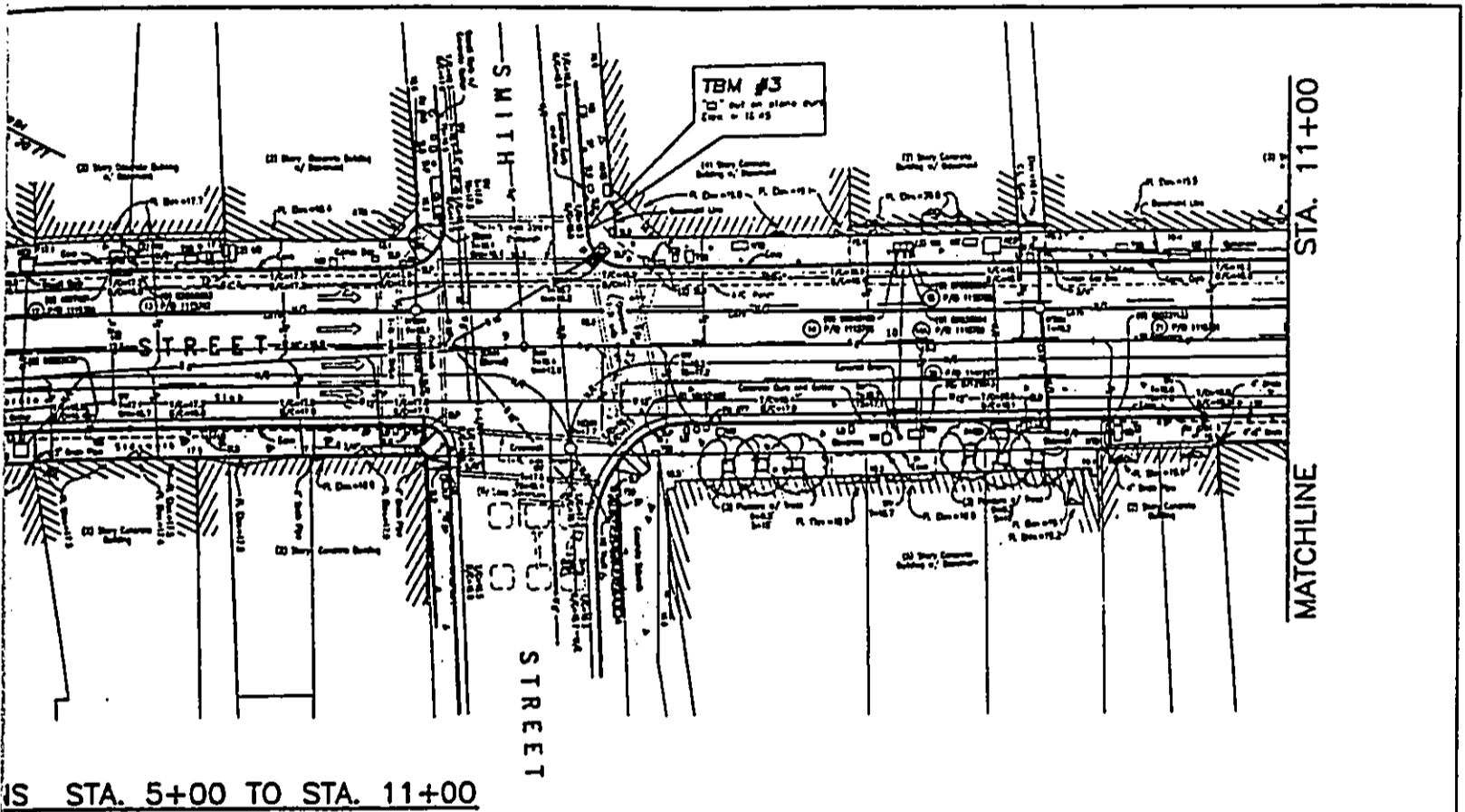
NO.	DATE	DESCRIPTION	ENGR.	APP'D.
REVISIONS				
DEPARTMENT OF DESIGN AND CONSTRUCTION CITY AND COUNTY OF HONOLULU DIVISION OF INFRASTRUCTURE DESIGN AND ENGINEERING MISCELLANEOUS SIDEWALK IMPROVEMENTS PART II - CHINATOWN HONOLULU, OAHU, HAWAII EXISTING SITE CONDITIONS STA. (-)3+00 TO 5+00				
DESIGNED BY	DATE	CHECKED BY	DATE	APPROVED BY
MTS/SSS		MTS	SSS	

JOB NO. 18-98

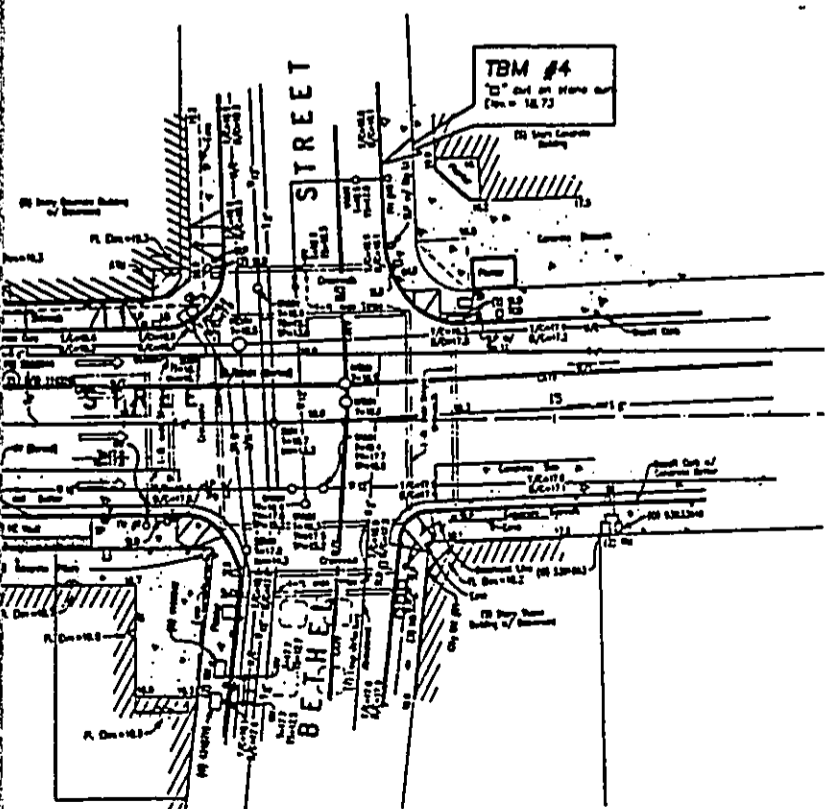
DOCUMENT CAPTURED AS RECEIVED



DOCUMENT CAPTURED AS RECEIVED



IS STA. 5+00 TO STA. 11+00



STA. 11+00 TO STA. 15+00

NOTE:

1. TOPOGRAPHIC SURVEY PROVIDED BY CITY & COUNTY OF HONOLULU, JANUARY 23, 1998.
2. THE UNDERGROUND UTILITIES HEREON ARE COMPILED FROM AVAILABLE DATA FOR INFORMATION ONLY AND ITS LOCATION SHOWN HEREON IS APPROXIMATE. NO GUARANTEE IS MADE ON THE ACCURACY OR COMPLETENESS OF THE UNDERGROUND UTILITIES SHOWN HEREON.

APPROVED:

 Chief, Waterworks Branch, D.P.P. Date

 Chief, Traffic Review Branch, D.P.P. Date

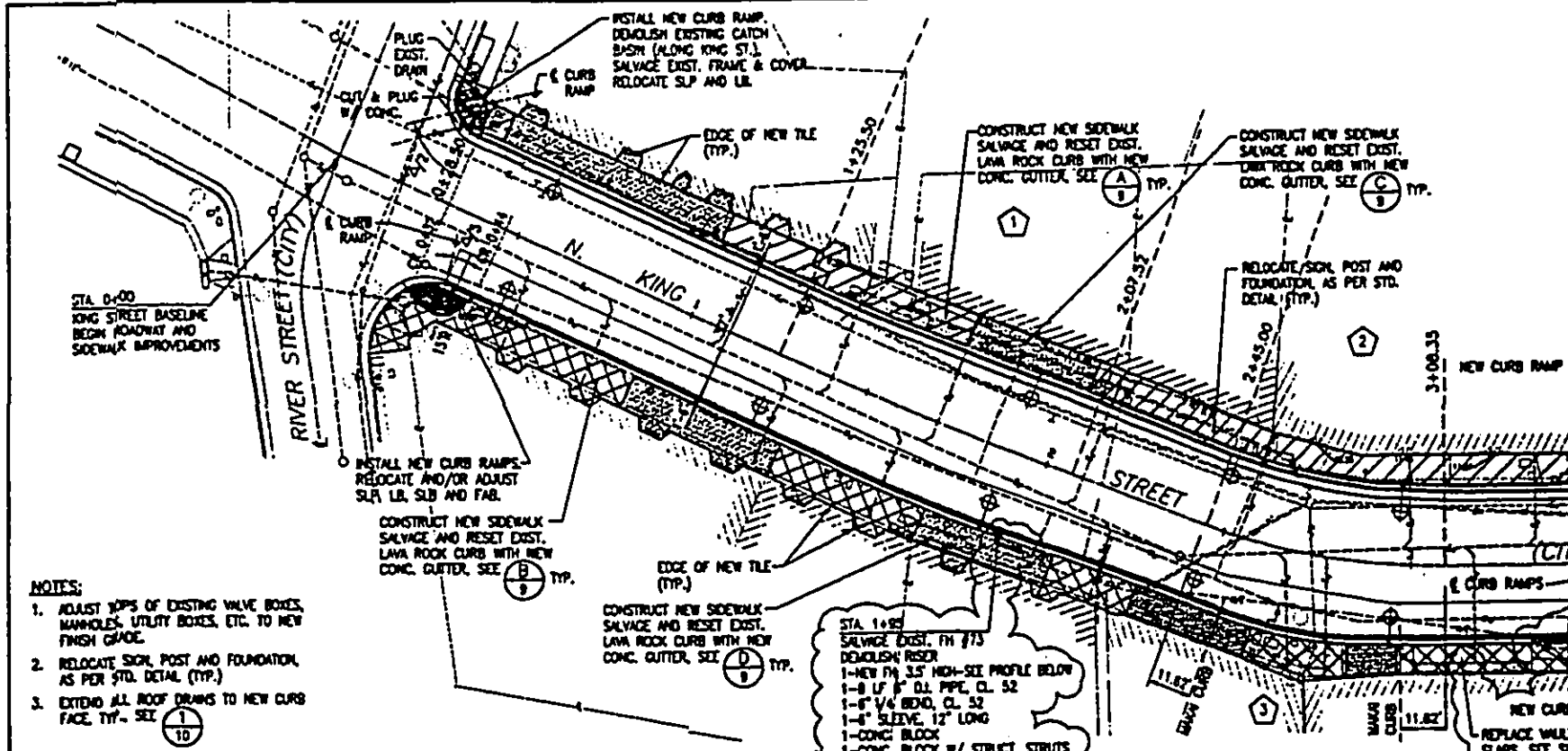
 Chief, Planning & Engineering, BRS Date

NO	DATE	DESCRIPTION	ENGR	APP'D
REVISIONS				
DEPARTMENT OF DESIGN AND CONSTRUCTION CITY AND COUNTY OF HONOLULU DIVISION OF INFRASTRUCTURE DESIGN AND ENGINEERING MISCELLANEOUS SIDEWALK IMPROVEMENTS PART II - CHINATOWN HONOLULU, OAHU, HAWAII EXISTING SITE CONDITIONS STA. 5+00 TO 15+00				
DESIGNED BY	MSE/ESS	DRAWN BY	MTM	CHECKED BY
DATE		DATE		
SCALE		SCALE		



THE STATE ENGINEERS OF HAWAII
 OFFICE OF THE REGISTRAR
 Stanley B. Williams
 1724 12th Avenue
 Honolulu, Hawaii 96813

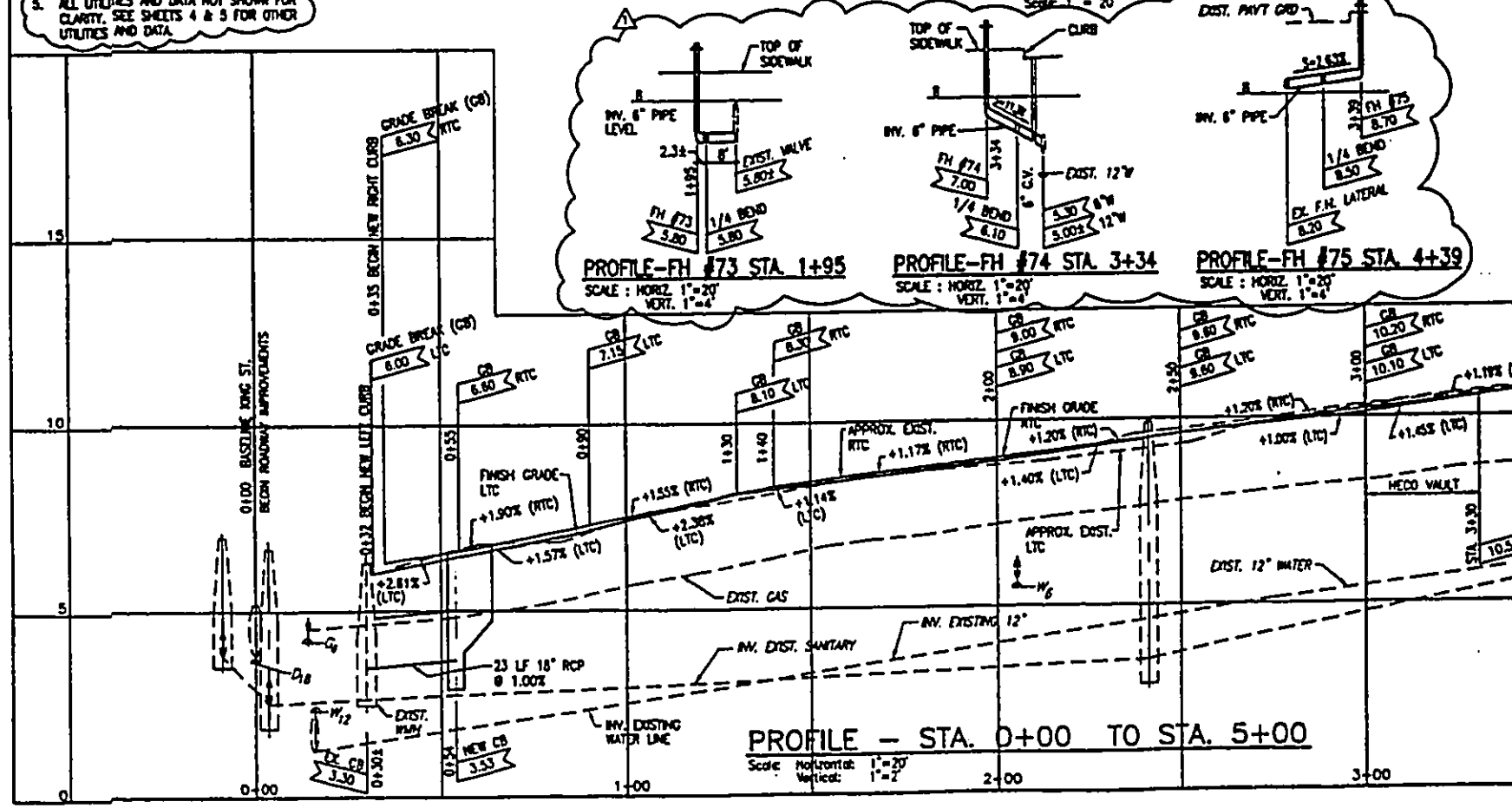
JOB NO. 18-98



- NOTES:**
1. ADJUST TOPS OF EXISTING VALVE BOXES, MANHOLES, UTILITY BOXES, ETC. TO NEW FINISH GRADE.
 2. RELOCATE SIGN POST AND FOUNDATION, AS PER STD. DETAIL (TYP.)
 3. EXTEND ALL ROOF DRAINS TO NEW CURB FACE, TYP. - SEE (1) TYP.
 4. REMOVE ALL EXISTING STRIPING, RESTRIPE AS SHOWN ON SHEET 14 & 15.
 5. ALL UTILITIES AND DATA NOT SHOWN FOR CLARITY, SEE SHEETS 4 & 5 FOR OTHER UTILITIES AND DATA.

STA. 1+95
 SALVAGE EXIST. FH #73
 DEMOLISH RESER.
 1-NEW FH 3.5' HIGH-SEE PROFILE BELOW
 1-8 LF 8" O.D. PIPE, CL. 52
 1-8" 1/4 BOND, CL. 52
 1-8" SLEEVE, 12" LONG
 1-CONC. BLOCK
 1-CONC. BLOCK W/ STRUCT. STRUTS
 RESTRAIN EXIST. G.V.

PLAN - STA. 0+00 TO STA. 5+00

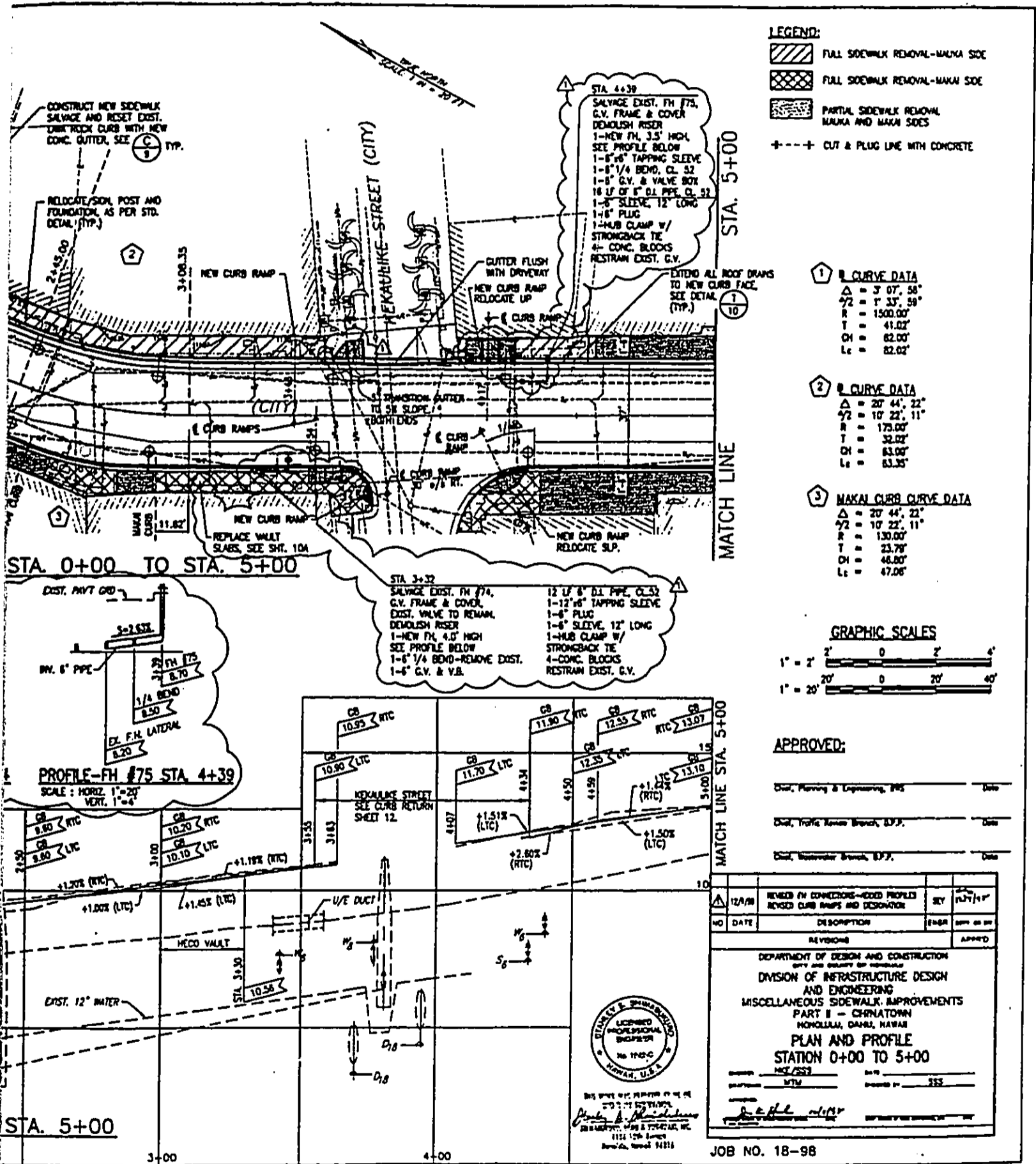


PROFILE-FH #73 STA. 1+95
 SCALE: HORIZ. 1"=20'
 VERT. 1"=4'

PROFILE-FH #74 STA. 3+34
 SCALE: HORIZ. 1"=20'
 VERT. 1"=4'

PROFILE-FH #75 STA. 4+39
 SCALE: HORIZ. 1"=20'
 VERT. 1"=4'

PROFILE - STA. 0+00 TO STA. 5+00
 Scale: Horizontal 1"=20'
 Vertical 1"=2'

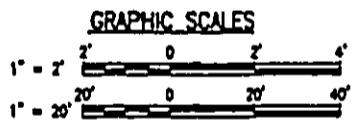


- LEGEND:**
- FULL SIDEWALK REMOVAL-MAKA SIDE
 - FULL SIDEWALK REMOVAL-MAKAI SIDE
 - PARTIAL SIDEWALK REMOVAL MUKA AND MAKAI SIDES
 - CUT & PLUG LINE WITH CONCRETE

1 CURVE DATA
 $\Delta = 3^{\circ} 07' 58''$
 $\frac{72}{2} = 1^{\circ} 33' 59''$
 $R = 1500.00'$
 $T = 41.02'$
 $CH = 82.00'$
 $L_c = 82.02'$

2 CURVE DATA
 $\Delta = 20^{\circ} 44' 22''$
 $\frac{72}{2} = 10^{\circ} 22' 11''$
 $R = 175.00'$
 $T = 32.02'$
 $CH = 83.00'$
 $L_c = 83.35'$

3 MAKAI CURB CURVE DATA
 $\Delta = 20^{\circ} 44' 22''$
 $\frac{72}{2} = 10^{\circ} 22' 11''$
 $R = 130.00'$
 $T = 23.78'$
 $CH = 46.80'$
 $L_c = 47.06'$

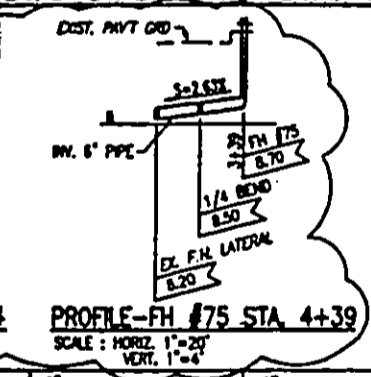


APPROVED:

Dist. Planning & Engineering, PWS _____ Date _____

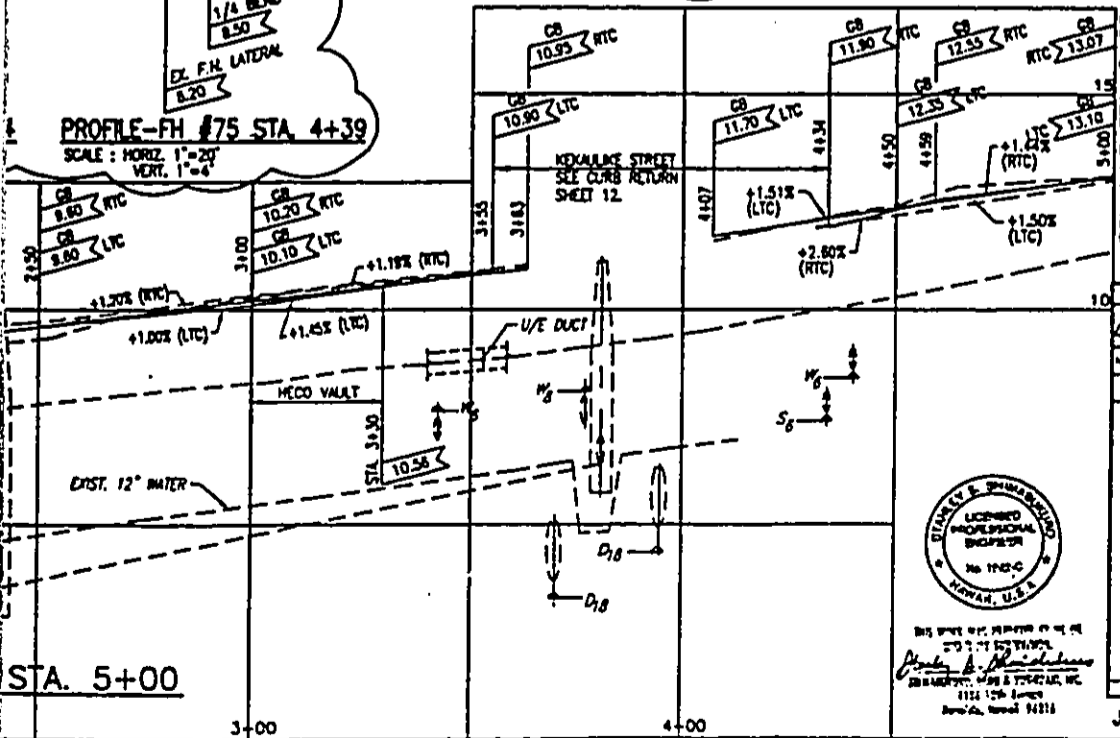
Dist. Traffic & Access Branch, D.P.P. _____ Date _____

Dist. Wastewater Branch, D.P.P. _____ Date _____



STA. 3+32
 SALVAGE EXIST. FH #74, G.V. FRAME & COVER, EXIST. VALVE TO REMAIN, DEMOLISH RISER, 1-NEW FH, 4.0' HIGH, SEE PROFILE BELOW, 1-6" 1/4 BEND-REMOVE EXIST., 1-6" G.V. & V.B.

12 LF 8" O.D. PIPE, CL. 52
 1-12" 1/8" TAPPING SLEEVE
 1-4" PLUG
 1-6" SLEEVE, 12" LONG
 1-HUB CLAMP W/ STRONGBACK TIE
 4-CONC. BLOCKS RESTRAIN EXIST. G.V.

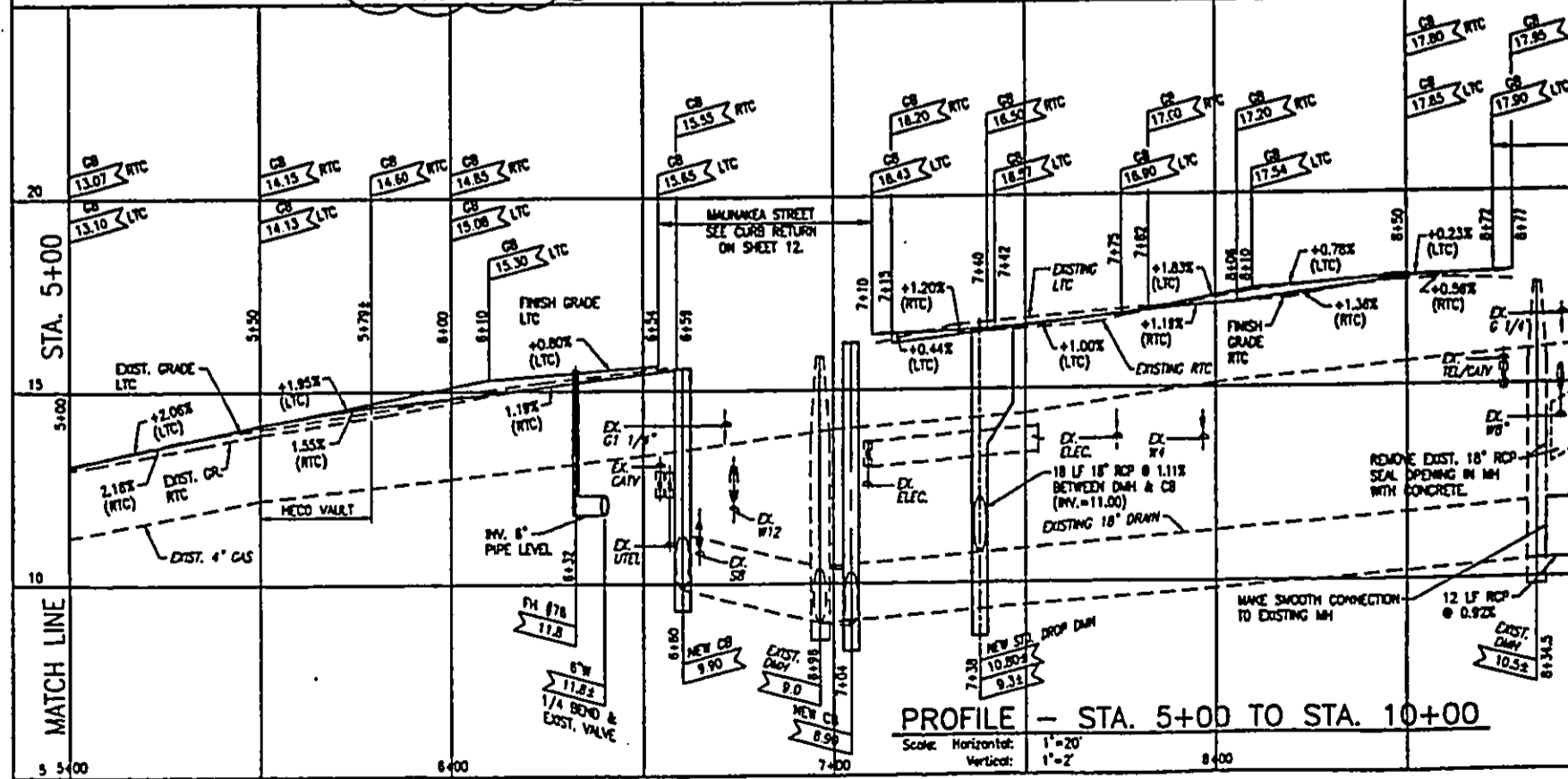
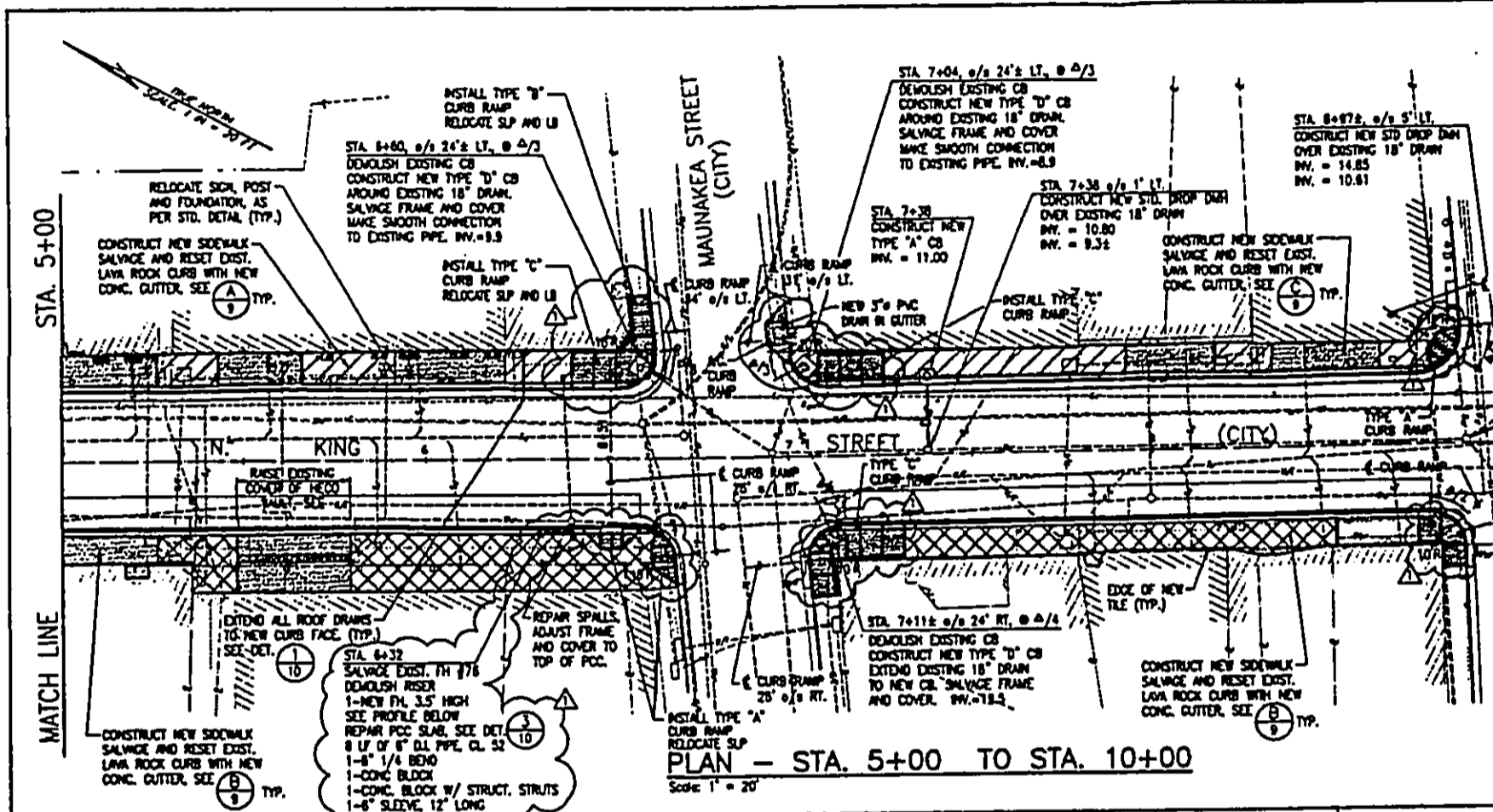


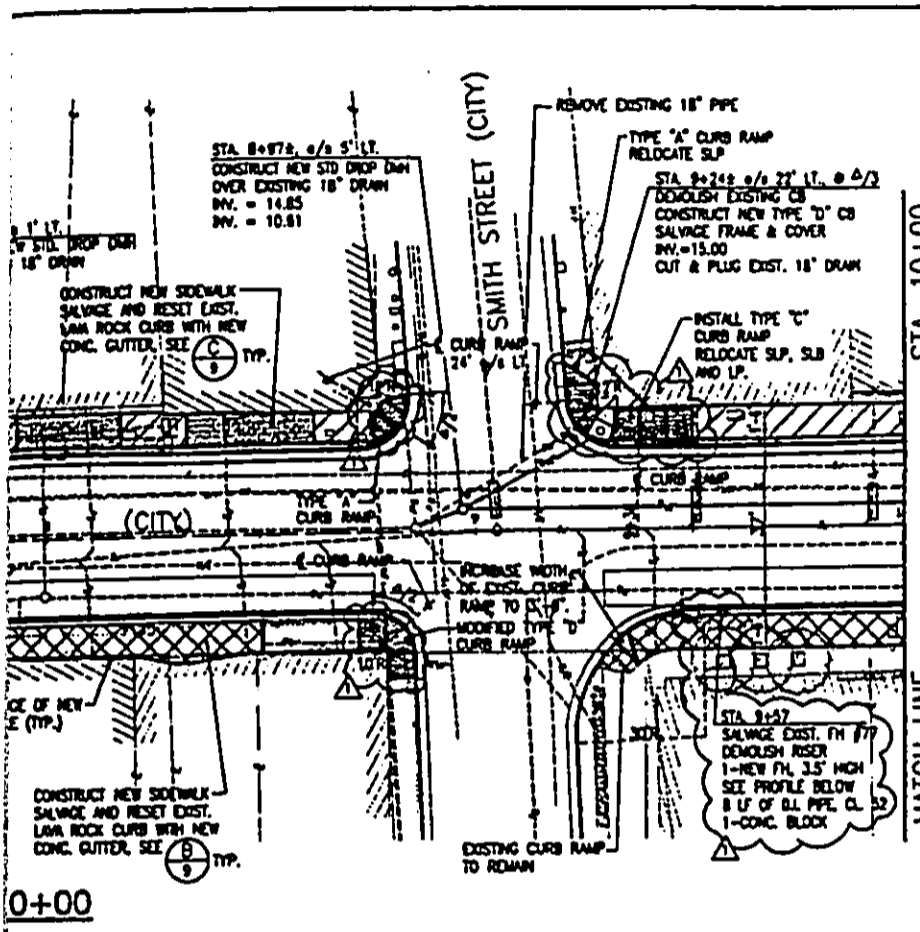
DATE	DESCRIPTION	BY	APP'D
12/2/98	REVISED FH CONNECTIONS-NEED PROFILES	BY	(Signature)
	REVISED CURB RAMP AND DESIGNATOR		
REVISIONS			

DEPARTMENT OF DESIGN AND CONSTRUCTION
 CITY AND COUNTY OF HONOLULU
 DIVISION OF INFRASTRUCTURE DESIGN
 AND ENGINEERING
 MISCELLANEOUS SIDEWALK IMPROVEMENTS
 PART II - CHINATOWN
 HONOLULU, HAWAII
PLAN AND PROFILE
STATION 0+00 TO 5+00

DATE: 10/2/98
 DRAWN BY: MTL
 CHECKED BY: JSS

JOB NO. 18-98



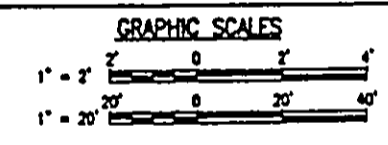
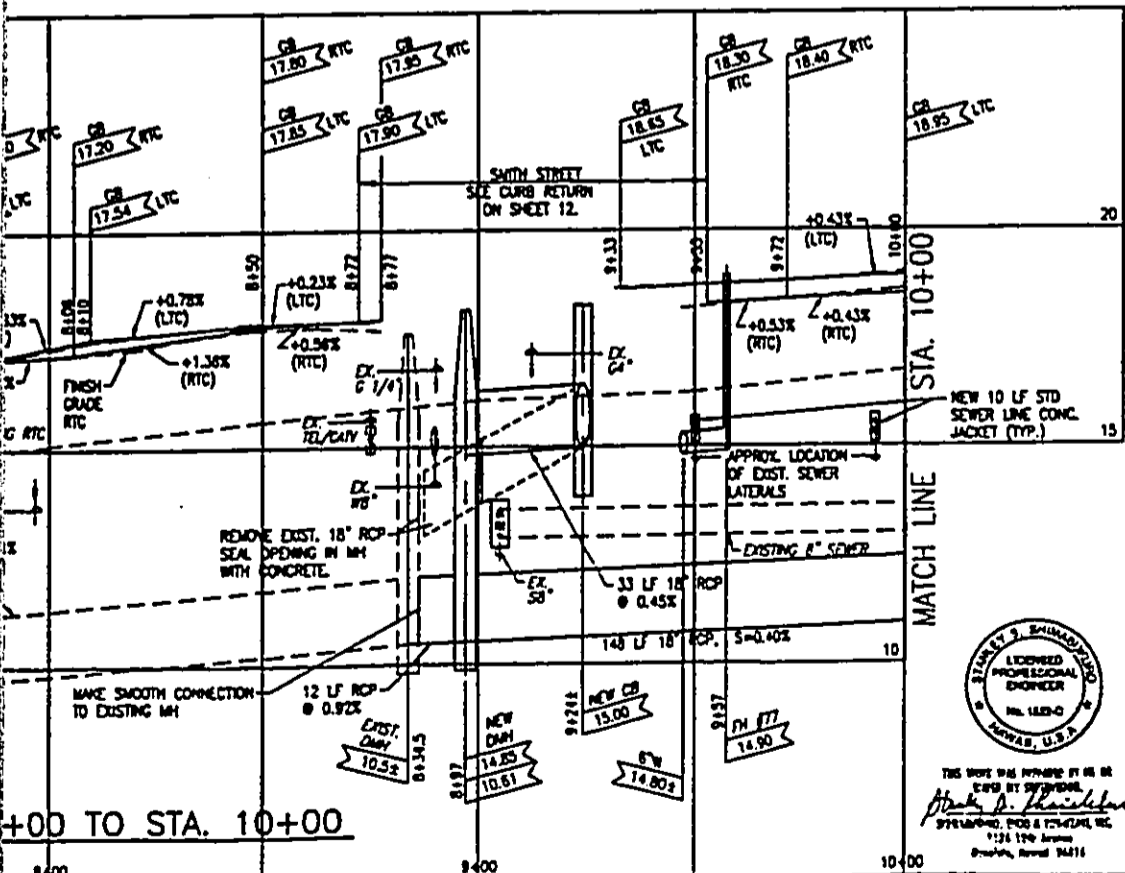


LEGEND:

- FULL SIDEWALK REMOVAL - MAUKA SIDE
- FULL SIDEWALK REMOVAL - MAKANA SIDE
- PARTIAL SIDEWALK REMOVAL MAUKA AND MAKANA SIDES
- CUT & PLUG LINE WITH CONCRETE

NOTES:

1. ADJUST TOPS OF EXISTING VALVE BOXES, MANHOLES, UTILITY BOXES, ETC. TO NEW FINISH GRADE.
2. RELOCATE SIGN, POST AND FOUNDATION, AS PER STD. DETAIL, (TYP.)
3. EXTEND ALL ROOF DRAINS TO NEW CURB FACE, TYP., SEE
4. REMOVE ALL EXISTING STRIPPING, RESTRIIP AS SHOWN ON SHEET 14 & 15.
5. ALL UTILITIES AND DATA NOT SHOWN FOR CLARITY. SEE SHEETS 4 & 5 FOR OTHER UTILITIES AND DATA.



APPROVED:

 Chief, Planning & Engineering, DPT

 Chief, Traffic & Access Branch, DPT

 Chief, Waterworks Branch, DPT

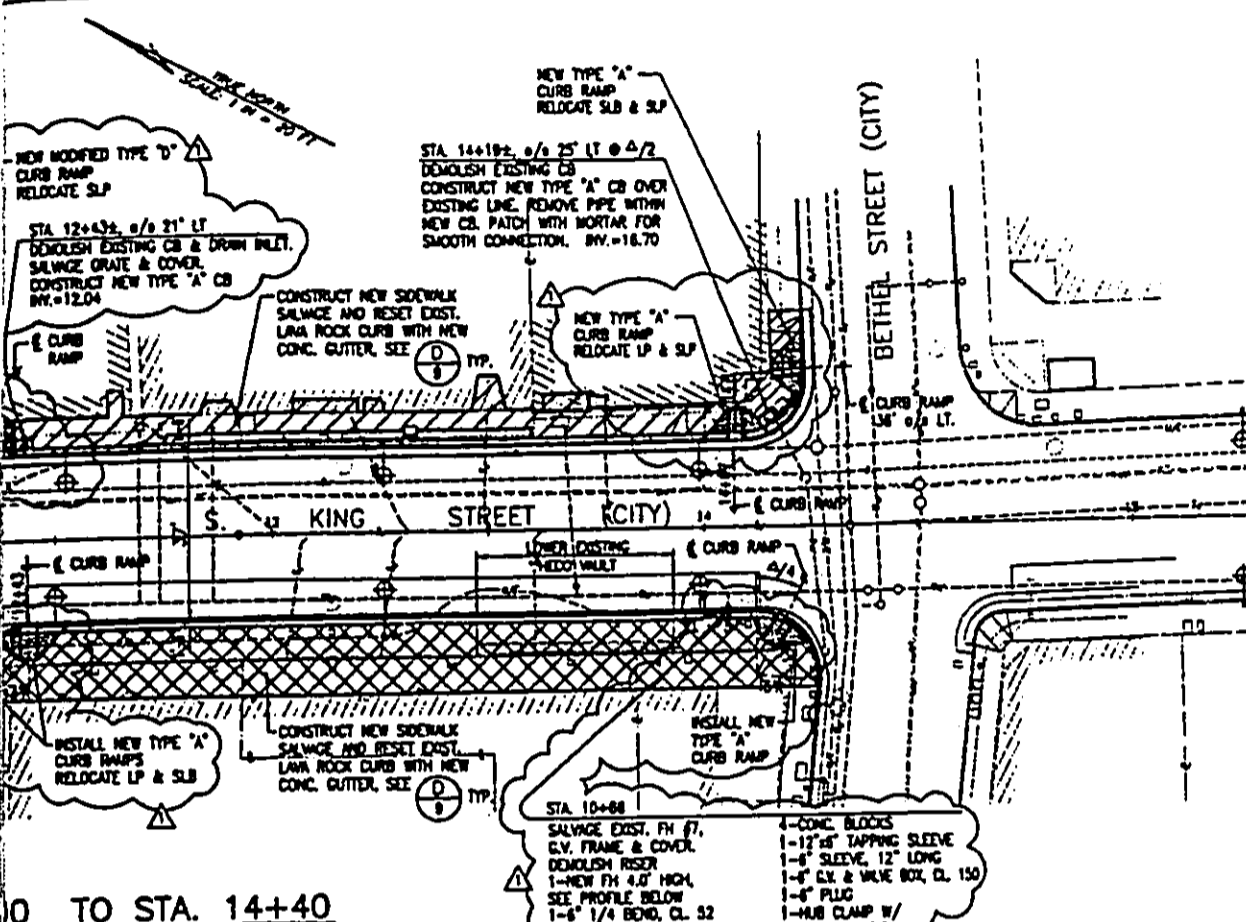
NO.	DATE	DESCRIPTION	ENGR.	CHKD. BY
REVISIONS				

DEPARTMENT OF DESIGN AND CONSTRUCTION
 DIVISION OF INFRASTRUCTURE DESIGN AND ENGINEERING
 MISCELLANEOUS SIDEWALK IMPROVEMENTS
 PART II - CHINATOWN
 HONOLULU, HAWAII
PLAN AND PROFILE
 STATION 5+00 TO 10+00

DESIGNED BY: SSS/MTM DATE: 10.90
 CHECKED BY: SSS

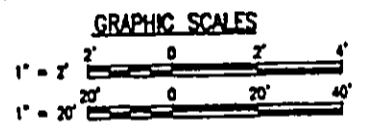
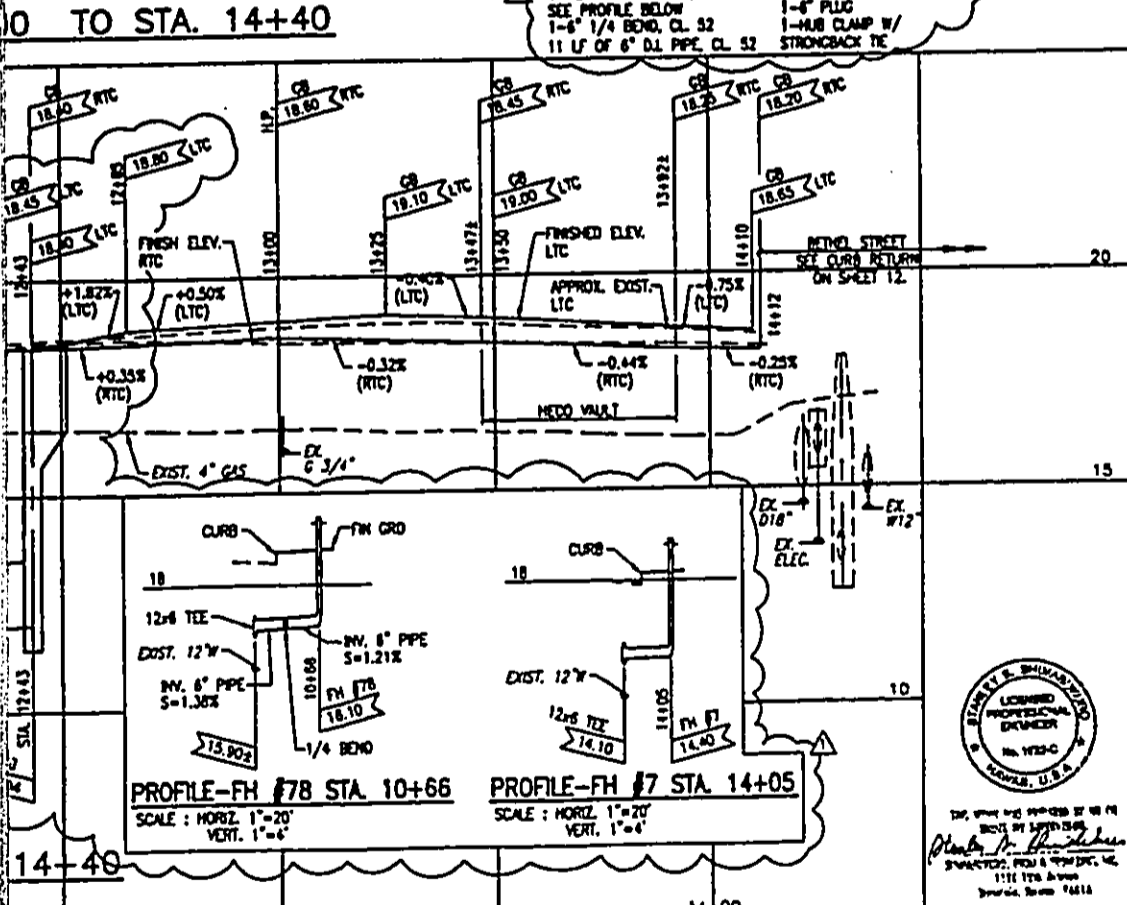
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION.
 Stanley S. Shimada
 STANLEY S. SHIMADA, INC.
 1124 17th Avenue
 Honolulu, Hawaii 96811

JOB NO. 18-98



- LEGEND:**
- FULL SIDEWALK REMOVAL—MAKNA SIDE
 - FULL SIDEWALK REMOVAL—MAKNA SIDE
 - PARTIAL SIDEWALK REMOVAL MAKNA AND MAKNA SIDES
 - CUT & PLUG LINE WITH CONCRETE

- NOTES:**
1. ADJUST TOPS OF EXISTING VALVE BOXES, MANHOLES, UTILITY BOXES, ETC. TO NEW FINISH GRADE.
 2. RELOCATE SIGN, POST AND FOUNDATION, AS PER STD. DETAIL (TYP.)
 3. EXTEND ALL ROOF DRAWS TO NEW CURB FACE, TYP., SEE $\frac{1}{10}$
 4. REMOVE ALL EXISTING STOPPING, RESTRIPE AS SHOWN ON SHEET 14 & 15.
 5. ALL UTILITIES AND DATA NOT SHOWN FOR CLARITY, SEE SHEETS 4 & 5 FOR OTHER UTILITIES AND DATA.



APPROVED:

Chief, Planning & Engineering, D.P.P. _____ Date _____

Chief, Traffic Avenue Branch, D.P.P. _____ Date _____

Chief, Maintenance Branch, D.P.P. _____ Date _____

NO	DATE	DESCRIPTION	BY	CHKD	APP'D
1	12/4/98	REVISED FH CONNECTIONS—ADDED PROFILES	MTW	SSS	SSS
2		REVISED CURB RAMPS & DESIGNATIONS	MTW	SSS	SSS

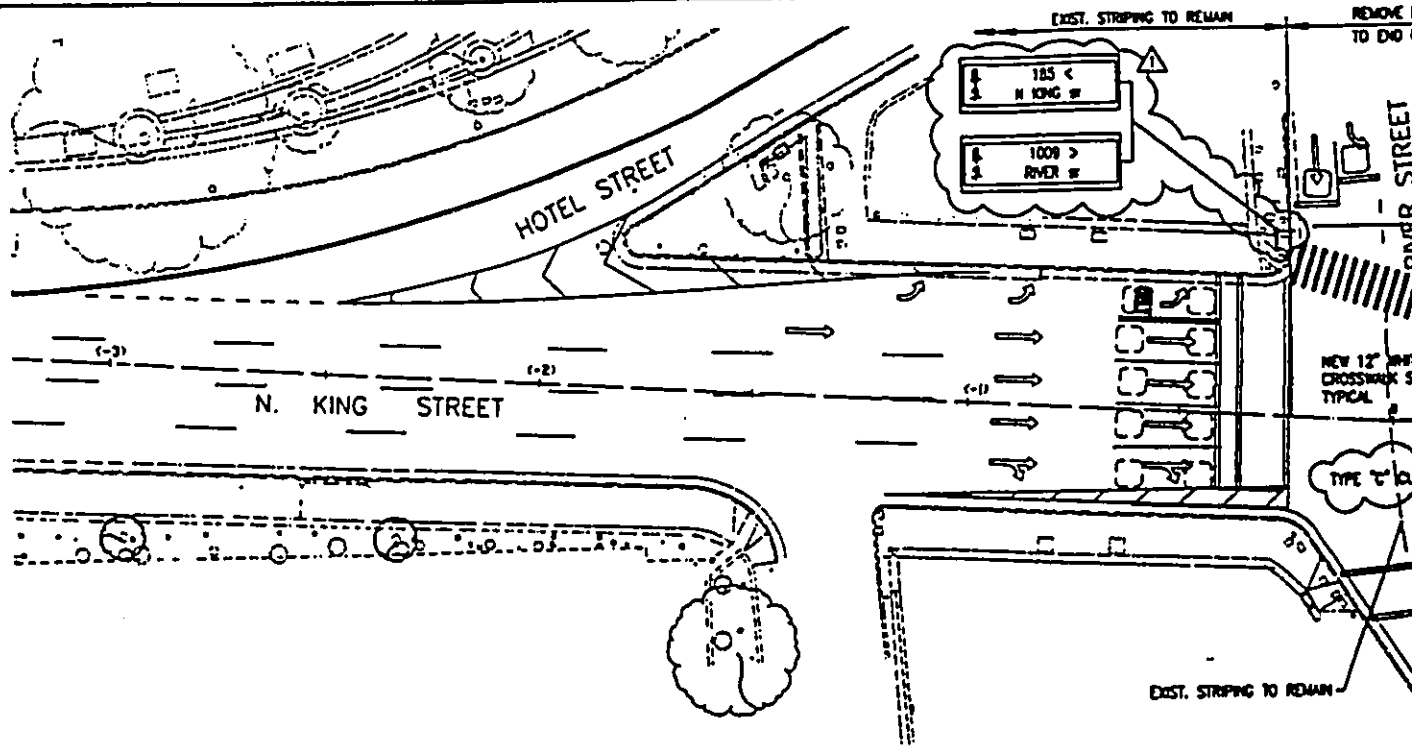
REVISIONS

DEPARTMENT OF DESIGN AND CONSTRUCTION
CITY AND COUNTY OF HONOLULU
DIVISION OF INFRASTRUCTURE DESIGN
AND ENGINEERING
MISCELLANEOUS SIDEWALK IMPROVEMENTS
PART 1 - CHINATOWN
HONOLULU, OAHU, HAWAII
PLAN AND PROFILE
STATION 10+00 TO 14+40

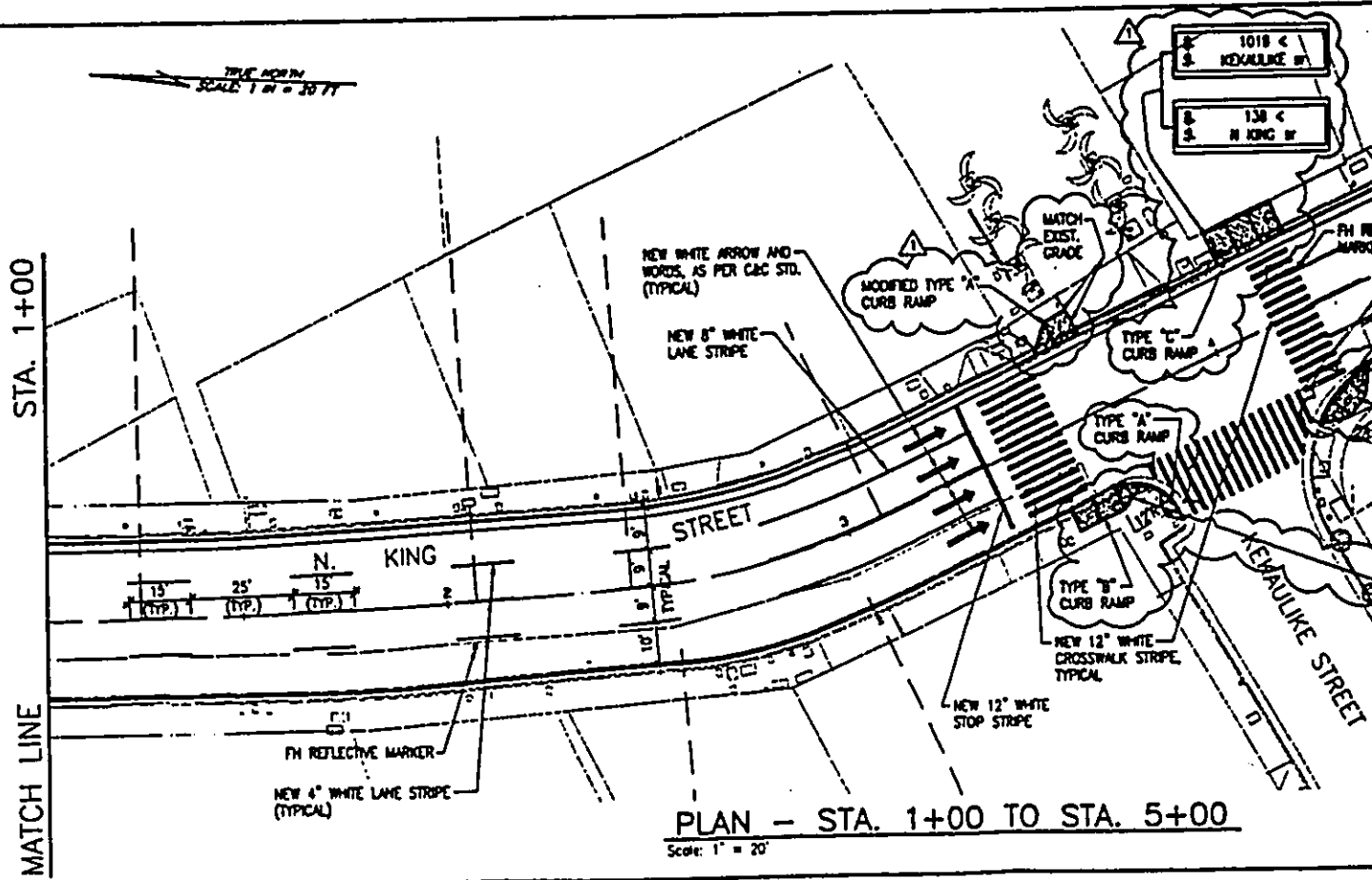
DESIGNED BY: MSH/SSS
CHECKED BY: MTW
DATE: 12/4/98
DRAWN BY: SSS



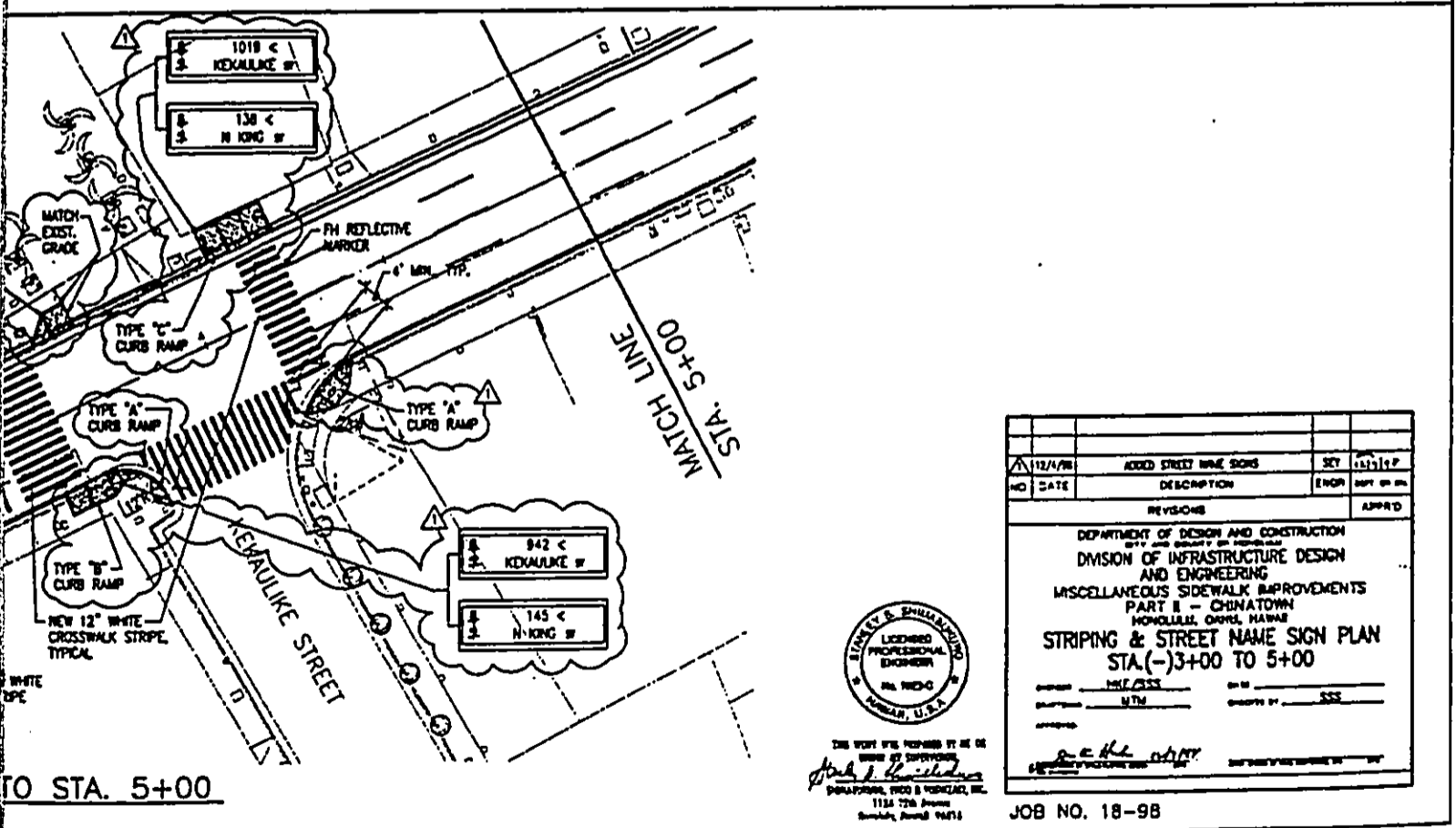
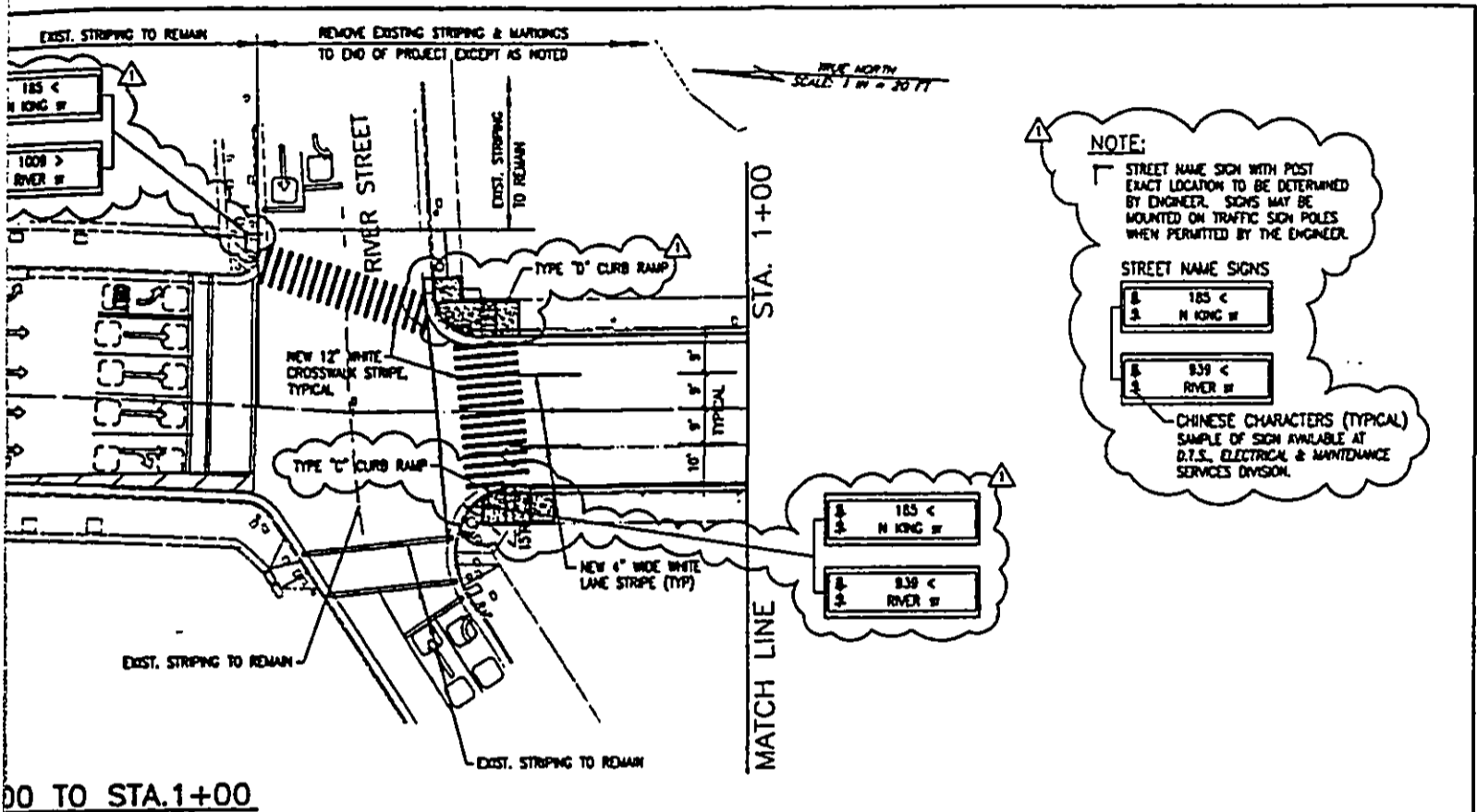
THE STATE OF HAWAII
COUNTY OF HONOLULU
I hereby certify that the above is a true and correct copy of the original as filed in my office on 12/4/98.
Stanley S. Shimabuzo
Professional Engineer
1111 17th Avenue
Honolulu, Hawaii 96813

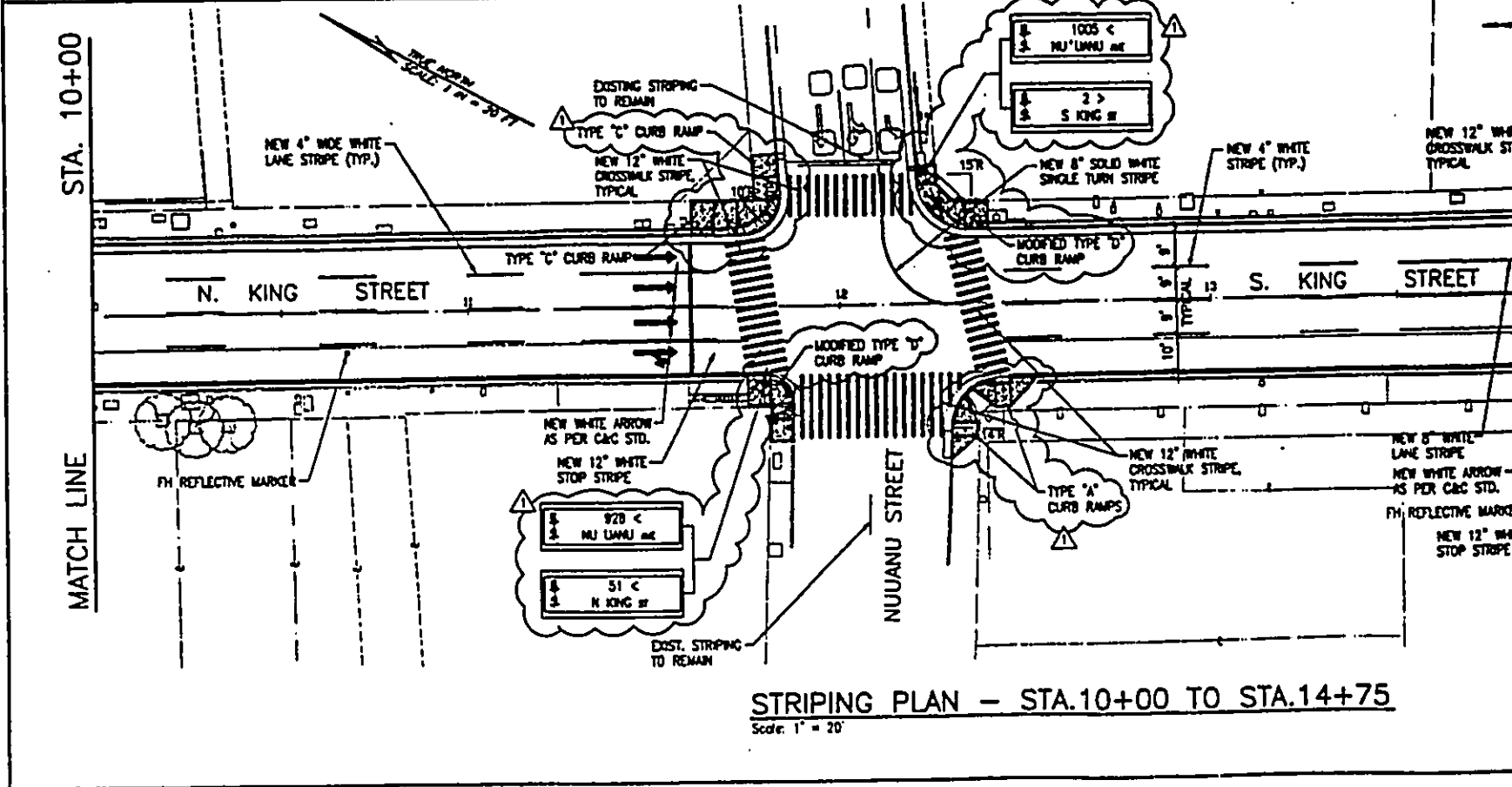
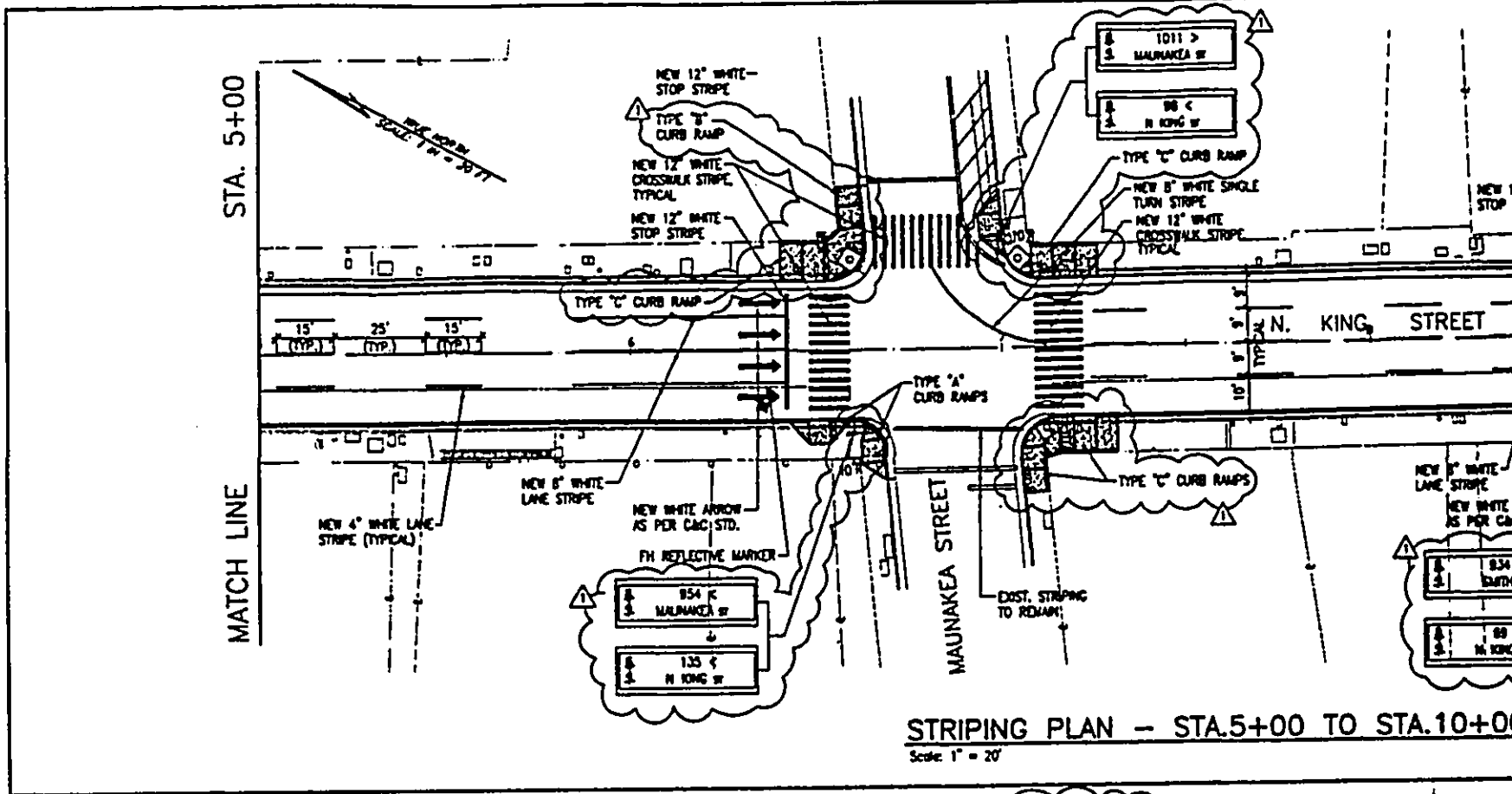


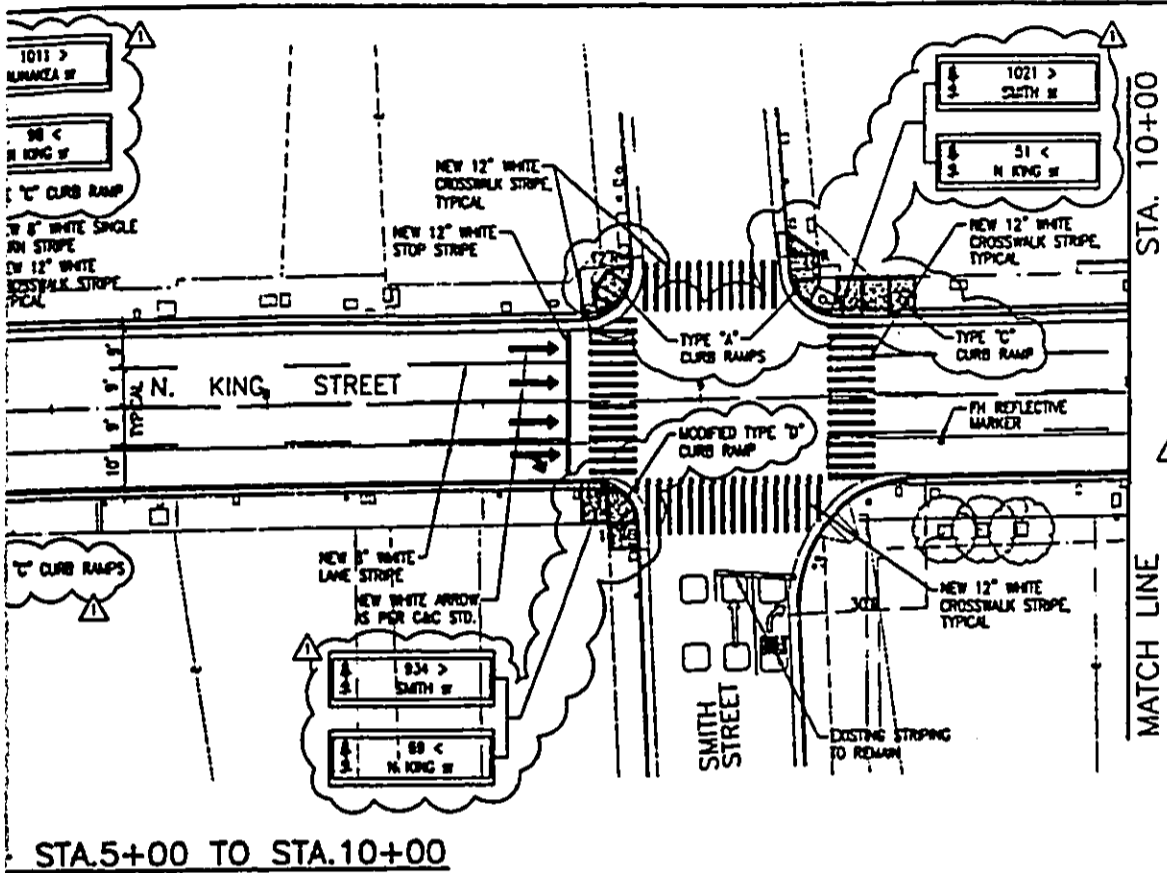
STRIPING PLAN - STA. (-)3+00 TO STA. 1+00
 Scale: 1" = 20'



PLAN - STA. 1+00 TO STA. 5+00
 Scale: 1" = 20'







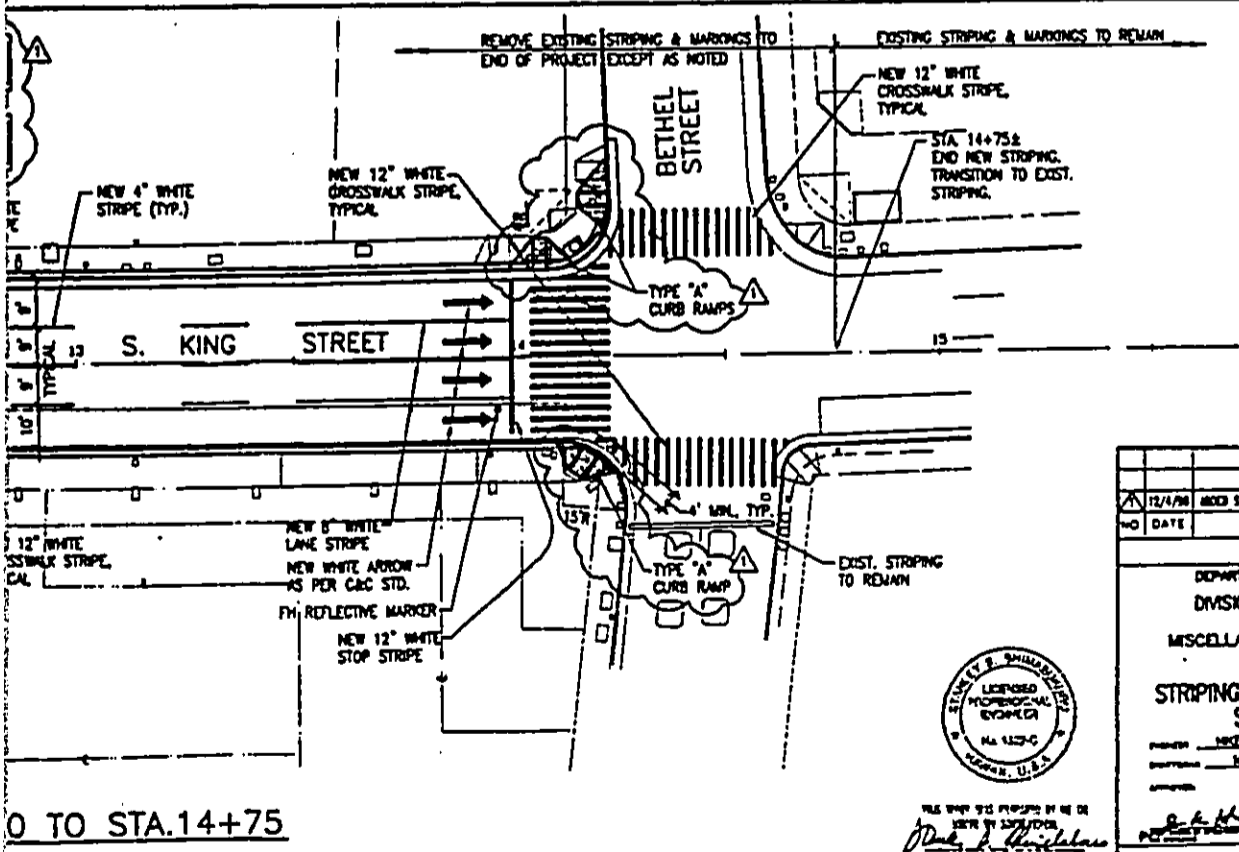
NOTE:
 STREET NAME SIGN WITH POST EXACT LOCATION TO BE DETERMINED BY ENGINEER. SIGNS MAY BE MOUNTED ON TRAFFIC SIGN POLES WHEN PERMITTED BY THE ENGINEER.

STREET NAME SIGNS

163 <
 N KING ST

838 <
 RIVER ST

CHINESE CHARACTERS (TYPICAL)
 SAMPLE OF SIGN AVAILABLE AT
 D.T.S. ELECTRICAL & MAINTENANCE
 SERVICES DIVISION.



NO.	DATE	DESCRIPTION	ENGR.	APP'D.
REVISIONS				
DEPARTMENT OF DESIGN AND CONSTRUCTION CITY AND COUNTY OF HONOLULU DIVISION OF INFRASTRUCTURE DESIGN AND ENGINEERING MISCELLANEOUS SIDEWALK IMPROVEMENTS PART II - OHAIA TOWN HONOLULU, OAHU, HAWAII STRIPING & STREET NAME SIGN PLAN STA. 5+00 TO 14+75 DRAWN BY: MTH CHECKED BY: SSS DATE: 12/4/98 PROJECT NO.: 18-98				

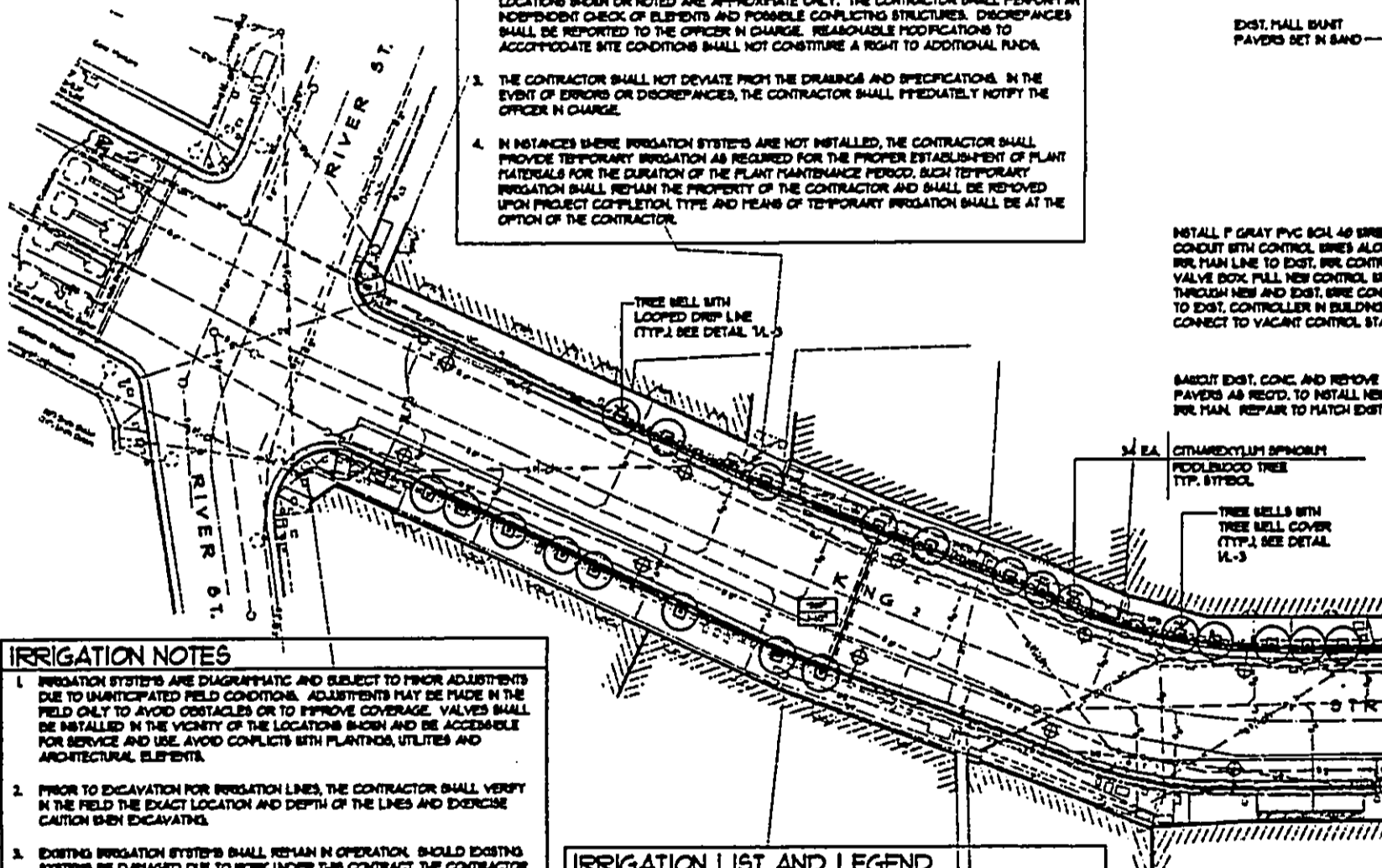
STANLEY E. SHIMAZAKI
 LICENSED PROFESSIONAL ENGINEER
 No. 1123-C
 State of Hawaii, U.S.A.

THIS WORK WAS PREPARED BY ME OR
 UNDER MY SUPERVISION
Stanley E. Shimazaki
 1123 C Street
 Honolulu, Hawaii 96813

JOB NO. 18-98

GENERAL NOTES

1. INSPECT THE SITE AND VERIFY CONDITIONS PRIOR TO COMMENCING WITH THE WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OFFICER IN CHARGE. BY COMMENCING WITH THE WORK, THE CONTRACTOR ACCEPTS THE EXISTING CONDITIONS AND RESPONSIBILITY FOR MAINTAINING THOSE CONDITIONS.
2. THE EXISTENCE AND LOCATION OF EXISTING IRRIGATION SYSTEMS, STRUCTURES, UTILITIES AND APPURTENANCES SHOWN OR NOTED ON THESE PLANS ARE FROM THE LATEST AVAILABLE PLANS AND FIELD OBSERVATIONS AND ARE NOT GUARANTEED. SUCH ITEMS ARE NOT GUARANTEED AS TO LOCATION NOR TO THE EXISTENCE OF OTHER OBSTACLES WHICH MAY BE ENCOUNTERED. THE LOCATIONS SHOWN OR NOTED ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL PERFORM AN INDEPENDENT CHECK OF ELEMENTS AND POSSIBLE CONFLICTING STRUCTURES. DISCREPANCIES SHALL BE REPORTED TO THE OFFICER IN CHARGE. REASONABLE MODIFICATIONS TO ACCOMMODATE SITE CONDITIONS SHALL NOT CONSTITUTE A RIGHT TO ADDITIONAL FUNDS.
3. THE CONTRACTOR SHALL NOT DEVIATE FROM THE DRAWINGS AND SPECIFICATIONS. IN THE EVENT OF ERRORS OR DISCREPANCIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OFFICER IN CHARGE.
4. IN INSTANCES WHERE IRRIGATION SYSTEMS ARE NOT INSTALLED, THE CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION AS REQUIRED FOR THE PROPER ESTABLISHMENT OF PLANT MATERIALS FOR THE DURATION OF THE PLANT MAINTENANCE PERIOD. SUCH TEMPORARY IRRIGATION SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED UPON PROJECT COMPLETION. TYPE AND MEANS OF TEMPORARY IRRIGATION SHALL BE AT THE OPTION OF THE CONTRACTOR.



EXIST. 3/4" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER
EXIST. WATER METER AND GATE VALVE

EXIST. HALL BUNT PAVERS SET IN SAND

INSTALL 1/2" GRAY PVC 60# 40' SPIRE CONDUIT WITH CONTROL BINES ALONG RR MAIN LINE TO EXIST. RR CONTROL VALVE BOX. PULL NEW CONTROL BINE THROUGH NEW AND EXIST. SPIRE CONDUIT TO EXIST. CONTROLLER IN BUILDING. CONNECT TO VACANT CONTROL STA.

REMOVE EXIST. CONC. AND REMOVE PAVERS AS REQD. TO INSTALL NEW RR MAIN. REPAIR TO MATCH EXIST.

IRRIGATION NOTES

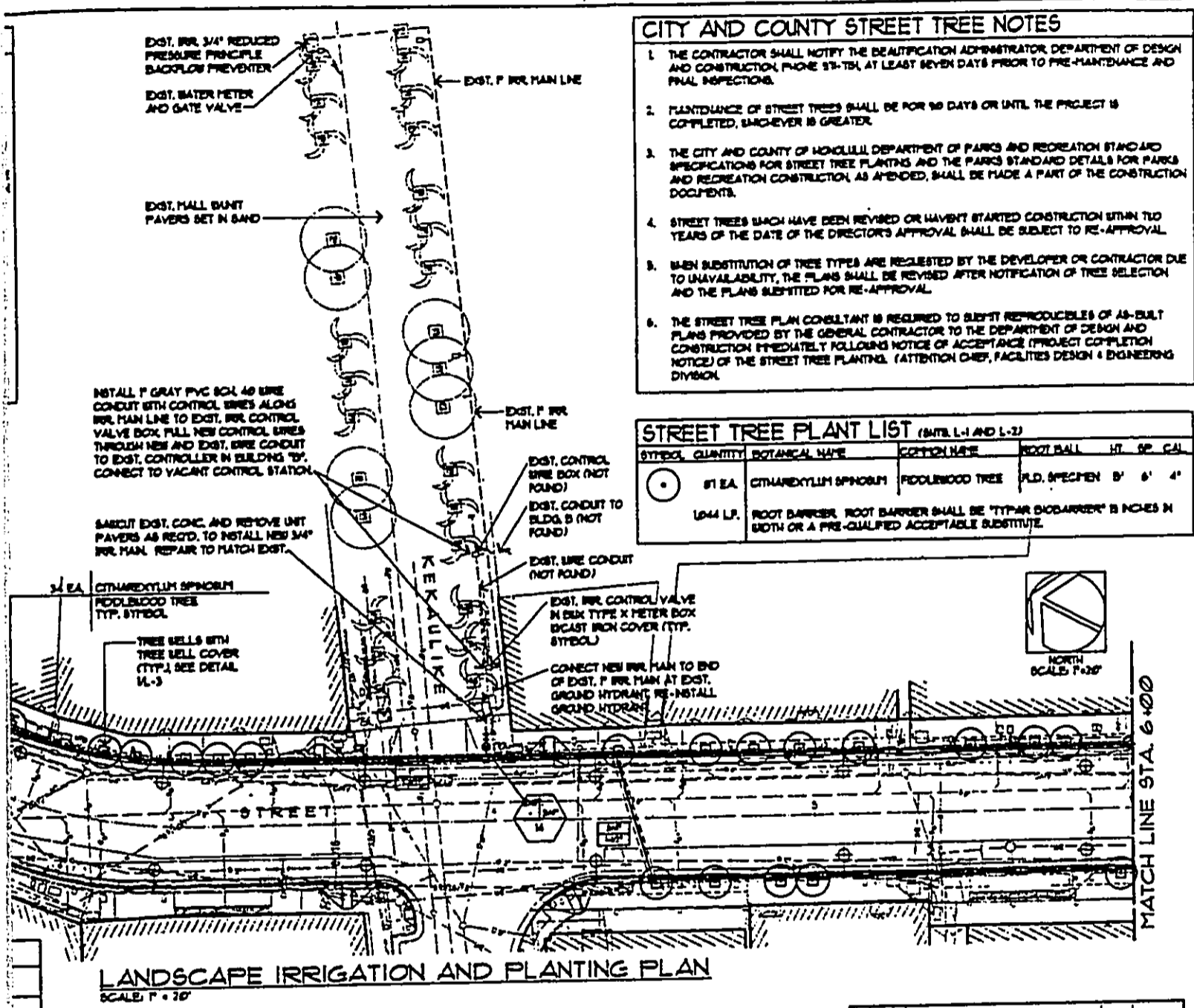
1. IRRIGATION SYSTEMS ARE DIAGRAMMATIC AND SUBJECT TO MINOR ADJUSTMENTS DUE TO UNANTICIPATED FIELD CONDITIONS. ADJUSTMENTS MAY BE MADE IN THE FIELD ONLY TO AVOID OBSTACLES OR TO IMPROVE COVERAGE. VALVES SHALL BE INSTALLED IN THE VICINITY OF THE LOCATIONS SHOWN AND BE ACCESSIBLE FOR SERVICE AND USE. AVOID CONFLICTS WITH PLANTING, UTILITIES AND ARCHITECTURAL ELEMENTS.
2. PRIOR TO EXCAVATION FOR IRRIGATION LINES, THE CONTRACTOR SHALL VERIFY IN THE FIELD THE EXACT LOCATION AND DEPTH OF THE LINES AND EXERCISE CAUTION WHEN EXCAVATING.
3. EXISTING IRRIGATION SYSTEMS SHALL REMAIN IN OPERATION. SHOULD EXISTING SYSTEMS BE DAMAGED DUE TO WORK UNDER THIS CONTRACT, THE CONTRACTOR SHALL IMMEDIATELY MAKE REPAIRS OR PROVIDE FOR TEMPORARY IRRIGATION UNTIL REPAIRS CAN BE MADE. DAMAGE TO EXISTING SYSTEMS SHALL BE REPAIRED AND PAID FOR BY THE CONTRACTOR.
4. EXISTING PLANTING OUTSIDE THE PROJECT LIMITS DAMAGED AS A RESULT OF DELAYS IN REPAIRING EXISTING IRRIGATION SYSTEMS DAMAGED BY WORK UNDER THIS CONTRACT, OR IN MAKING CONNECTIONS OR MODIFICATIONS TO EXISTING IRRIGATION SYSTEMS, SHALL BE REPLACED AND PAID FOR BY THE CONTRACTOR.
5. WHERE NOTED, NEW IRRIGATION SYSTEMS SHALL BE CONNECTED TO EXISTING IRRIGATION SYSTEMS. COORDINATE DEMOLITION WORK TO AVOID REMOVAL OR DAMAGE TO SUCH SYSTEMS EXCEPT AS REQUIRED FOR NEW CONSTRUCTION.
6. COORDINATE WITH OTHER TRADES TO INSURE INSTALLATION OF IRRIGATION LINES AND APPURTENANCES. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE WITH OTHER CONTRACTORS ON THE JOB TO INSURE THEIR INSTALLATION AND TO PROVIDE PROPER CLEARANCES FOR CONNECTIONS.
7. THE IRRIGATION SYSTEM DESIGN IS BASED ON A MINIMUM STATIC PRESSURE OF 30 PSI AT THE POINTS OF CONNECTION. TEST THE PRESSURE AND REPORT THE RESULTS TO THE OFFICER IN CHARGE.
8. IRRIGATION SYSTEMS SHALL BE OPERATED DURING "OFF PEAK" EVENING HOURS. OPERATION DURING OTHER TIMES SHALL BE WITH THE APPROVAL OF THE OFFICER IN CHARGE.

IRRIGATION LIST AND LEGEND

IRRIGATION EQUIPMENT SHALL BE AS NOTED, SUBJECT TO PRE-QUALIFIED ACCEPTABLE SUBSTITUTES AS GOVERNED BY THE SPECIFICATIONS.

SYMBOL	DESCRIPTION	NOTES
---	MAIN (PRESSURE) LINE	SIZE AS NOTED
----	LATERAL (NON-PRESSURE) LINE	SIZE AS NOTED
---	BLEEVE	SIZE AS NOTED
---	CONDUIT	1-1/2" SIZE
M	GATE VALVE: AMERICAN VALVE PG. 3, NIBCO T-13, OR HARTIGNO 6-06-37	3/4" SIZE
⊙ DRIP	DRIP VALVE ASSEMBLY: RAINBOW RST-075-2000X WYE FILTER, RAINBOW 15-DVX REMOTE CONTROL VALVE, RAINBOW PM-130X IN LINE PRESSURE REGULATOR	3/4" SIZE
⬠	CONTROLLER/VALVE NO.	
⬠	VALVE SIZE	
⬠	GPIV THRU VALVE	
⬠	LINE SIZE	
⬠	SLEEVE SIZE	
NO SYMBOL	LOW VOLUME DRIP LINE (INTEGRAL INTERNAL PRESSURE COMPENSATING, CONTINUOUS SELF-CLEANING DRIP EMITTERS AT 0.1 G.P.H. WITH A DRIP RATE OF 0.01 GALLONS PER HOUR; NETAFIM TECH-LINE TLDL-6-0-XX)	

LANDSCAPE IR
SCALE: 1" = 20'

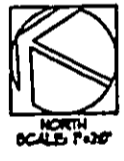


CITY AND COUNTY STREET TREE NOTES

1. THE CONTRACTOR SHALL NOTIFY THE DEAFFICATION ADMINISTRATOR, DEPARTMENT OF DESIGN AND CONSTRUCTION, PHONE 57-754, AT LEAST SEVEN DAYS PRIOR TO PRE-MAINTENANCE AND FINAL INSPECTIONS.
2. MAINTENANCE OF STREET TREES SHALL BE FOR 90 DAYS OR UNTIL THE PROJECT IS COMPLETED, WHICHEVER IS GREATER.
3. THE CITY AND COUNTY OF HONOLULU DEPARTMENT OF PARKS AND RECREATION STANDARD SPECIFICATIONS FOR STREET TREE PLANTING AND THE PARKS STANDARD DETAILS FOR PARKS AND RECREATION CONSTRUCTION, AS AMENDED, SHALL BE MADE A PART OF THE CONSTRUCTION DOCUMENTS.
4. STREET TREES WHICH HAVE BEEN REVISOR OR HAVEN'T STARTED CONSTRUCTION WITHIN TWO YEARS OF THE DATE OF THE DIRECTOR'S APPROVAL SHALL BE SUBJECT TO RE-APPROVAL.
5. WHEN SUBSTITUTION OF TREE TYPES ARE REQUESTED BY THE DEVELOPER OR CONTRACTOR DUE TO UNAVAILABILITY, THE PLANS SHALL BE REVISED AFTER NOTIFICATION OF TREE SELECTION AND THE PLANS SUBMITTED FOR RE-APPROVAL.
6. THE STREET TREE PLAN CONSULTANT IS REQUIRED TO SUBMIT REPRODUCIBLES OF AS-BUILT PLANS PROVIDED BY THE GENERAL CONTRACTOR TO THE DEPARTMENT OF DESIGN AND CONSTRUCTION IMMEDIATELY FOLLOWING NOTICE OF ACCEPTANCE (PROJECT COMPLETION NOTICE) OF THE STREET TREE PLANTING. (ATTENTION CHIEF, FACILITIES DESIGN & ENGINEERING DIVISION)

STREET TREE PLANT LIST (MATS. L-1 AND L-2)

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT BALL	HT.	SP.	CAL.
○	81 EA.	CITRARDYLIUM SPINOSUM	ROOLEWOOD TREE	PLD. SPECIMEN	8'	6"	4"
○	1044 LP.	ROOT BARRIER	ROOT BARRIER SHALL BE "TYNAR BIOBARRIER" 8 INCHES IN WIDTH OR A PRE-QUALIFIED ACCEPTABLE SUBSTITUTE.				



LANDSCAPE IRRIGATION AND PLANTING PLAN
SCALE: P = 30'

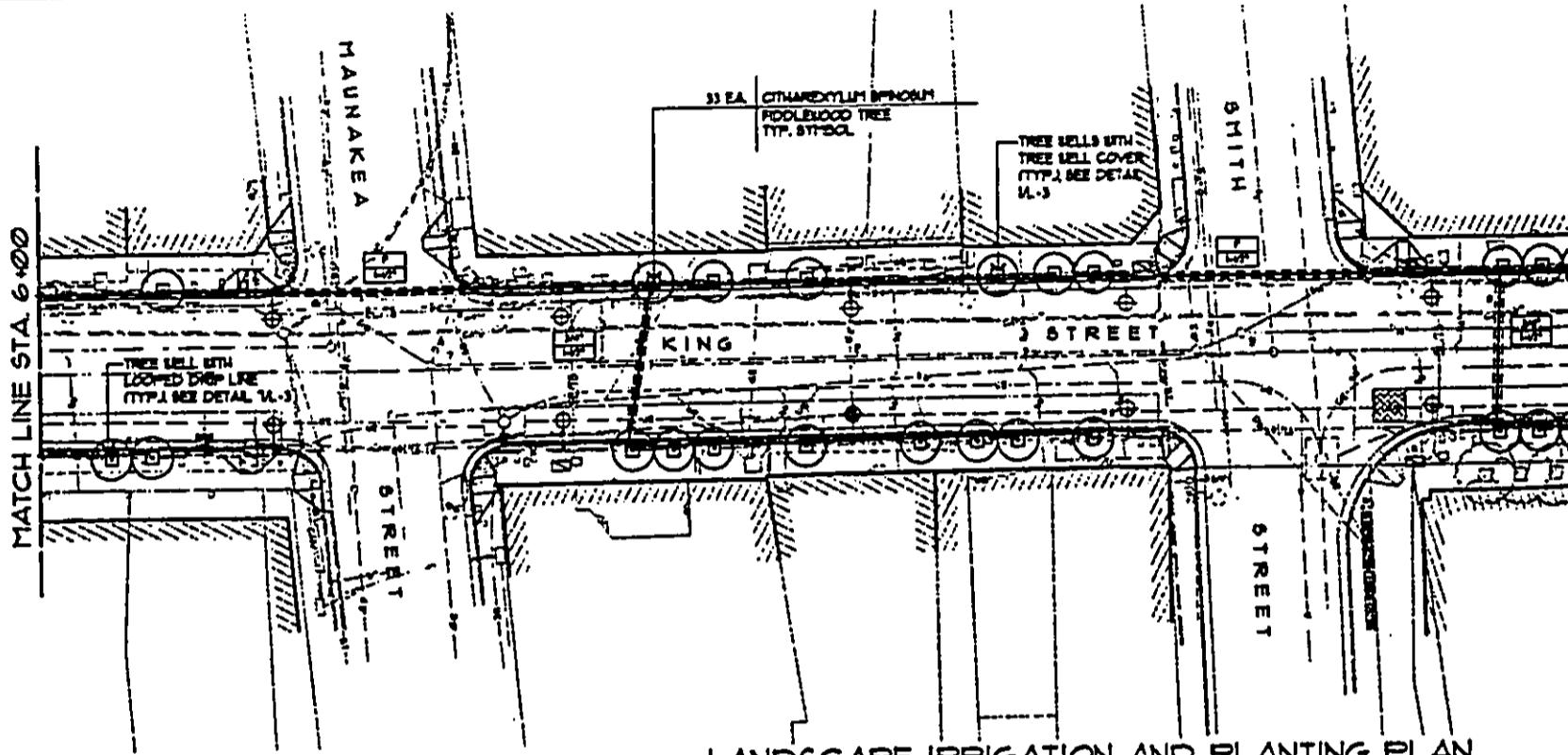
NO.	DATE	DESCRIPTION	ENGR.	DATE	APPRD.
REVISIONS					
DEPARTMENT OF DESIGN AND CONSTRUCTION CITY AND COUNTY OF HONOLULU DIVISION OF INFRASTRUCTURE DESIGN AND ENGINEERING MISCELLANEOUS SIDEWALK IMPROVEMENTS PART II - CHINATOWN HONOLULU, OAHU, HAWAII LANDSCAPE IRRIGATION AND PLANTING PLAN RIVER TO KEKAULIKE STREETS					
DESIGNED BY	DATE	NOV. 20, 1998	CHECKED BY	DATE	
DRAWN BY	DATE		APPROVED BY	DATE	



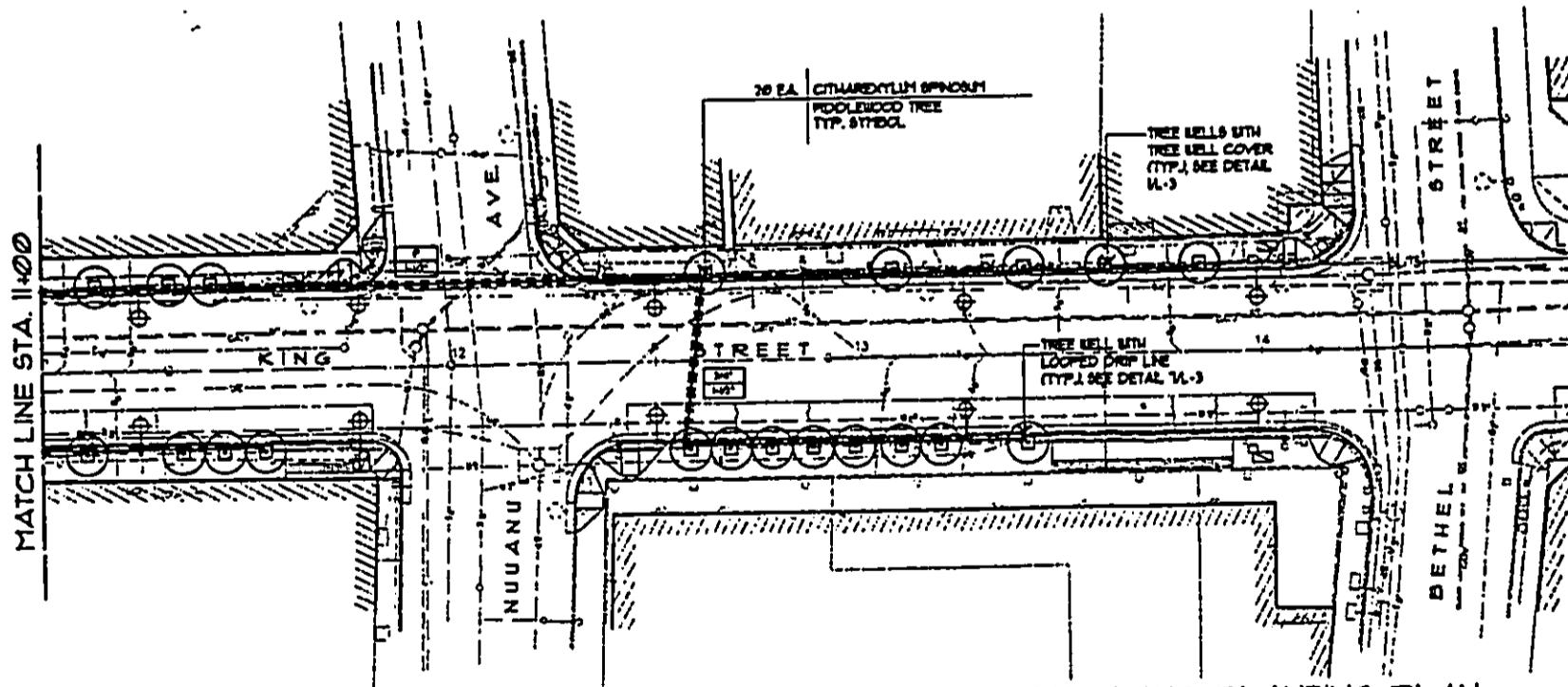
APPROVED FOR STREET TREE PLANTING
 DIRECTOR, DEPARTMENT OF DESIGN AND CONSTRUCTION DDT

Michael T. Miyahara
 THE WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION

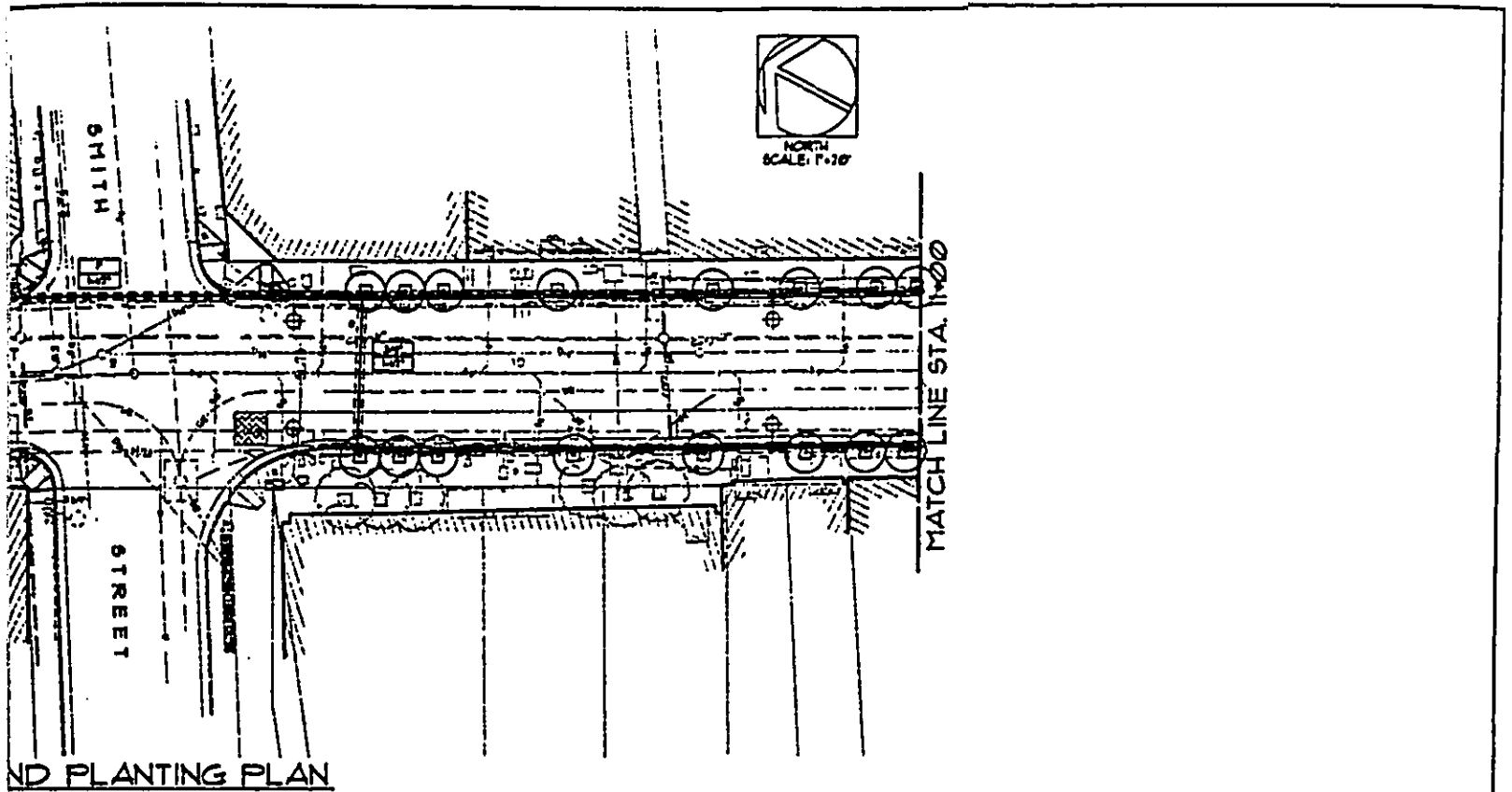
JOB NO. 18-98



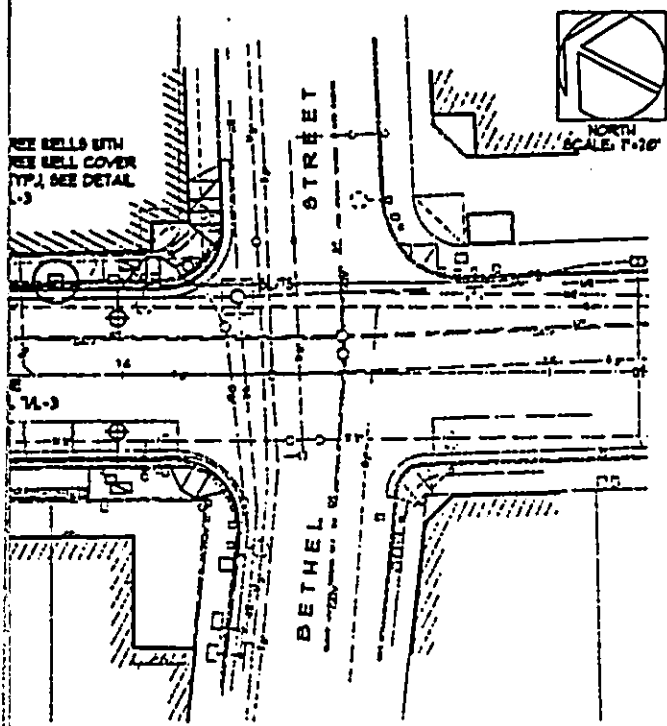
LANDSCAPE IRRIGATION AND PLANTING PLAN
SCALE: 1" = 20'



LANDSCAPE IRRIGATION AND PLANTING PLAN
SCALE: 1" = 20'



LANDSCAPE IRRIGATION AND PLANTING PLAN



LANDSCAPE IRRIGATION AND PLANTING PLAN

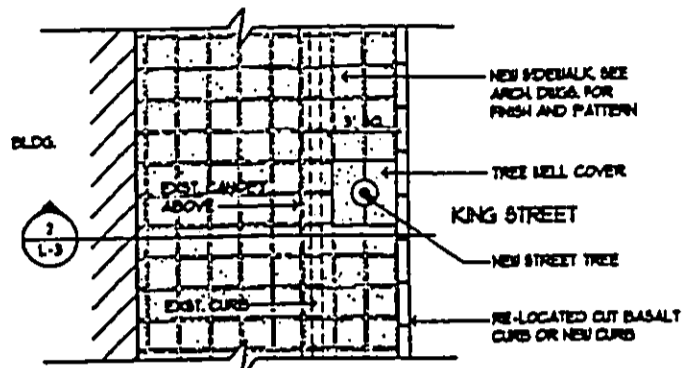


Michael T. Miyake
 THIS WORK WAS PREPARED BY ME
 OR UNDER MY SUPERVISION

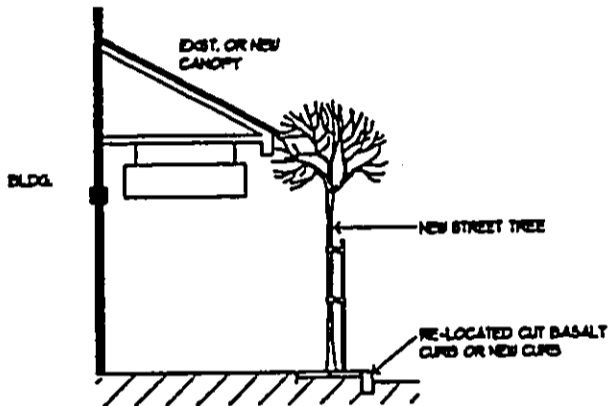
NO.	DATE	DESCRIPTION	ENGR.	DRY. OR BY	APPROV.
REVISIONS					
DEPARTMENT OF DESIGN AND CONSTRUCTION CITY AND COUNTY OF HONOLULU DIVISION OF INFRASTRUCTURE DESIGN AND ENGINEERING MISCELLANEOUS SPECIAL IMPROVEMENTS PART II - CHINATOWN HONOLULU, OAHU, HAWAII LANDSCAPE IRRIGATION AND PLANTING PLANS KEKAULIKE TO BETHEL STREETS					
PROJECT	NOV. 20, 1988				
DESIGNED BY	DR. DE				
CHECKED BY	DR. DE				
<i>D. E. Hill</i> DEPARTMENT OF DESIGN AND CONSTRUCTION					

JOB NO. 18-98

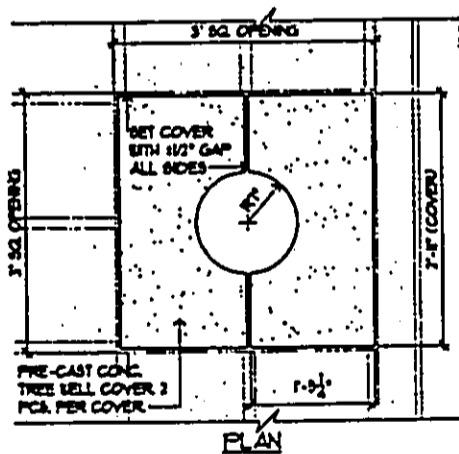




1 STREET TREE PLANTING ENLARGEMENT
SCALE: 1/4" = 1'-0"

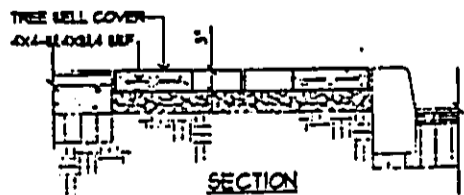


2 SECTION
SCALE: 1/4" = 1'-0"

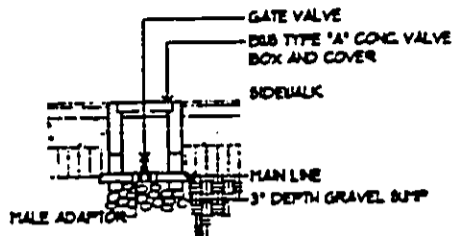


NOTES

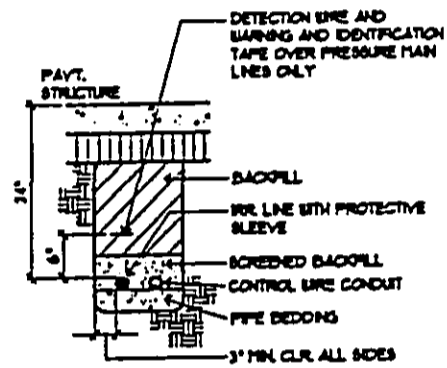
1. AGGREGATES FOR FINISH SHALL BE HARD, DURABLE, SELECTED AND GRADED, FREE FROM MATERIAL THAT MAY CAUSE STAINING OR REACTION WITH CEMENT.
2. FINISHES SHALL BE NON-FADING AND RESISTANT TO LIME AND OTHER ALKALIS. ADJUSTURES SHALL BE USED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S DIRECTIONS.
3. CONCRETE TREE WELL COVER FINISH SHALL REASONABLY MATCH FINISH OF PLANNED GRANITE PAVEMENT TILE NO. 688. SEE ARCH. DRGS. FINISH SHALL BE LIGHT EXPOSED AGGREGATE.
4. PRIOR TO START OF PRE-CAST WORK SUBMIT SAMPLE PANEL FOR CONCRETE FINISH AND PDC.



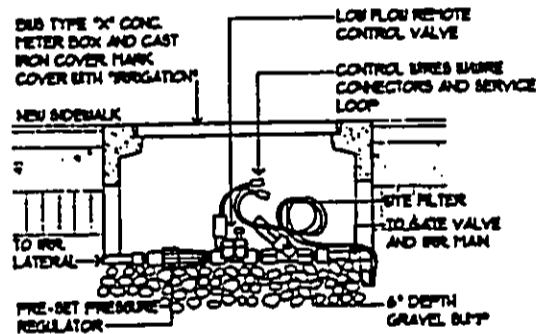
3 TREE WELL COVER
SCALE: 1" = 1'-0"



4 GATE VALVE
SCALE: NOT TO SCALE



5 TRENCHING
SCALE: 1" = 1'-0"

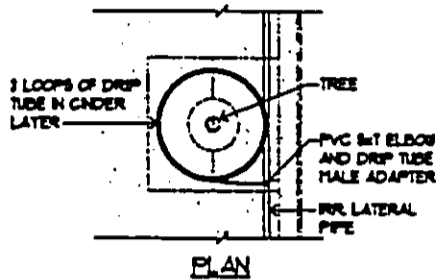


6 DRIP VALVE ASSEMBLY
SCALE: 1/2" = 1'-0"

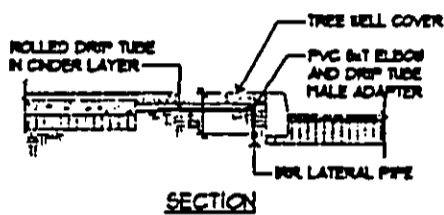
2 LOOPS OF DRIP TUBE IN SAND LAYER

ROLLED DRIP TUBE IN SAND LAYER

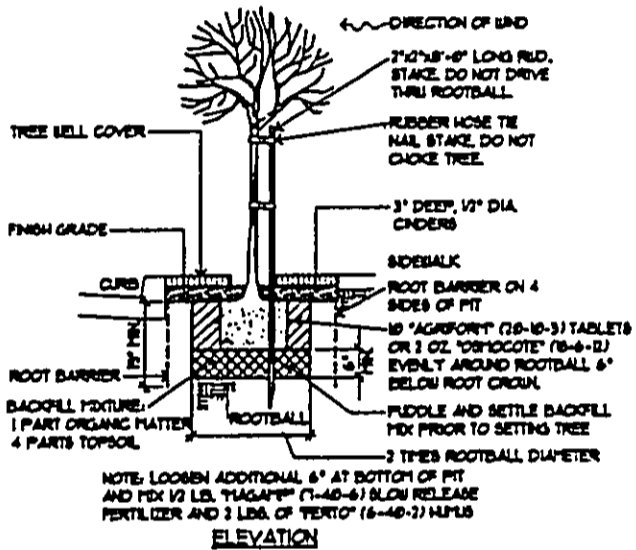
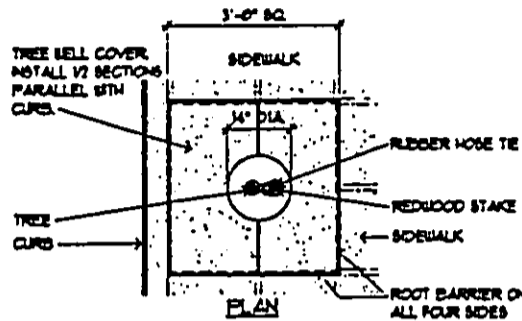
7 TREE WELL COVER
SCALE: 1/2" = 1'-0"



NOTE: TREE NOT SHOWN FOR CLARITY



1 TREE WELL IRRIGATION
L-3 SCALE: 1/2" = 1'-0"



8 STREET TREE PLANTING DETAIL
(WITH COVER)
L-3

NOT TO SCALE
REFERENCE PARKS STANDARD DETAILS FOR PARKS AND RECREATION CONSTRUCTION CITY AND COUNTY OF HONOLULU, MAY 1986, DETAIL L-3J



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION

NO	DATE	DESCRIPTION	ENGR	DRY BY
REVISIONS				
APPRO D				

DEPARTMENT OF DESIGN AND CONSTRUCTION
CITY AND COUNTY OF HONOLULU
DIVISION OF INFRASTRUCTURE DESIGN
AND ENGINEERING
MISCELLANEOUS SIDEWALK IMPROVEMENTS
PART II - CHINATOWN
HONOLULU, OAHU, HAWAII
LANDSCAPE DETAILS

DESIGNED BY: [Signature] DATE: NOV 25, 1998
DRAWN BY: [Signature]
CHECKED BY: [Signature]

JOB NO. 18-98

APPENDIX II

**LETTER FROM THE STATE HISTORIC
PRESERVATION DIVISION**

BENJAMIN J. CAYLTANO
GOVERNOR OF HAWAII



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES

STATE HISTORIC PRESERVATION DIVISION
33 SOUTH KING STREET, 6TH FLOOR
HONOLULU, HAWAII 96813

MICHAEL D. WILSON, CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES

DEPUTIES

GILBERT COLOMA-AGARAN

AQUACULTURE DEVELOPMENT
PROGRAM

AQUATIC RESOURCES
CONSERVATION AND
RESOURCES ENFORCEMENT

CONVEYANCES
FORESTRY AND WILDLIFE
HISTORIC PRESERVATION
DIVISION

LAND DIVISION
STATE PARKS
WATER AND LAND DEVELOPMENT

June 15, 1998

Mr. Keith H. Kurahashi
Kusao & Kurahashi, Inc.
Interstate Building
1314 South King Street, Suite 1263
Honolulu, Hawaii 96814

LOG NO.:21641
DOC NO.:9806co01
Architecture

Dear Mr. Kurahashi:

**SUBJECT: Environmental Assessment for Miscellaneous Sidewalk Improvements, Part II
TMK 9-1-17, Ewa, Oahu**

Thank you for the letter dated May 1, 1998, regarding the proposed draft Environmental Assessment for the City's planned sidewalk improvements in the Chinatown Historic District of Honolulu. We offer the following comments:

1. We concur with the proposed sidewalk widening on King Street between River Street and Keakaulike Street and King Street between Kekaulike and Bethel. We believe that the relocation of the lava rock curbs and the reuse of granite pavers will help to maintain the historic character of the Chinatown Historic District.
2. We concur with the new street lights, new street name signs, accessibility ramps and the relocation of above ground features.
3. For installation of the storm drain system, relocation of water and utility lines or any other ground disturbance which is below the previously excavated road bed or other than existing utility corridors which have been previously disturbed, will require on site archaeological monitoring. Because of the high probability of sites in shallow areas an archaeological monitoring plan should be submitted and approved by this office. Should historic sites such as walls, platforms, pavements and mounds, remains such as artifacts, burials, concentration of charcoal or shells are encountered during construction work, work shall cease in the immediate vicinity of the find and the find shall be protected from further damage. The contractor shall immediately contact the State Historic Preservation Division (587-0047), which will assess the significance of the find and recommend an appropriate mitigation measure, if necessary.
4. We do not concur with the installation of street trees in the Chinatown Historic District. We believe that the trees will have a visual impact on the historic character of King Street.

Thank you opportunity to comment, should you have any questions please contact Carol Ogata at 587-0004.

Aloha,


DON HIBBARD, Administrator
State Historic Preservation Division

CO:jcn

DOCUMENT CAPTURED AS RECEIVED

DEC-30-1998 08:59

DPW-ENGINEERING

F.01 06

BENJAMIN J. CATYANO
GOVERNOR OF HAWAII

RECEIVED

DEC 21 9 45 AM

Fax Note
To KETIA KUPAHEKE
Fax # 521-4292
From DENNIS WYANA
Phone # 523-4756



STATE OF HAWAII

DEPARTMENT OF LAND AND NATURAL RESOURCES

HISTORIC PRESERVATION DIVISION
Kekaulike Building, Room 555
801 Kamehame Boulevard
Honolulu, Hawaii 96807

December 8, 1998

Mr. Randall K. Fujiki, Director
Department of Design and Construction
650 South King Street, 2nd Floor
Honolulu, Hawaii 96813

Dear Mr. Fujiki:

Subject: Miscellaneous Sidewalk Improvements, Part 1
TMK 1-7 & 2-1, Chinatown, Honolulu, Oahu

C/S - 2714
MICHAEL D. WILSON, CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES

DEPUTIES
GILBERT COLOMA-AGARAN
TIMOTHY E. JOHNS
981207
AQUATIC RESOURCES
BOATING AND OCEAN RECREATION
CONSERVATION AND RESTORATION
ENFORCEMENT
CONVEYANCES
FORESTRY AND WILDLIFE
HISTORIC PRESERVATION
LAND
STATE PARKS
WATER RESOURCE MANAGEMENT
RECEIVED
CONSTR

LOG NO: 22502
DOC NO: 9812co06
DESIGN & CONSTRUCTION
DIVISION OF INFRASTRUCTURE
DESIGN & CONSTRUCTION

RECEIVED
DEC 18 10:32 AM

Thank you for the plans sent on November 25, 1998, regarding Miscellaneous Sidewalk Improvements (11/20/98) in the Chinatown Historic District of Honolulu. The previous submittal did not include some details which will have 'an adverse effect' on historic structures and the Chinatown Historic District. We do not concur with the drawings as submitted and offer the following comments:

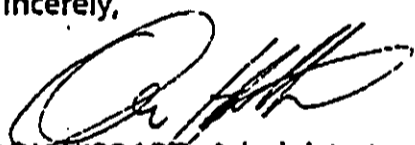
1. We concur with the proposed sidewalk widening on King Street between River Street and Kekaulike Street and King Street between Kekaulike and Bethel. We believe that the reuse of the lava rock curbs and the reuse of granite pavers will help to maintain the historic character of the Chinatown Historic District. To the extent possible existing pavers should be left in place.
2. We do not concur with the proposed new tile work for the sidewalks.
3. For installation of the storm drain system, relocation of water and utility lines or any other ground disturbance which is below the previously excavated road bed or other than existing utility corridors which have been previously disturbed, will require on site Archaeological monitoring. Because of the high probability of sites in shallow areas an archaeological monitoring plan should be submitted and approved by this office. Should historic sites such as walls, platforms, pavements and mounds, remains such as artifacts, burials, concentration of charcoal or shells are encountered during construction work, work shall cease in the immediate vicinity of the find and the find shall be protected from further damage. The contractor shall immediately contact the State Historic Preservation Division (692-8015), which will assess the significance of the find and recommend an appropriate mitigation measure, if necessary.

Mr. Randall K. Fujiki, Director
Page Two

4. We do not concur with the installation of street trees in the Chinatown Historic District. We believe that the trees will have a visual impact on the historic character of King Street. The sidewalk width will then become narrower and the impact on the awnings greater.
5. We do not concur with the proposed alteration to the awnings in the historic district. Per the Secretary of the Interiors Standards for Rehabilitation original features should be retained and preserved. Although the proposed shortening of the awnings replicates the features, we believe that removal of original fabric, alteration of the proportions of the awning, the change of the awning relationship to the sidewalk and the reduction of shelter for the building and entrances, will have a detrimental effect on the historic character of the structures as well as the historic district.
6. For Canopy No. 5, does not replicate the existing. Another design which replicated the existing was previously approved (copy attached). We believe that if the canopy needs to be replaced because of severe deterioration that it should be replicated, a slight slope may be desired for drainage.

Thank you opportunity to comment. Should you have any questions please contact Carol Ogata at 587-0004.

Sincerely,



DON HIBBARD, Administrator
State Historic Preservation Division

CO:jk

DEC-30-1998 09:00

DFW-ENGINEERING

P.03 06

BENJAMIN J. CAVETANO
GOVERNOR OF HAWAII



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
STATE HISTORIC PRESERVATION DIVISION
33 SOUTH KING STREET, 6TH FLOOR
HONOLULU, HAWAII 96813

MICHAEL D. WILSON, CHAIRMAN
BOARD OF LAND AND NATURAL RESOURCES

DEPUTY
GILBERT COLOMA AGAAN

AQUACULTURE DEVELOPMENT
PROGRAM
AQUATIC RESOURCES
CONSERVATION AND
ENVIRONMENTAL AFFAIRS
CONSERVATION AND
RESOURCES ENFORCEMENT
CONVEYANCES
FORESTRY AND WILDLIFE
HISTORIC PRESERVATION
DIVISION
LAND MANAGEMENT
STATE PARKS
WATER AND LAND DEVELOPMENT

August 4, 1998

Mr. Tony Ching
Department of Planning and Permitting
City & County of Honolulu
650 South King Street, 7th Floor
Honolulu, Hawaii 96813

LOG NO: 21985
DOC NO: 9807CO14 ✓
ARCHITECTURE

Dear Mr. Ching:

**SUBJECT: Chinatown Special District Permit No. 98/CT-9
Replacement of Sidewalk Awnings along King and Smith Streets
TMK 1-7-02:09 & 45, Chinatown, Honolulu, Oahu**

Thank you for the transmittal July 29, 1998 of the proposed replacement of the sidewalk awnings along King and Smith streets. The drawings submitted indicates that the awning will be replaced, in-kind, with a modification at the street corner. We believe that the project should have "no effect" on the historic character of the structure or the Chinatown Special Design District.

Thank you for the opportunity to comment, should you have any questions please call Carol Ogata at 587-0004.

Aloha,

DON HIBBARD, Administrator
State Historic Preservation Division

CO:je

AUG 6 1998

DOCUMENT CAPTURED AS RECEIVED

DEC-30-1998 09:01

IFW-ENGINEERING

P.04 06

DEPARTMENT OF PLANNING AND PERMITTING
CITY AND COUNTY OF HONOLULU
 650 SOUTH KING STREET, 7TH FLOOR • HONOLULU, HAWAII 96813
 Phone: (808) 525-8414 • Fax: (808) 527-6743

21985
 98070014
 COUNTY/NE

JEREMY HARRIS
 MAYOR



JAN NADE SULLIVAN
 DIRECTOR

LORETTA K.C. CHEE
 DEPUTY DIRECTOR

July 29, 1998

MEMORANDUM

VIA FACSIMILE
 587-0018

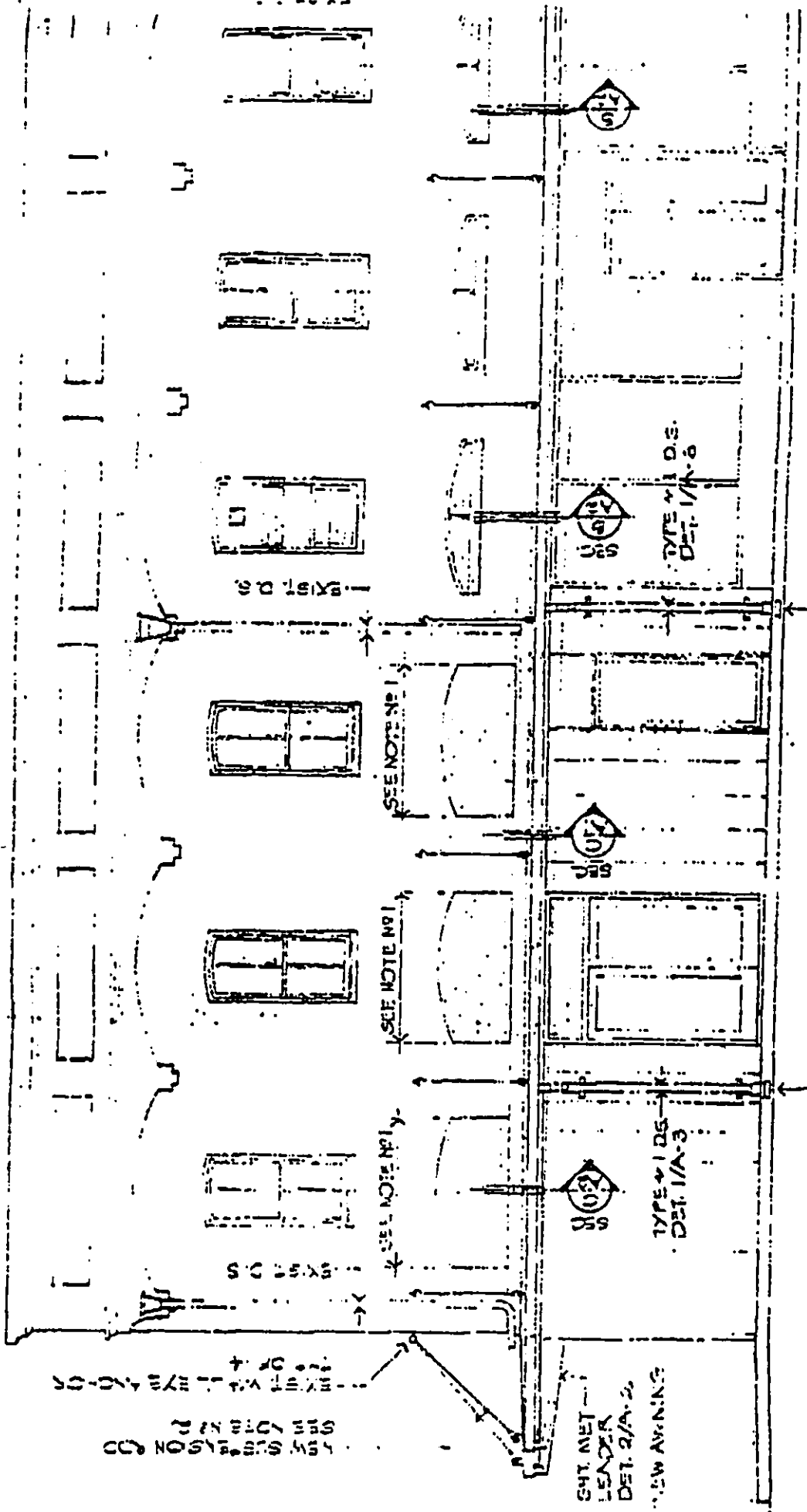
To: Carol Ogata, SHPD
 From: Tony Ching TC
 Subject: Chinatown Special District Permit No. 98/CT-9
 Replacement of Sidewalk Awnings along King and Smith Streets
 Tax Map Key: 1-7-02: 09 & 45

Per our telephone conversation this morning, please find attached (via facsimile) the application and partial building elevation for a minor permit (project classified as a minor exterior repair) in the Chinatown Special District. The applicant is proposing to remove and replace the sidewalk awning.

We would appreciate if you could get back to us with your review comments within 14 days from the date of this letter. If you have any questions regarding the above items, please call me at 527-5833.

king0729.axo
 Attachments

DOCUMENT CAPTURED AS RECEIVED



A KING STREET ELEVATION **NOTES:**

1. NEW DIRECT EXTERIOR FINISH SYSTEM (DEFS) ON 5/8" TH. FIBERGLASS FACED GYPSUM BOARD SUBSTRATE SCREW FASTENED TO EXIST. FIXED PLYWOOD PANEL. SEE DET. C/A-2

2. NEW 3/4" x 4" 4-BREADED BUCKLE. C1

3. SEE DET. 1/A-3

SC: 1/4" = 1'-0"

KUSAO & KURAHASHI, INC.

Planning and Zoning Consultants

INTERSTATE BUILDING
1314 S. KING ST., SUITE 1263
HONOLULU, HAWAII 96814

BUS. (808) 538-6652
FAX (808) 521-4292

January 29, 1999

Mr. Don Hibbard, Administrator
State Historic Preservation Division
Department of Land and Natural Resources
State of Hawaii
33 So. King Street
Honolulu, Hawaii 96813

Subject: Draft Environmental Assessment for Chinatown Sidewalk
Improvements, King Street Between River Street and Bethel Street,
Honolulu, Oahu, Hawaii, Tax Map Key: 1-7-02 and 2-1-02

Dear Mr. Hibbard:

Thank you for your prompt response to the request for comments from the Department of Design and Construction on the Draft Environmental Assessment for Chinatown Sidewalk Improvements. The following is a point by point response to your concerns:

1. We appreciate your concurrence with certain improvements planned in the Chinatown Sidewalk Improvements project.
2. The tile work proposed will be granite, finished to be similar to the existing granite pavers found on the mauka side of King Street between River Street and Kekaulike Street.
3. We do not expect to disturb the ground below the existing road bed utility corridors which have been previously disturbed. Should we excavate below the previously disturbed areas, we will provide on-site archaeological monitoring. As mentioned in the draft environmental assessment:

"If, during construction, any previously unidentified sites or remains (such as artifacts, shell, bone, or charcoal deposits, human burials, rock or coral alignments, pavings, or walls) are encountered, the Applicant shall stop work and contact the State Department of Land and Natural Resources Historic Sites Office at 587-0047 immediately. Work in the immediate area shall be stopped until the office is able to assess the impact and make further recommendations for mitigative activity."

The phone number will be revised to 692-8032 to reflect the State Historic Preservation Division's move to Kapolei.

4. We understand your concern about the installation of street trees in the Chinatown Historic District. However, in keeping with the City's street plan which is a policy for the Chinatown area, street trees are planned on King Street, as they have been provided on Hotel Street. The sidewalk is being widened to specifically accommodate the addition of street trees and to improve and enhance the pedestrian experience in Chinatown.

The Street Tree Program was adopted by Ordinance No. 3738 by the City Council on June 2, 1971. It was established to provide a program for tree planting which will make the City (Honolulu) a healthier and more beautiful place in which to live. Its objective is to plant and maintain as many trees as aesthetically appropriate, physically possible and economically feasible. It is also to make Honolulu known as the "City of Flowering Trees".

The guidelines for the Street Tree Program include taking every opportunity to plant trees. One of the priority areas for planting trees is along major streets and highways.

5. In order to minimize the impact to existing awnings, we will relocate street trees and street light standards where feasible to areas between awnings or in areas where awnings will not have to be altered. When we do need to alter an awning to locate a street tree or street light standard, we will make cuts in the awning to accommodate the

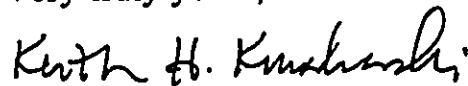
street tree or light standard, rather than remove and replace the entire awning.

6. We propose the following design for Canopy No. 5, to attempt to minimize the disturbance to the Canopy's historic character:
 - a. The canopy shall be cut back, only as needed, to accommodate street trees.
 - b. The fascia shall be reinstalled on the shortened canopy with details similar to the original.
 - c. The existing roofing shall be removed and replaced with similar roofing after installation of the shortened canopy.
 - d. A new gutter shall be added to the fascia and new down spouts will be added.

We will do our best to match the existing design of the canopies being modified if replacement materials need to be used.

Your letter and this response will be included in the Final Environmental Assessment for Chinatown Sidewalk Improvements.

Very truly yours,



Keith H. Kurahashi

cc: Department of Design and Construction

APPENDIX III
AGENCY COMMENTS

OCT-27-1998 11:14

DPW-ENGINEERING

P.01-02

BOARD OF WATER SUPPLY

CITY AND COUNTY OF HONOLULU
630 SOUTH BERETANIA STREET
HONOLULU, HAWAII 96843
PHONE (808) 527-6180
FAX (808) 533-2714



RECEIVED
OCT 22 3 33 PM '98

October 20, 1998

JEREMY HARRIS, Mayor
EDDIE FLORES, JR., Chairman
FORREST C. MURPHY, Vice Chairman
KAZU HAYASHIDA
DAN MALY, AMII
JONATHAN K. SHIMADA, PhD
BARBARA M. STANTON
CHAI... TED
CLIFFORD S. JAMILE
Chief Engineer

DESIGN & CONSTRUCTION
DIVISION
RECEIVED
OCT 22 2 55 PM '98

RECEIVED

TO: MR. RANDALL K. FUJIKI, DIRECTOR
DEPARTMENT OF DESIGN AND CONSTRUCTION

FROM: *Clifford S. Jamile*
CLIFFORD S. JAMILE

SUBJECT: YOUR MEMORANDUM OF SEPTEMBER 16, 1998 ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR THE CHINATOWN SIDEWALK IMPROVEMENTS, KING STREET BETWEEN RIVER AND BETHEL STREETS, HONOLULU, OAHU, VICINITY OF TMK: 1-7-02; 2-1-02

Thank you for the opportunity to review and comment on the Draft Environmental Assessment for the proposed widening of the sidewalks in Chinatown.

We have no objections to the proposed project. The construction plans should be submitted for review and approval to minimize any potential impacts to our existing facilities in the area.

If you have any questions, please contact Barry Usagawa at 527-5235.

KUSAO & KURAHASHI, INC.
Planning and Zoning Consultants
INTERSTATE BUILDING
1314 S. KING ST., SUITE 1263
HONOLULU, HAWAII 96814

BUS. (808) 538-6652
FAX (808) 521-4292

January 29, 1999

Mr. Clifford S. Jamile, Manager and Chief Engineer
Board of Water Supply
City and County of Honolulu
630 So. Beretania Street
Honolulu, Hawaii 96813

Subject: Draft Environmental Assessment for Chinatown Sidewalk
Improvements, King Street Between River Street and Bethel Street,
Honolulu, Oahu, Hawaii, Tax Map Key: 1-7-02 and 2-1-02

Dear Mr. Jamile:

Thank you for your prompt response to the request for comments from the
Department of Design and Construction on the Draft Environmental Assessment
for Chinatown Sidewalk Improvements.

As you have recommended, the construction plans will be submitted for
your review and approval to minimize any potential impacts to your existing
facilities in the area.

Your memorandum and this response will be included in the Final
Environmental Assessment for Chinatown Sidewalk Improvements.

Very truly yours,

Keith H. Kurahashi

Keith H. Kurahashi

cc: Department of Design and Construction

DOCUMENT CAPTURED AS RECEIVED

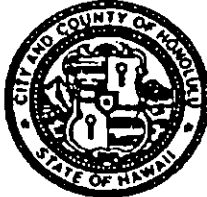
DEPARTMENT OF DESIGN AND CONSTRUCTION
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 2ND FLOOR
HONOLULU, HAWAII 96813

Phone: (808) 523-4564 • Fax: (808) 523-4567

RECEIVED

JEREMY HARRIS MAYOR Oct 5 1 55 PM '98



DESIGN & CONSTRUCTION
DIV OF INFRASTRUCTURE
DESIGN & ENGINEERING

RANDALL K. FUJIKI, AIA
DIRECTOR

ROLAND D. LIBBY, JR., AIA
DEPUTY DIRECTOR

IDEA 98-0081

September 16, 1998

MEMORANDUM

TO:
From

DR. KENNETH E. SPRAGUE, DIRECTOR
DEPARTMENT OF ENVIRONMENTAL SERVICES

DR. JONATHAN K. SHIMADA, DIRECTOR AND CHIEF ENGINEER
DEPARTMENT OF FACILITY MAINTENANCE

MR. PATRICK T. ONISHI, CHIEF PLANNING OFFICER
PLANNING DEPARTMENT

MS. JAN NAOE SULLIVAN, DIRECTOR
DEPARTMENT OF PLANNING AND PERMITTING

MR. CLIFFORD S. JAMILE, MANAGER AND CHIEF ENGINEER
BOARD OF WATER SUPPLY

70 FROM:

FOR RANDALL K. FUJIKI, DIRECTOR
DEPARTMENT OF DESIGN AND CONSTRUCTION

SUBJECT: DRAFT ENVIRONMENTAL ASSESSMENT FOR CHINATOWN SIDEWALK
IMPROVEMENTS, KING STREET BETWEEN RIVER STREET AND BETHEL
STREET, HONOLULU, OAHU, HAWAII, TMK: 1-7-02 AND 2-1-02

'98 SEP 23 AM 11:56
ROAD DIVISION
OFFICE OF ENVIRONMENTAL QUALITY CONTROL
HONOLULU

We are transmitting a copy of the draft Environmental Assessment (EA) for our proposed project, which will be published in the September 23, 1998, Office of Environmental Quality Control's (OEQC) Environmental Notice, for your review and comments.

Please provide us with your comments, if any, on or before October 23, 1998. If we do not hear from you by the above date, it will be assumed that you have no comments.

If you have any questions, please contact Dennis Toyama at 523-4756.

September 30, 1998

We have no comments. If you have any questions, please call Laverne Hig at 527-6246.

Jonathan K. Shimada, PhD
DCE, Department of Facility Maintenance

KUSAO & KURAHASHI, INC.
Planning and Zoning Consultants
INTERSTATE BUILDING
1314 S. KING ST., SUITE 1283
HONOLULU, HAWAII 96814

BUS. (808) 538-6652
FAX (808) 521-4292

January 29, 1999

Mr. Isidro M. Baquilar, Acting Director and Chief Engineer
Department of Facility Maintenance
City and County of Honolulu
650 So. King Street
Honolulu, Hawaii 96813

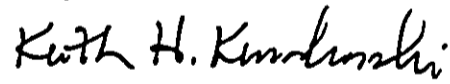
Subject: Draft Environmental Assessment for Chinatown Sidewalk
Improvements, King Street Between River Street and Bethel Street,
Honolulu, Oahu, Hawaii, Tax Map Key: 1-7-02 and 2-1-02

Dear Dr. Shimada:

Thank you for your prompt response to the request for comments from the
Department of Design and Construction on the Draft Environmental Assessment
for Chinatown Sidewalk Improvements.

Your memorandum and this response will be included in the Final
Environmental Assessment for Chinatown Sidewalk Improvements.

Very truly yours,



Keith H. Kurahashi

cc: Department of Design and Construction

DEPARTMENT OF TRANSPORTATION SERVICES
CITY AND COUNTY OF HONOLULU

PACIFIC PARK PLAZA • 711 KAPIOLANI BOULEVARD, SUITE 1200 • HONOLULU, HAWAII 96813
PHONE: (808) 523-4529 • FAX: (808) 523-4730

JEREMY HARRIS
MAYOR



CHERYL D. SOON
DIRECTOR

JOSEPH M. MAGALDI, JR.
DEPUTY DIRECTOR

November 24, 1998

MEMORANDUM

TO: RANDALL K. FUJIKI, DIRECTOR
DEPARTMENT OF DESIGN AND CONSTRUCTION

ATTN: DENNIS TOYAMA

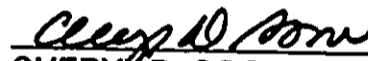
FROM: CHERYL D. SOON, DIRECTOR

SUBJECT: CHINATOWN SIDEWALK IMPROVEMENTS, KING STREET BETWEEN
RIVER AND BETHEL STREETS

Our memorandum of November 6, 1998 provided comments on our initial review of the draft environmental assessment of the subject project. We ask that you disregard the comments contained in that memorandum. We support the subject improvements.

Please notify us when construction commences so that we can notify Oahu Transit Services, Inc.

If you have any questions, please contact Faith Miyamoto of the Transportation Planning Division at Local 6976.


CHERYL D. SOON

cc: Mr. Gary Gill, Office of
Environmental Quality Control
✓ Kusao & Kurahashi, Inc.

KUSAO & KURAHASHI, INC.

Planning and Zoning Consultants

INTERSTATE BUILDING
1314 S. KING ST., SUITE 1263
HONOLULU, HAWAII 96814

BUS. (808) 538-6652
FAX (808) 521-4292

January 29, 1999

Ms. Cheryl D. Soon, Director
Department of Transportation Services
City and County of Honolulu
711 Kapiolani Boulevard, Suite 1200
Honolulu, Hawaii 96813

Subject: Draft Environmental Assessment for Chinatown Sidewalk
Improvements, King Street Between River Street and Bethel Street,
Honolulu, Oahu, Hawaii, Tax Map Key: 1-7-02 and 2-1-02

Dear Ms. Soon:

Thank you for your prompt response and final comments on the request for comments from the Department of Design and Construction on the Draft Environmental Assessment for Chinatown Sidewalk Improvements.

As you have recommended, we will contact you when construction commences so that you can notify the Oahu Transit Services, Inc.

Your memorandum, dated November 24, 1998, and this response will be included in the Final Environmental Assessment for Chinatown Sidewalk Improvements.

Very truly yours,

Keith H. Kurahashi

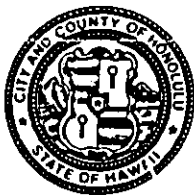
Keith H. Kurahashi

cc: Department of Design and Construction

PLANNING DEPARTMENT
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 8TH FLOOR • HONOLULU, HAWAII 96813-3017
PHONE (808) 523-4533 • FAX: (808) 523-4950

JEREMY HARRIS
MAYOR



PATRICK T. ONISHI
CHIEF PLANNING OFFICER
DONAL HANAIKE
DEPUTY CHIEF PLANNING OFFICER

ET 9/98-1843

September 30, 1998

TO: RANDALL K. FUJIKI, DIRECTOR
DEPARTMENT OF DESIGN AND CONSTRUCTION

FROM: PATRICK T. ONISHI
CHIEF PLANNING OFFICER

SUBJECT: DRAFT ENVIRONMENTAL ASSESSMENT FOR THE CHINATOWN
SIDEWALK IMPROVEMENTS, KING STREET BETWEEN RIVER
STREET AND BETHEL STREET, HONOLULU, OAHU, HAWAII

This is in response to your memorandum dated September 16, 1998. We have reviewed the Draft Environmental Assessment and have the following comments to offer.

In Section III.B.1., Sidewalk Widening, pg. 9, the EA should indicate the current road right-of-way, existing lane widths and existing sidewalk widths.

In Section IV.C., Historic, Cultural, and Archaeological Resources, pg. 18 and 19, the EA should indicate how this condition to protect the resources will be conveyed to the contractor. In the same section, pg. 19, the EA may discuss the City's Street Tree Plan, its purpose and rationale in the Chinatown District to better address the concerns of the State Historic Preservation Division.

Should you have any questions, please call Eugene Takahashi of our staff at 527-6022.

PTO:lh

c: ✓ Kusao & Kurahashi, Inc.
Attn: Mr. Keith Kurahashi

KUSAO & KURAHASHI, INC.

Planning and Zoning Consultants

INTERSTATE BUILDING
1314 S. KING ST., SUITE 1263
HONOLULU, HAWAII 96814

BUS. (808) 538-6652
FAX (808) 521-4292

January 29, 1998

Ms. Jan Sullivan, Director
Department of Planning and Permitting
City and County of Honolulu
650 So. King Street, 7th Floor
Honolulu, Hawaii 96813

Subject: Draft Environmental Assessment for Chinatown Sidewalk Improvements,
King Street Between River Street and Bethel Street, Honolulu, Oahu,
Hawaii, Tax Map Key: 1-7-02 and 2-1-02

Dear Ms. Sullivan:

This is in response to comments on the Draft Environmental Assessment for Chinatown Sidewalk Improvements from the Planning Department (now Planning Division in your department).

As recommended, the following additional information will be provided in the final environmental assessment (EA):

- a. Section III.B.1. Sidewalk Widening on page 9 of the draft EA will be modified in the final EA, to include current road right-of-way, existing lane widths and existing sidewalk widths.

The current road right-of-way is 56 feet. The lane widths for the four lanes, from the mauka most lane to the makai most lane, are approximately 10 feet, 9 feet, 10 feet and 11 feet, respectively. The existing sidewalk widths are about 8 feet on both the mauka and makai side of King Street.

- b. Section IV.C. Historic, Cultural, and Archaeological Resources on pages 18 and 19 of the draft EA will be modified in the final EA to indicate how the condition to protect resources will be conveyed to the contractor and will discuss the City's Street Tree Plan, its purpose and rationale in the Chinatown District to better address the concerns of the State Historic Preservation Division.

The contractors will be notified by way of construction notes on the construction drawings, restating the condition relating to work stoppage in the event that previously unidentified sites or remains (such as artifacts, shell, bone, or charcoal deposits, human burials, rock or coral alignments, pavings or walls) are encountered. Prior to commencement of construction on the project, the contractors will be reminded verbally of this condition by the Department of Design and Construction.

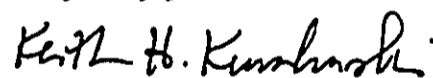
In keeping with the City's street plan which has been established for the Chinatown area, street trees are planned to be provided on King Street, as they have been provided on Hotel Street. The sidewalk widening is being implemented, specifically to create room for addition of street trees and to improve and enhance the pedestrian experience in Chinatown.

The Street Tree Program was adopted by Ordinance No. 3738 by the City Council on June 2, 1971. It was established to provide a program for tree planting which will make the City (Honolulu) a healthier and more beautiful place to live in. Its objective is to plant and maintain as many trees as aesthetically appropriate, physically possible and economically feasible. It is also to make Honolulu known as the "City of Flowering Trees".

The guidelines for the Street Tree Program includes taking every opportunity to plant trees. One of the priority areas for planting trees is along major streets and highways.

Your memorandum and this response will be included in the Final Environmental Assessment for Chinatown Sidewalk Improvements.

Very truly yours,



Keith H. Kurahashi

cc: Department of Design and Construction

98-2174

MAYOR'S DOWNTOWN/CHINATOWN TASK FORCE

CITY AND COUNTY OF HONOLULU
3375 KOAPAKA STREET, SUITE H450 • HONOLULU, HAWAII 96819-1869
• Phone: (808)831-4351 Fax: (808)833-3934

RECEIVED

JEREMY HARRIS
MAYOR
OCT 9 10 40 AM '98

98 OCT -8 P3:16



October 6, 1998

DESIGN & CONSTRUCTION
DIV OF INFRASTRUCTURE
DESIGN & ENGINEERING

ROBERT GERELL
CHAIRPERSON
OCT 8 11 1 53
C&CE
CHINATOWN

Mr. Randall K. Fujiki
Director
Department of Design and Construction
City and County of Honolulu
650 South King Street, 2nd Floor
Honolulu, Hawaii 96813

RE: Draft Environmental Assessment for Chinatown Sidewalk Improvements, King Street
Between River Street and Bethel Street, Honolulu, Oahu, Hawaii
TMK: 1-7-02- and 2-1-02

Dear Mr. Fujiki:

Thank you for forwarding a copy of the above referenced document to us for review and comment. At the September 30, 1998 Task Force meeting, we reviewed the Draft Environmental Assessment and were briefed by members of the City's Design staff on the proposed improvements.

The Mayor's Downtown Chinatown Task Force supports the proposed project with the following comments:

1. An empty electrical chase be installed to accommodate future installation of Video Surveillance Cameras along King Street.
2. New public lighting to be installed along King Street be compatible in fixture design and light intensity to that which will be constructed in other portions of Chinatown early next year.

Thank you for allowing us to review and comment upon the Draft Environmental Assessment for Chinatown Sidewalk Improvements. We believe that when completed, these improvements will contribute to the overall revitalization of Chinatown.

Very truly yours,

Robert H. Gerell
Chairman

KUSAO & KURAHASHI, INC.

Planning and Zoning Consultants

INTERSTATE BUILDING
1314 S. KING ST., SUITE 1283
HONOLULU, HAWAII 96814

BUS. (808) 538-6652
FAX (808) 521-4292

January 29, 1999

Mr. Robert H. Gerell, Chairman
Mayor's Downtown/Chinatown Task Force
City and County of Honolulu
3375 Koapaka Street, Suite H450
Honolulu, Hawaii 96819-1869

Subject: Draft Environmental Assessment for Chinatown Sidewalk
Improvements, King Street Between River Street and Bethel Street,
Honolulu, Oahu, Hawaii, Tax Map Key: 1-7-02 and 2-1-02

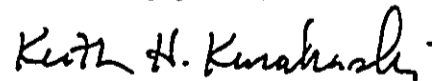
Dear Mr. Gerell:

Thank you for your prompt response to the request for comments from the Department of Design and Construction on the Draft Environmental Assessment for Chinatown Sidewalk Improvements.

As you have recommended, new public lighting to be installed will be compatible with the fixture design and light intensity of that which will be constructed in other portions of Chinatown. We are looking into the possibility of installing an electrical chase to accommodate the future installation of Video Surveillance Cameras along King Street.

Your letter and this response will be included in the Final Environmental Assessment for Chinatown Sidewalk Improvements.

Very truly yours,



Keith H. Kurahashi

cc: Department of Design and Construction

NOV-02-1998 10:40

DFW-ENGINEERING

P.01 02

BENJAMIN J. CAYetano
GOVERNOR OF HAWAII



DEPARTMENT OF HEALTH
C & C OF HONOLULU

LAWRENCE M. KE
DIRECTOR OF HEALTH

'98 OCT 29 AM 10 09

STATE OF HAWAII
DEPARTMENT OF HEALTH
P.O. BOX 3378
HONOLULU, HAWAII 96801

In Reply, please refer to

Post-Net
Fax Note
Date 11/2/98
To AMN Kusao
Fax 521-4292
From DANNIS BYRNE
Phone 523-4756

October 23, 1998

98-206/epo
98 OCT 29 P2:09
RECEIVED
DESIGN & CONSTRUCTION
DIV OF INFRASTRUCTURE
DESIGN & ENGINEERING

Mr. Randall K. Fujiki, Director
Department of Design and Construction
City and County of Honolulu
650 South King Street, 2nd Floor
Honolulu, Hawaii 96813

Dear Mr. Fujiki:

Subject: Draft Environmental Assessment
Chinatown Sidewalk Improvements
King Street Between River Street and Bethel Street
Honolulu, Hawaii
TMK: 1-7-02

Thank you for allowing us to review and comment on the subject project. We have the following comments to offer:

Water Pollution

1. The applicant should contact the Army Corps of Engineers to identify whether a federal permit (including a Department of Army permit) is required for this project. If a federal permit is required, then a Section 401 Water Quality Certification is required from the State Department of Health, Clean Water Branch.
2. A National Pollutant Discharge Elimination System (NPDES) general permit is required for the following discharges to waters of the State:
 - a. Storm water discharges relating to construction activities, such as clearing, grading, and excavation, for projects equal to or greater than five acres;
 - b. Storm water discharges from industrial activities;
 - c. Construction dewatering activities;
 - d. Noncontact cooling water discharges less than one million gallons per day;

Mr. Randall K. Fujiki
October 23, 1998
Page 2

98-206/epo

- e. Treated groundwater from underground storage tank remedial activities;
- f. Hydrotesting water;
- g. Treated effluent from petroleum bulk stations and terminals; and
- h. Treated effluent from well drilling activities.

Any person requesting to be covered by a NPDES general permit for any of the above activities should file a Notice of Intent with the Department's Clean Water Branch at least 30 days prior to commencement of any discharge to waters of the State.

3. After construction of the proposed facility is completed, an NPDES individual permit will be required if the operation of the facility involves any wastewater discharge into State waters.

Any questions regarding these comments should be directed to Mr. Denis Lau, Branch Chief, Clean Water Branch at 586-4309.

Sincerely,



BRUCE S. ANDERSON, Ph.D.
Deputy Director for
Environmental Health

c: CWB

KUSAO & KURAHASHI, INC.

Planning and Zoning Consultants

INTERSTATE BUILDING
1314 S. KING ST., SUITE 1263
HONOLULU, HAWAII 96814

BUS. (808) 538-6652
FAX (808) 521-4292

January 29, 1999

Bruce S. Anderson, Ph.D., Director
Department of Health
State of Hawaii
P.O. Box 3378
Honolulu, Hawaii 96801

Subject: Draft Environmental Assessment for Chinatown Sidewalk
Improvements, King Street Between River Street and Bethel Street,
Honolulu, Oahu, Hawaii, Tax Map Key: 1-7-02 and 2-1-02

Dear Dr. Anderson:

Thank you for your prompt response to the request for comments from the Department of Design and Construction on the Draft Environmental Assessment for Chinatown Sidewalk Improvements.

As you have recommended, the applicant has contacted the Army Corps of Engineers and has determined that the proposed development will not require a federal permit or Department of the Army permit to proceed.

A National Pollutant Discharge Elimination System (NPDES) permit will not be required for the project which involves construction activities over an area less than five acres in size and does not involve activities that would trigger an NPDES permit requirement.

Upon completion of construction, the operation of the widened sidewalks will not involve any wastewater discharge into state waters and an individual NPDES permit will not be required.

Your letter and this response will be included in the Final Environmental Assessment for Chinatown Sidewalk Improvements.

Very truly yours,

Keith H. Kurahashi

Keith H. Kurahashi

cc: Department of Design and Construction

98-2145

RECEIVED

'98 OCT -8 A8 53

DESIGN & CONSTRUCTION
DIV OF INFRASTRUCTURE
DESIGN & ENGINEERING

RECEIVED
OCT 8 12 AM '98

Scott W.H. Seu, P.E.
Manager
Environmental Department

October 6, 1998

98 OCT 8 AM 7 41
DEPT. OF DESIGN & CONSTRUCTION
HONOLULU

Department of Design and Construction
City and County of Honolulu
650 South King Street, 2nd Floor
Honolulu, HI 96813
Attention: Dennis Toyama

Dear: Mr. Toyama

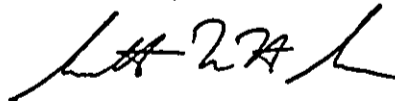
Subject: Chinatown Sidewalk Improvements

Thank you for the opportunity to comment on your September 1998 Draft EA for the Chinatown Sidewalk Improvements, as proposed by the Department of Design and Construction. We have reviewed the subject document and have the following comments:

- There is no mention of how the utility relocation will be funded. The relocation of HECO facilities could be an expensive project.
- We need to review the construction plans as soon as possible to determine the impact on HECO's facilities. It appears that there are a number of network vaults and hardholes on the makai side of King Street that would be affected.

Our point of contact for this project, and the originator of these comments, is Francis Hirakami (543-7536) Principal Engineer. I suggest your staff and consultants deal directly with Francis to coordinate HECO's continuing input on this project.

Sincerely,



cc: OEQC

F. Hirakami

WINNER OF THE EDISON AWARD
FOR DISTINGUISHED INDUSTRY LEADERSHIP



KUSAO & KURAHASHI, INC.

Planning and Zoning Consultants

INTERSTATE BUILDING
1314 S. KING ST., SUITE 1263
HONOLULU, HAWAII 96814

BUS. (808) 538-6652
FAX (808) 521-4292

January 29, 1999

Mr. Scott W.H. Seu, P.E., Manager
Environmental Department
Hawaiian Electric Company, Inc.
P.O. Box 2750
Honolulu, Hawaii 96840-0001

Subject: Draft Environmental Assessment for Chinatown Sidewalk Improvements,
King Street Between River Street and Bethel Street, Honolulu, Oahu,
Hawaii, Tax Map Key: 1-7-02 and 2-1-02

Dear Mr. Seu:

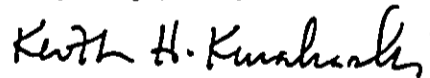
Thank you for your prompt response to the request for comments from the Department of Design and Construction on the Draft Environmental Assessment for Chinatown Sidewalk Improvements.

The applicant's consultant has met with HECO staff in response to your letter to determine the appropriate allocation of the utility relocation costs. Further meetings and discussion will be necessary to negotiate an acceptable allocation.

As you have requested and in concert with the previously mentioned meeting, construction drawings were provided for your review and consideration.

Your letter and this response will be included in the Final Environmental Assessment for Chinatown Sidewalk Improvements.

Very truly yours,



Keith H. Kurahashi

cc: Department of Design and Construction

9/8-2259

October 15, 1998

RECEIVED

City of Honolulu

'98 OCT 20 PM 1 59

Randall Fujiki, Director
Department of Design & Construction
Honolulu Municipal Building
650 South King Street, 2nd floor
Honolulu, Hawaii 96813

'98 OCT 20 P3:18

DESIGN & CONSTRUCTION
DIV OF INFRASTRUCTURE
DESIGN & ENGINEERING

Subject: Chinatown Sidewalk Improvement

Post. #	Date	# of pages
Fax Note	10/21/98	1
To	ANN KUSAO	
Fax #	521-4292	
From	DENNIS TOYAMA	
Phone #	523-9756	

Dear Randall:

The existing right-of-way of King Street from River Street and the portion waikiki of that through the heart of Chinatown is narrow. Actually there are only three lanes of traffic through this immediate area with parking for a loading zone for the businesses in the area on the mauka side. The early morning tow-away zones provide for four lanes of traffic in this same vicinity.

This loading zone is a very precious area. It also serves as a drop off and pick up point for many elderly persons who do their grocery shopping and having lunch here. The police respects the use of the loading zone area for the elderly and handicapped.

Putting in a lighting system the fits the character of Chinatown to light up the streets during evening hours is a very good idea. But widening the sidewalks by approximately 18 inches on each side and making each of the lanes narrower does not get my support. However, repairing and upgrading the existing sidewalks also is a very good idea. Handicap accessibility is lacking at street intersections in the area also and therefore should be a high priority.

The existing sidewalks width as it is does it's job. The monies can be used elsewhere in this area or can be better utilized in other areas within the City and County of Honolulu in today's economic climate.

Why? In San Francisco Chinatown the existing streets like Grant and Sacramento Avenues have sidewalks that are much more narrower on both sides. Much more tourists and residents use them than here and don't complain. It's a character of Chinatown. Narrowing the street even further makes the street seem more busy and congested and adds a more negative emphasis to the automotive environment in Chinatown especially for King Street in this area.

I can see widening the sidewalks a block away on Hotel Street and narrowing the street lane widths because only City buses are allowed on this street.

Sincerely,

Wendell Lum

cc: Gary Gill, Department of Environmental Quality Control
State of Hawaii

My Address: Wendell Lum
45-135 Lilipuna Road
Kaneohe, HI 96744-3022

RECEIVED
OCT 21 9 07 AM '98

CORRECTION

THE PRECEDING DOCUMENT(S) HAS
BEEN REPHOTOGRAPHED TO ASSURE
LEGIBILITY
SEE FRAME(S)
IMMEDIATELY FOLLOWING

9/8-2259

City of Honolulu
C & C C HONOLULU

'98 OCT 20 PM 1 59

October 15, 1998

RECEIVED

Randall Fujiki, Director
Department of Design & Construction
Honolulu Municipal Building
650 South King Street, 2nd floor
Honolulu, Hawaii 96813

'98 OCT 20 P3:18

DESIGN & CONSTRUCTION
DIV OF INFRASTRUCTURE
DESIGN & ENGINEERING

Subject: Chinatown Sidewalk Improvement

Post. #	Date	# of pages
Fax Note	10/21/98	1
To	ANN KUSAO	
Fax #	521-4292	
From	DENNIS TOYAMA	
Phone #	523-9756	

Dear Randall:

The existing right-of-way of King Street from River Street and the portion waikiki of that through the heart of Chinatown is narrow. Actually there are only three lanes of traffic through this immediate area with parking for a loading zone for the businesses in the area on the mauka side. The early morning tow-away zones provide for four lanes of traffic in this same vicinity.

This loading zone is a very precious area. It also serves as a drop off and pick up point for many elderly persons who do their grocery shopping and having lunch here. The police respects the use of the loading zone area for the elderly and handicapped.

Putting in a lighting system the fits the character of Chinatown to light up the streets during evening hours is a very good idea. But widening the sidewalks by approximately 18 inches on each side and making each of the lanes narrower does not get my support. However, repairing and upgrading the existing sidewalks also is a very good idea. Handicap accessibility is lacking at street intersections in the area also and therefore should be a high priority.

The existing sidewalks width as it is does it's job. The monies can be used elsewhere in this area or can be better utilized in other areas within the City and County of Honolulu in today's economic climate.

Why? In San Francisco Chinatown the existing streets like Grant and Sacramento Avenues have sidewalks that are much more narrower on both sides. Much more tourists and residents use them than here and don't complain. It's a character of Chinatown. Narrowing the street even further makes the street seem more busy and congested and adds a more negative emphasis to the automotive environment in Chinatown especially for King Street in this area.

I can see widening the sidewalks a block away on Hotel Street and narrowing the street lane widths because only City buses are allowed on this street.

Sincerely,

Wendell Lum

cc: Gary Gill, Department of Environmental Quality Control
State of Hawaii

My Address: Wendell Lum
45-135 Lilipuna Road
Kaneohe, HI 96744-3022

RECEIVED
OCT 21 9 07 AM '98

DOCUMENT CAPTURED AS RECEIVED

KUSAO & KURAHASHI, INC.
Planning and Zoning Consultants
INTERSTATE BUILDING
1314 S. KING ST., SUITE 1263
HONOLULU, HAWAII 96814

BUS. (808) 538-6652
FAX (808) 521-4292

January 29, 1999

Mr. Wendell Lum
45-135 Lilipuna Road
Kaneohe, Hawaii 96744-3022

Subject: Draft Environmental Assessment for Chinatown Sidewalk
Improvements, King Street Between River Street and Bethel Street,
Honolulu, Oahu, Hawaii, Tax Map Key: 1-7-02 and 2-1-02

Dear Mr. Lum:

Thank you for your prompt response to the request for comments from the Department of Design and Construction on the Draft Environmental Assessment for Chinatown Sidewalk Improvements.

We appreciate your support for certain improvements planned in the sidewalk widening project.

Our initial plan for the sidewalk improvements on King Street included elimination of one lane and widening of the sidewalk by up to four feet on both sides of King Street. The need for the loading lane and three lanes for through traffic was one of the considerations in reducing the scope of the sidewalk widening and retaining four lanes on King Street.

As you have recommended, our improvements will provide accessibility for the disabled by including new and relocated ramps at the intersections.

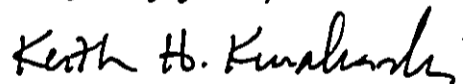
We understand your concern about the widening of the sidewalk and the reduction in lane widths on King Street. However, the widening of the sidewalk area is necessary to improve and enhance the pedestrian experience in Chinatown. In keeping with the City's street plan which has been established for the Chinatown area, street trees are planned to be provided on King Street, as they have been provided on Hotel Street.

We appreciate your comparison to Chinatown in San Francisco which works extremely well, primarily because along with the narrow sidewalks with sales displays (which further reduces the useable area of the sidewalk), these are also low speed, low volume streets where vehicles and pedestrians mingle with relative safety. It is not unusual to see vendors, delivery persons and tourists stepping in and out of the street to maneuver around areas of the sidewalk that may become blocked by activity, and even walking in a vehicle travel lane for entire blocks. The two streets that you have mentioned (Grant and Sacramento Avenue) and other small streets in the heart of Chinatown operate as quasi-pedestrian malls in the way that vehicles and pedestrians share the vehicle travel lanes.

Unfortunately, our Chinatown is divided by a major thoroughfare that does not lend itself to a sharing of activity with pedestrians. With the higher speeds and volumes on King Street, a pedestrian would be at risk entering and remaining on the street for any length of time. Thus, the need to insure that pedestrians and traffic are separated and pedestrians are accommodated with sidewalks wide enough to provide for both safe travel and user amenities, such as decorative light standards and street trees.

Your letter and this response will be included in the Final Environmental Assessment for Chinatown Sidewalk Improvements.

Very truly yours,



Keith H. Kurahashi

cc: Department of Design and Construction