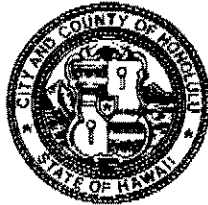


DEPARTMENT OF DESIGN AND CONSTRUCTION
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 11TH FLOOR
HONOLULU, HAWAII 96813
Phone: (808) 523-4564 • Fax: (808) 523-4567
Web site: www.co.honolulu.hi.us

JEREMY HARRIS
MAYOR



TIMOTHY E. STEINBERGER, P.E.
DIRECTOR

IN REPLY REFER TO:
LH-SP040

April 14, 2004

Ms. Genevieve Salmonson, Director
Office of Environmental Quality Control
Satate Department of Health
235 South Beretania Street, Suite 702
Honolulu, Hawaii 96813

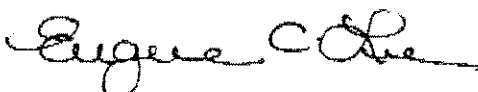
Dear Ms. Salmonson:

Subject: Final Environmental Assessment
Maile Beach Park Improvements
TMK: 8-7-015: 001, 003-007, 39 and 8-7-028: 021-023
Maile, Oahu, Hawaii

The Department of Design and Construction has reviewed the final environmental assessment (FEA) for the subject project, and is issuing a Finding of No Significant Impact determination. Please publish notice of availability for this project in the April 23, 2004 issue of the OEQC Environmental Notice.

We have enclosed a completed OEQC Publication Form and four (4) copies of the FEA. The project summary is on file with your office. Please call Laverne Higa at 527-6246 if you have any questions.

Very truly yours,


for TIMOTHY E. STEINBERGER, P.E.
Director

TES:lk

Enclosure

**2004-04-23 FONSI
MAILI BEACH PARK IMPROVEMENTS**

APR 23 2004

FILE COPY

Final Environmental Assessment

**Mali Beach Park Improvements
Mali, Oahu, Hawaii**

Prepared Pursuant to
Chapter 343 Hawaii Revised Statutes and
Chapter 25 Revised Ordinances of Honolulu

RECEIVED
QUALITY CONTROL

04 APR 14 P3:13

RECEIVED

Prepared for:

Department of Design and Construction
City and County of Honolulu

April 2004

Final Environmental Assessment
Maili Beach Park Improvements
Maili, Oahu, Hawaii

Prepared Pursuant to
Chapter 343 Hawaii Revised Statutes and
Chapter 25 Revised Ordinances of Honolulu

Proposing Agency:

City and County of Honolulu
Department of Design and Construction
650 South King Street
Honolulu, Hawaii 96813

Primary Consultant:

Engineers Surveyors Hawaii, Inc.
900 Halekauwila Street
Honolulu, Hawaii 96814

EIS Consultant:

Environmental Communications, Inc.
1188 Bishop Street, Suite 2210
Honolulu, Hawaii 96813

April 2004

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I. PROJECT SUMMARY

APPLICANT: Dept. of Design and Construction
City and County of Honolulu
650 South King Street
Honolulu, Hawaii 96813

AGENT: Engineers Surveyors Hawaii, Inc
900 Halekauwila Street
Honolulu, Hawaii 96814

CONSULTANT: Environmental Communications, Inc.
1188 Bishop Street, Suite 2210
Honolulu, Hawaii 96813

PROJECT NAME: Maili Beach Park Improvements

PROJECT LOCATION: Maili Beach Park
87-461 Farrington Highway
Maili, Oahu, Hawaii

TAXMAPKEY/ OWNERSHIP: 8-7-015: 001, 003-007, 039
8-7-028: 021-023
City and County of Honolulu

LOT AREA:

8-7-015: 001	37,208 sf
8-7-015: 003	39,486 sf
8-7-015: 004	40,995 sf
8-7-015: 005	42,403 sf
8-7-015: 006	41,540 sf
8-7-015: 007	39,332 sf
8-7-015: 039	38,223 sf
8-7-028: 021	35,117 sf
8-7-028: 022	35,495 sf
8-7-028: 023	36,192 sf
Total acreage	8.51 acres (385,991sf)

ZONING: P-2, General Preservation

DEVELOPMENT PLAN: Parks and Recreation

DEVELOPMENT PLAN AREA: Waianae

STATE LAND USE: Urban

CURRENT LAND USE:

Existing City and County Park with improvements including a restroom facility, picnic tables and on-site parking.

NATURE OF DEVELOPMENT:

The proposed action consists of improvements that will include an improved paved parking area, sidewalks, barrier fencing, landscaping and lighting improvements.

PROJECT COST:

The total cost of the proposed improvements is approximately \$456,000. The scope of work will be conducted in a single continuous phase.

II. PROPOSED PROJECT AND STATEMENT OF OBJECTIVES

A. Project Location

The proposed improvements are located on the existing Maili Beach Park, Maili, Oahu, Hawaii. The project site is also identified as TMKs: 8-7-015: 001, 003-007, 039 and 8-7-028: 021-023. All parcels are owned by the City and County of Honolulu.

The project parcel consists of lands makai (west) of Farrington Highway and north of St. John's Road. This continuous shoreline parcel includes approximately 5,000 feet of shoreline. Across Farrington Highway, the park passes 20 residential streets from Milikami Street to the north and St. John's Road to the south. The project improvement area is limited to the southern end of the Beach Park from Palakamana Street to St. John's Road.

B. Project Description

The proposed improvements are initiated as a community-visioning project by the Maili community. These improvements are limited to the southern portion of the Maili Beach Park. The proposed action is limited to basic park repair and improvements and will not change the nature of the park use nor the intensity and capacity of the park. Rather, the proposed improvements enhance the park for existing users and the surrounding community. The proposed improvements reflect the intent of this community initiative and are described in detail as follows.

1. Improved Paved Parking

The unimproved parking area is presently paved and lined with concrete pile butts that demarcate the parking site. A rock wall is located along the northern boundary of the area. The proposed parking improvements will consist of the removal of the concrete pile butts, grading and repaving of the parking area. A total of 60 parking stalls, including handicap parking will be provided in the completed parking lot. The lot will be bordered with an 18-inch high CRM wall, drainage sump, and a concrete sidewalk along the Farrington Highway boundary.

Access to the parking lot will be aligned with Palakamana Street along the northern end of the parking lot. Concrete pile butts marking the existing parking area are located approximately to Liopolo Street. The southern end of the improved parking lot will now terminate between Liopolo and Gilpake Streets. The remaining pile butts between the improved parking lot and the former demarcation line will be removed. While this results in a slightly smaller parking area, the no net decrease in parking capacity is expected. The new lot will allow

for space efficient parking and will prevent further degradation and erosion of the park site. The former parking area will then be cleared, grubbed and graded, covered with topsoil and grassed.

2. CRM Border Wall

Concrete pile butts presently line Farrington Highway along the mauka side of the park. All piles located between Palakamana Street and St. John's Road will be removed and replaced with an 18-inch high CRM wall. A 24-foot wide opening will be provided opposite Palakamana Street for vehicular access to the parking lot. Eight 3-foot wide pedestrian openings will also be provided throughout the park improvement area.

3. Concrete Walkway

The existing comfort station is located northwest of the proposed parking lot and does not have a sidewalk connection to the parking area. The proposed improvements will include a 5-foot wide walkway that will provide access to the newly paved parking area. The walkway will be constructed with a 5% maximum slope to meet ADA requirements. An ADA accessible picnic area will also be provided immediately north of the improved parking lot.

4. Electrical Improvements

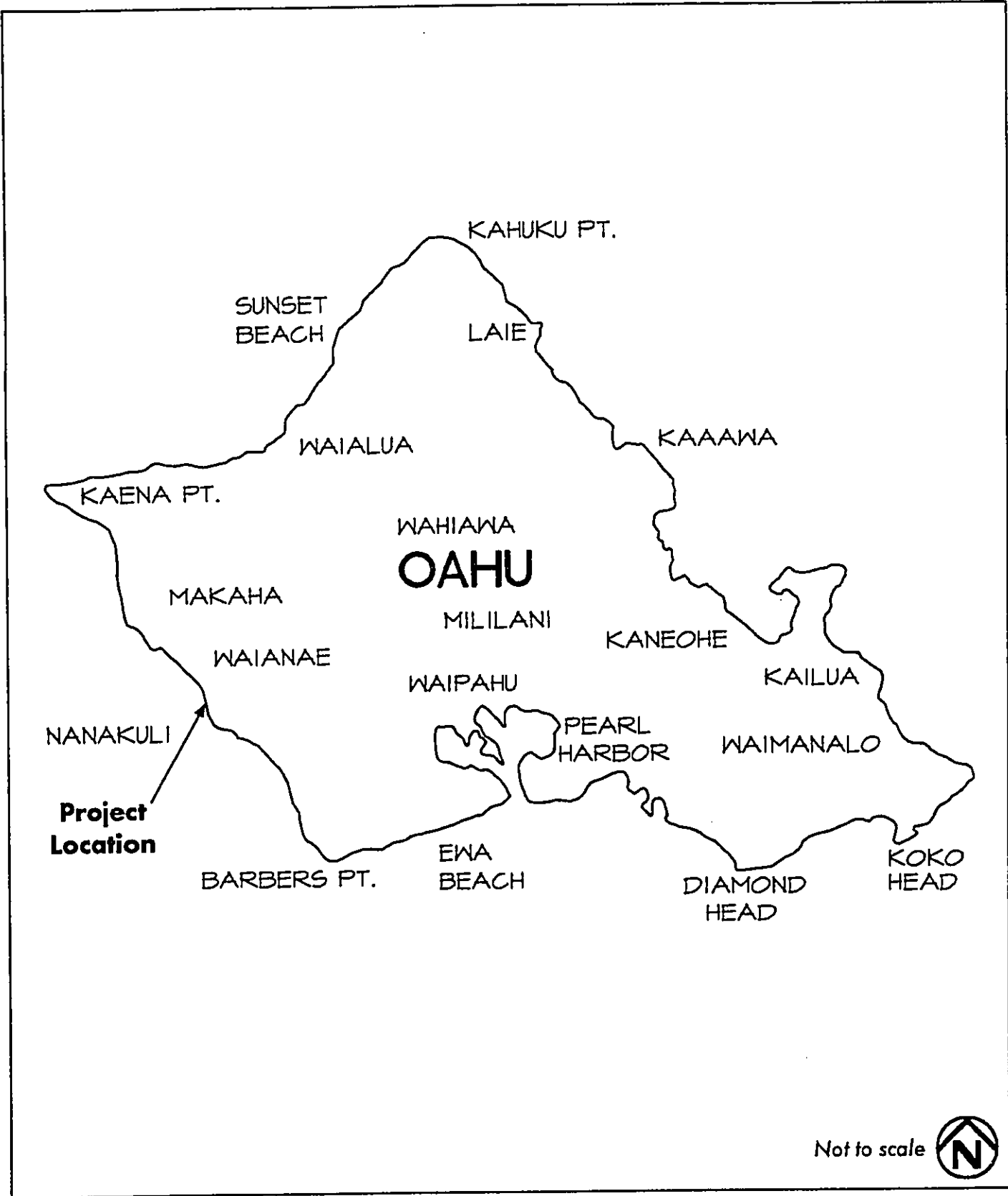
The electrical systems for the existing street lighting will be replaced or repaired for the five streetlights located along Farrington Highway. These improvements will generally consist of the replacement of metering, pull boxes and fuses systems.

Prior to the construction of the proposed improvements, the existing parking lot will require approximately 1480 cubic yards of grading.

C. Project Objective

The proposed improvements are aimed at providing park users with a more accessible and pleasant park experience. The proposed improvements will also increase safety for park users, and will enhance recreational opportunities.

Site improvements will significantly improve the physical environment by creating a more attractive, safety and convenient and park that will create a highly desirable community asset.

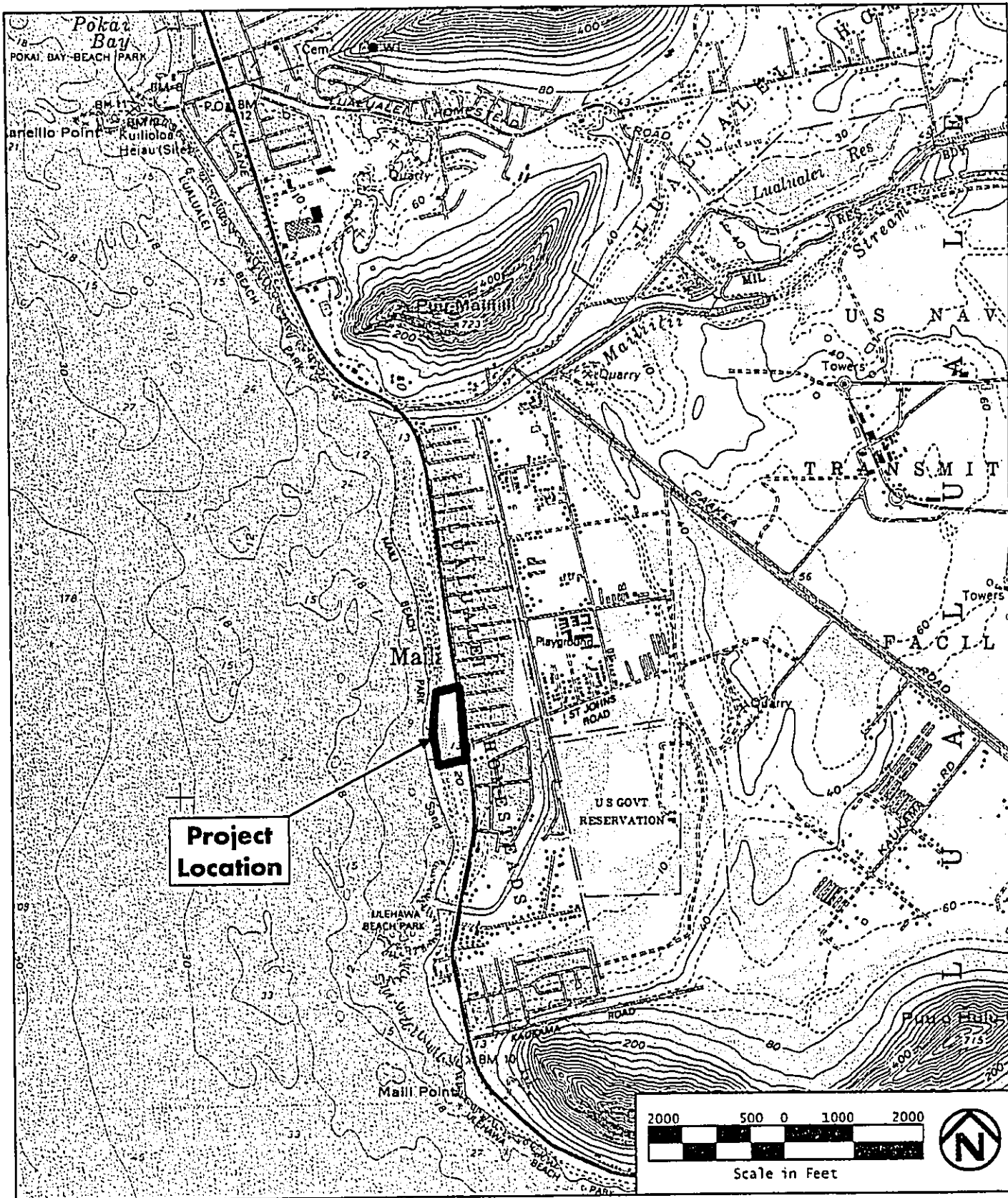


Mali Beach Park Improvements

**Figure 1
Vicinity Map**

Environmental Communications, Inc.

Source: Engineers Surveyors Hawaii, Inc.



Maili Beach Park Improvements

**Figure 2
Location Map**

Environmental Communications, Inc.

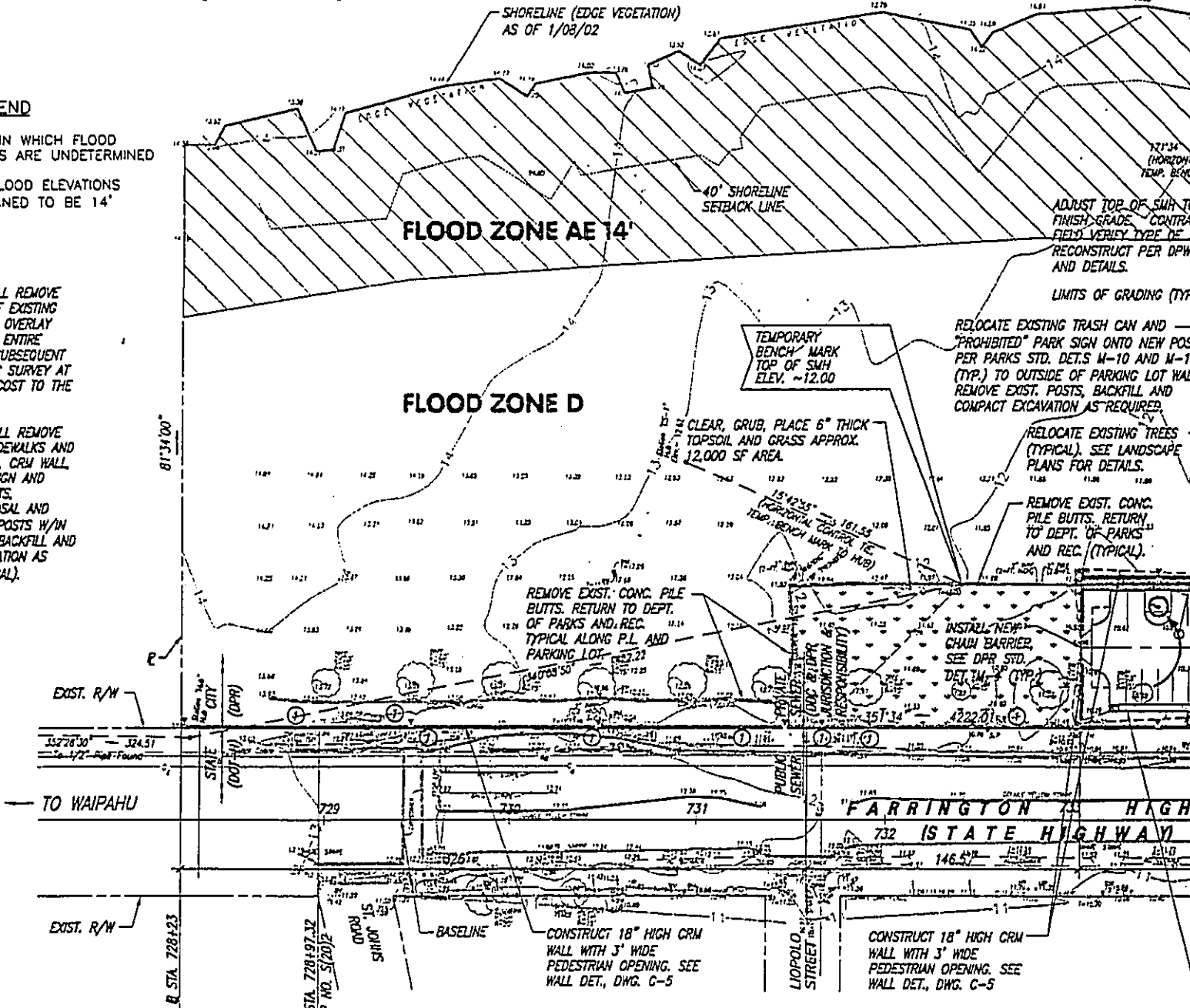
Source: U.S. Geological Survey

True North
Scale: 1" = 40'

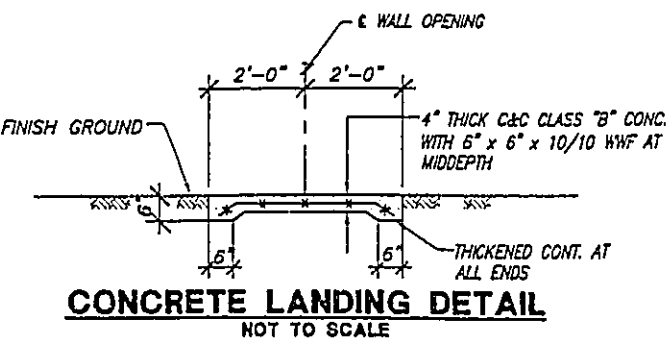
LEGEND

- D AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED
- AE 14' BASE FLOOD ELEVATIONS DETERMINED TO BE 14'

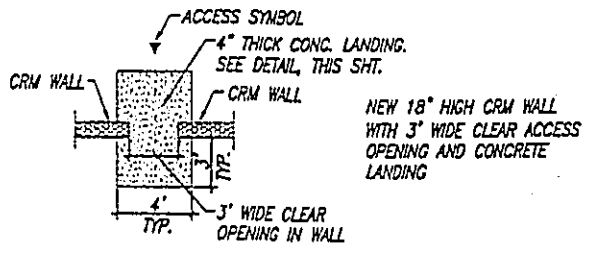
- NOTES:**
1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING TEMPORARY A.C. OVERLAY INSTALLED OVER ENTIRE PARKING AREA SUBSEQUENT TO TOPOGRAPHIC SURVEY AT NO ADDITIONAL COST TO THE CITY.
 2. CONTRACTOR SHALL REMOVE EXIST. CONC. SIDEWALKS AND SLABS, A.C. PAD, CRM WALL, PICNIC TABLE, SIGN AND TRASH CAN POSTS, CHARCOAL DISPOSAL AND CHAIN BARRIER POSTS W/IN PROJECT AREA. BACKFILL AND COMPACT EXCAVATION AS REQUIRED (TYPICAL).



SITE PLAN
TAK: 8-7-015 & 8-7-023
SCALE: 1"=40'

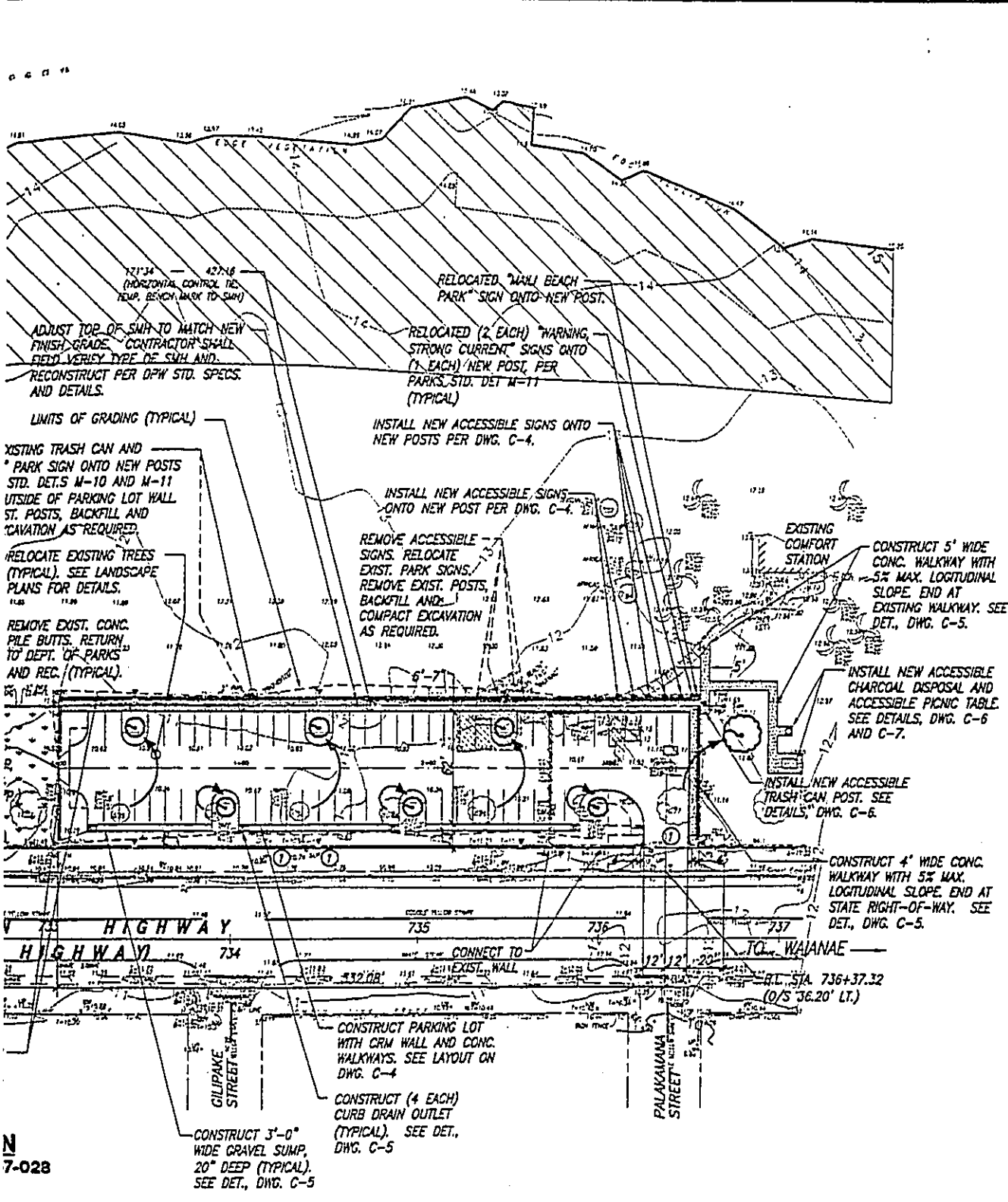


CONCRETE LANDING DETAIL
NOT TO SCALE



LEGEND

Job No. 90-107A F&E/HEW-SITE PROJ: 14-40 02/05/02



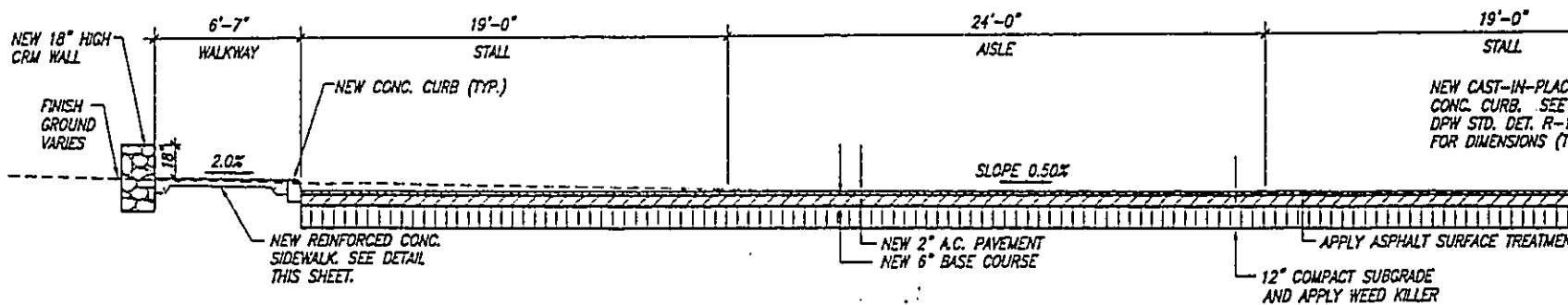
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①	RELOCATE/ADJUST ELECTRICAL STRUCTURE AS REQUIRED. SEE ELECTRICAL PLANS.
---	EXIST. SEWER LINE
---	EXIST. WATER LINE
---	EXIST. GAS LINE
---	EXIST. CONTOURS
12.01	EXIST. SPOT ELEVATIONS
E.P.	EXIST. ELEC. POWER POLE
F.H.	EXIST. FIRE HYDRANT
S.M.	EXIST. SEWER MANHOLE
---	18" HIGH CRM WALL
---	3" WIDE CLEAR ACCESS
---	ING AND CONCRETE
---	DING

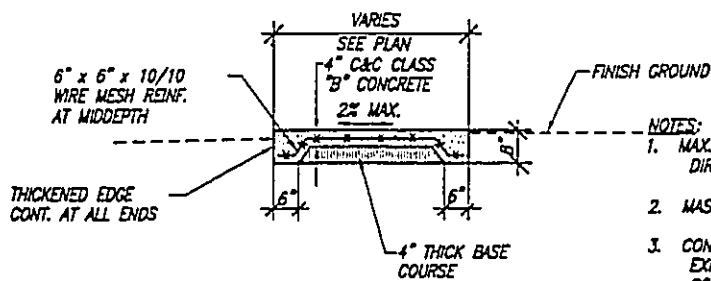
Figure 3
Page 9



				APPROVE
				DATE BY
				REVISION
				DATE
				DESCRIPTION
THIS WORK WAS PREPARED BY UNDER DIRECT SUPERVISION ELYZA R. VERDUGO 735/734 LICENSED PROFESSIONAL ENGINEER HONOLULU SURVEYORS HAWAII, INC.				
DESIGNED BY:	REVISED BY:	DATE:		
FV	FV	OCTOBER 2002		
DEPARTMENT OF DESIGN AND CONSTRUCTION CITY & COUNTY OF HONOLULU CONSTRUCTION OF SITE IMPROVEMENTS AT MAIL BEACH PARK SITE PLAN				
JOB NO.		02-P-111		
DRAWING NO.		C-3		
SHEET NO.	FILE NO.			
4 OF 21	71-B/16			



TYPICAL SECTION PARKING LOT
SCALE: 1/4" = 1'-0"

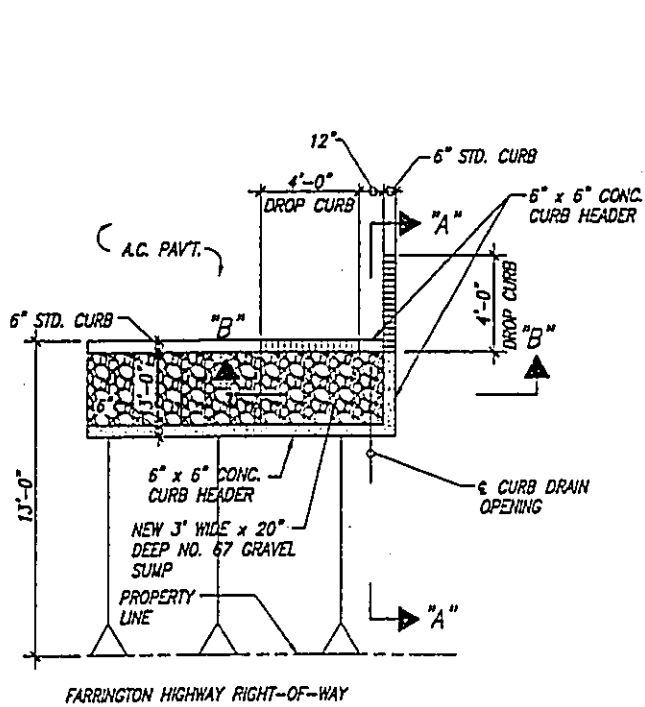


REINFORCED CONCRETE SIDEWALK
SCALE: 1/2" = 1'-0"

- NOTES:
1. MAX. SLOPE IN THE DIRECTION OF TRAVEL = 5%
 2. MAS. CROSS-SLOPE = 2%
 3. CONTRACTOR SHALL INSTALL EXPANSION AND CONTRACTION JOINTS IN ACCORDANCE WITH DPW STD. SPECIFICATIONS AND DETAILS R-10 AND R-11.

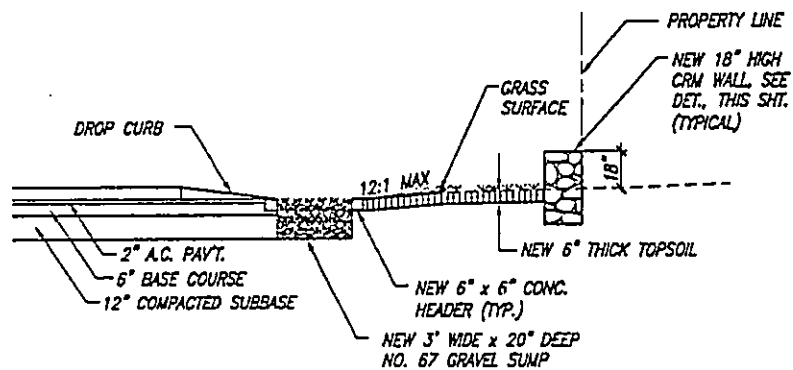
BLUE ROCK (MFG. BY AMERON) CEMENT RUBBLE MASONRY WALL

NOTE: PROVIDE 1/2" DEEP MAX. x 1" WIDE RECESSED MORTAR JOINTS AT EXPOSED FACES (TYP.) AND FILL ALL VOIDS SOLID WITH MORTAR.

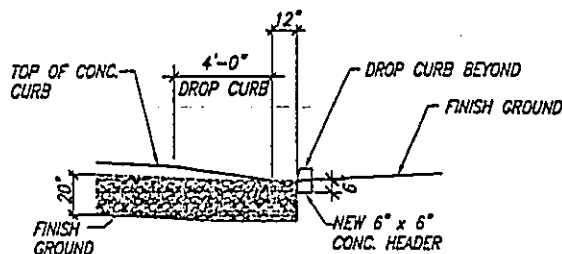


PLAN

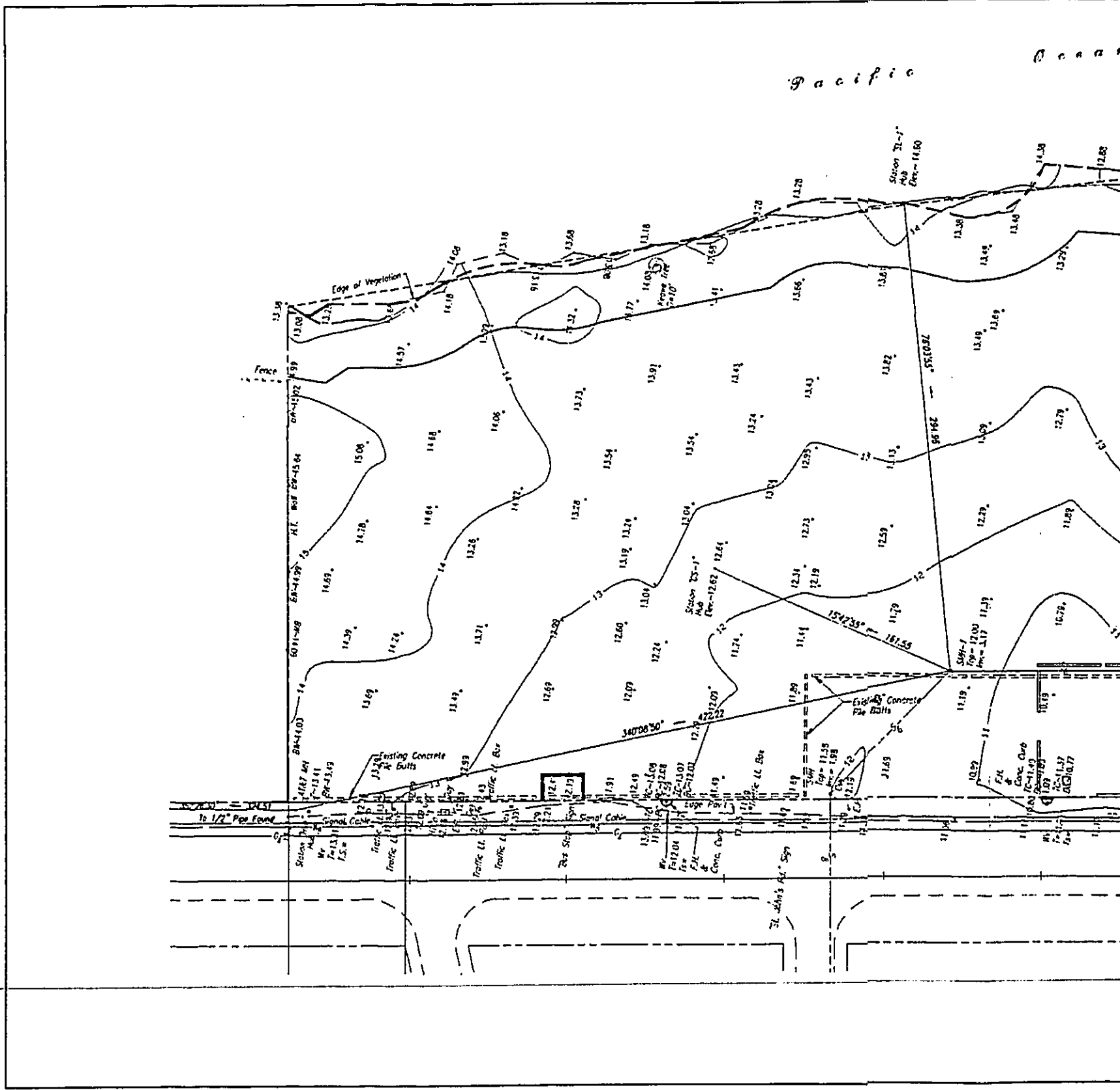
CURB DRAIN OUTLET
SCALE: 1/4" = 1'-0"



SECTION "A-A"



SECTION "B-B"



Maili Beach Park Improvements
 Environmental Communications, Inc.

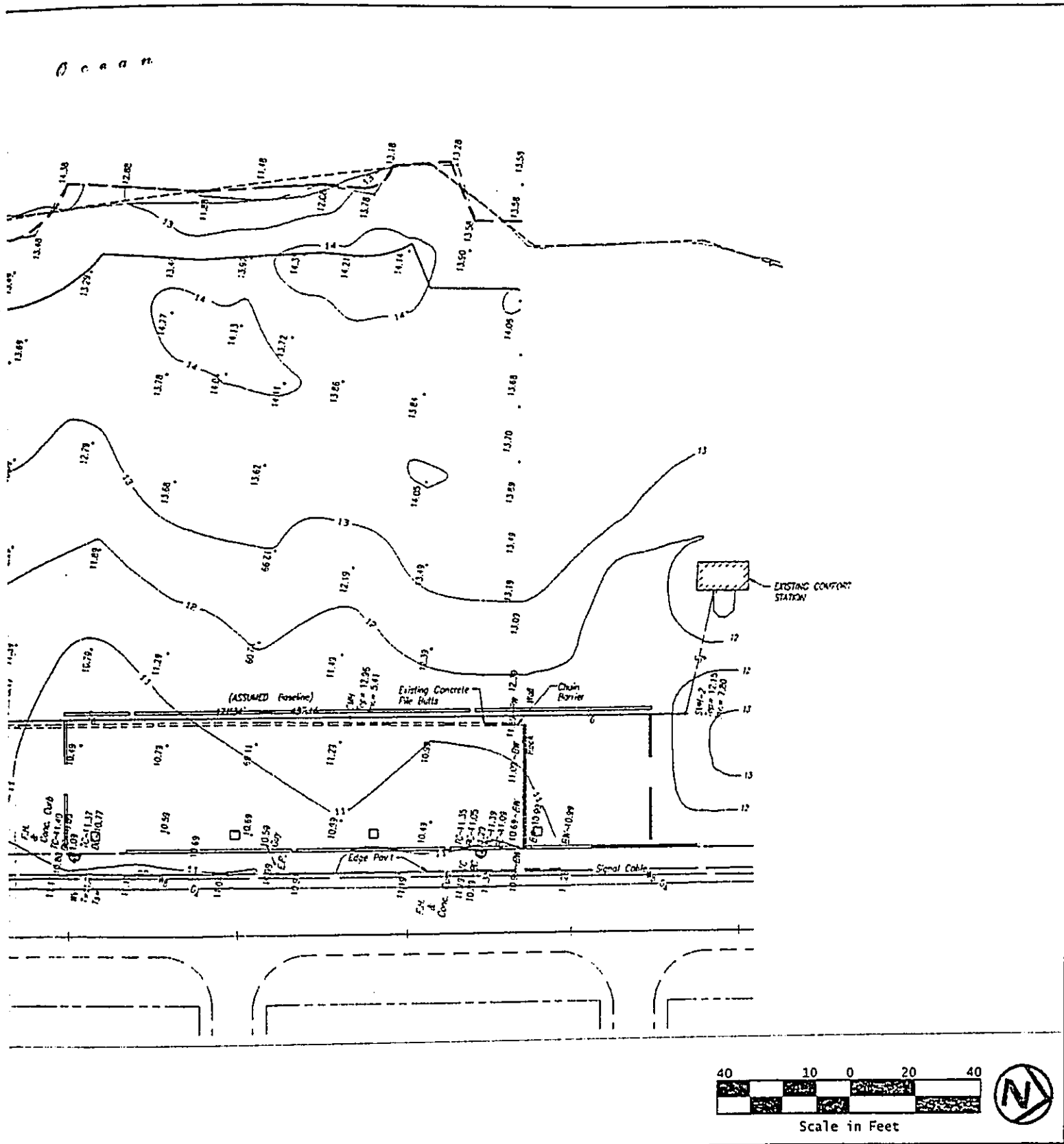


Figure 6
Existing Conditions

Source: Engineers Surveyors Hawaii, Inc.

III. DESCRIPTION OF ANTICIPATED IMPACTS

A. Environmental Setting

The project site is located on a relatively flat dirt and grassed area flanked by a sandy and rocky shoreline that changes with seasonal surf. The park is 8.51 acres in size, and consists of approximately 5,000 linear feet of shoreline frontage. An unpaved parking lot and comfort station are presently available on-site. The parking area and eastern park boundary (opposite the shoreline) are presently defined by concrete pile butts. While the pile butts prevent unwanted vehicular access within the park, parking stalls are not defined and parking is inefficient and the unpaved surface is subject to erosion and unstable surfaces.

The concrete pile butts also create an unattractive barrier. Replacement of these piles with the proposed 18-inch high CRM will significantly enhance the park appearance.

Existing vegetation is limited to coconut trees, grass and weeds.

B. Surrounding Uses

The Maili Beach Park is located in a highly urbanized portion of Maili. Located between Mailiili Channel and St. John's Road, the park stretches across the majority of Maili Town. The park is zoned for general preservation. Single family residential uses are located across Farrington Highway. The Waianae Comprehensive Health Center is located north of the project site across Mailiili Channel.

The project site is not expected to have any significant impact on coastal views or any surrounding viewpoints. The site is generally flat and does not offer any ocean views from the Farrington Highway direction. The shoreline is visible along the makai most boundary of the park. The addition of an 18-inch high rock wall will not have any significant impact on any views and will beautify the parking lot area. Presently the parking lot is unsightly with concrete piles and broken paving. The addition of the wall will provide some screening of vehicles providing for improved area views, particularly along Farrington Highway.

C. Environmental Considerations

1. Geological Characteristics

Topography

Turfed portions of the park are relatively flat with less than 5% variation in slope. The proposed improvement area is generally located on a low portion of the park while the park gradually rises along a shoreline berm. An elevation change of approximately 3 to 4 feet is noted from the parking area to the highest portion of the park. Along the shoreline, variations in topography range from gradual sand slopes to the ocean to abrupt transitions where erosion from surf results in a drop-off of approximately 4 feet.

Climate

While Hawaii is generally characterized as being temperate, the geography of the Waianae/Maili/Nanakuli District is notable for its prevailing dry, warm climate. Rainfall in this area is the lowest of all coastal regions on Oahu. Prevailing tradewinds are diminished by the Waianae mountain range, contributing to the general arid feeling of the coast.

According to the *Atlas of Hawaii, Second Edition*, the Waianae District typically experiences less than 5 inches of rainfall during peak rainfall months. Average mean temperatures on the Waianae coast range from mean highs between 80 and 90 degrees to mean lows between 60 and 75 degrees Fahrenheit.

USDA Soil Survey Report

According to panel 36 of the *Soil Survey of Islands of Kauai, Oahu, Maui, Molokai, and Lanai, State of Hawaii* by the US Department of Agriculture Soil Conservation Service, the project site is located on soils classified as BS beach sand.

2. Water Resources

The project site is located along the western coast of Oahu. Surf conditions along this coast are generally calm except during the winter high surf season. The shoreline fronting the project site consists of sandy and rocky shoreline and is well suited for recreational use. The non-perennial Maili Channel is located north of the project site while Ulehawa Channel is located further south. Both channels are concrete lined and serve as the major drainage conduits for the Maili area.

Hydrologic Hazards and Resources

According to Panel 15003C0195 E of the Federal Emergency Management Agency Flood Insurance Rate Map, the project site is located in Zones D and AE. The project improvement area is generally located in Zone D, an area in which flood hazards are undetermined. Areas in Zones AE have been determined to have coastal base flood elevations of 14 feet above mean sea level. This generally consists of shoreline areas that are not subject to the proposed park improvements.

Tsunami Inundation

The Civil Defense Tsunami Inundation Map Number 16 indicates that the project site is vulnerable to tsunami inundation (GTE Hawaiian Tel).

Special Management Area

The project site is located within the Special Management Area (SMA) and is consequently subject to the provisions of Chapter 205A Hawaii Revised Statutes and Chapter 25, Revised Ordinances of Honolulu. This environmental assessment will be used to fulfill the requirements for a Special Management Area Use Permit (SMP), which will be filed under separate cover, and Chapter 343, HRS.

3. Archaeological, Botanical and Faunal Resources

Archaeological Resources

The Department of Land and Natural Resources (DLNR) has conducted a review of the project improvements and noted that based on aerial photographs taken in 1967, the project site was part of a large sand mining operation. According to City references, natural sand was excavated and removed from the site and was backfilled with imported borrow to its current elevation. Based on this information, DLNR believes that it is unlikely that historic sites remain or will be encountered in excavation work required for the proposed project. The proposed action has been determined to have "no effect" on historic sites.

In the unlikely event that historic sites are found, a mitigation plan will need to be developed and executed. If any artifacts are uncovered during excavation, all work will cease and the State Historic Preservation Office will be contacted for appropriate action.

Cultural Resources

The project site has historically been considered open space however during the 1960's the site was used for a sand mining operation. Since that time, the site has been restored and operated as a beach park by the City and County of Honolulu. No unique cultural practices were identified by those knowledgeable with the

project site. The park is considered an important part of the community and the improved accessibility of the park is considered an important for the community.

Flora

The project site is presently covered with grass and various weedy species, as well as trees and shrubs such as Keawe, Koa Haole, Coconut and Hau, all of which are common in beach areas. No rare or endangered species of flora were identified on the park site, and no adverse impacts will occur to flora as a result of the implementation of park improvement plan objectives.

Fauna

The site does not serve as a wildlife habitat although avifauna, feral cats, dogs and rodents may be found on-site.

4. Infrastructure and Utilities

The proposed improvements are not expected to have a significant impact on existing infrastructure and utilities. The proposed improvements are intended to improve park safety and convenience with only minimal infrastructure expansion.

Vehicular Access and Traffic Conditions

Vehicular access improvements to the park will be limited to an aligned opening across Palakamana Street. This opening will require that a portion of the existing rock wall will need to be demolished. Ingress and egress will be adequately accommodated by this single improved opening.

Water

The project will continue to be serviced by existing waterlines. No plumbing fixtures will be added in the proposed scope of work therefore demand for water service will not increase.

Drainage

The site is presently naturally drained. Because the site largely consists of sand and coral, the site is well drained. Surface runoff from the parking lot will be directed in the direction of Farrington Highway but will be retained at the boundary of the lot by a 3-foot wide, 20-inch deep gravel sump

Solid Waste

It is expected that City and County refuse collection service will continue to be used to service the project location.

Telephone and Electrical Services

The proposed improvements do not include telephone service improvements but will include replacement of the existing street lighting system (Figure 8).

5. Public Facilities

The proposed project is not expected to have any impact on public facilities including schools, parks, police, and fire or emergency medical services.

Nanakuli Fire Station Number 28 provides fire protection service to the project area. The station is located at 89-334 Nanakuli Avenue and is located 3 1/2 miles from the project site. Response time to the park is less than 10 minutes.

Ambulance service for the project vicinity is located at the Waianae Fire Station Number 26. Response time to the project site is approximately 10 minutes.

Police service is provided by the Honolulu Police Department Waianae Station located at 85-939 Farrington Highway. Response time to the Beach Park is approximately 5 minutes or less, depending on the location of patrol units. Beats 860 and 863 patrol the project area.

D. Relationship to Plans, Codes and Ordinances

The project site is zoned P-2 General Preservation according the City and County of Honolulu Zoning Map. Park uses are consistent with this designation. The Development Plan Designation for the site is Parks and Recreation, which is also consistent with the existing and proposed use.

The proposed improvements are consistent with the Waianae Sustainable Communities Plan Land Use, Open Space, and Public Facilities Maps. The project does not increase development of the Maili Beach Park and maintains the open space and coastal lands specified in the Communities Plan.

The State Land Use Commission Boundary Maps identify the project site as being within the Urban area. This is consistent with the surrounding uses that include commercial uses and single-family to medium density residential units.

Due to its location within the Special Management Area (SMA) boundaries, a Special Management Area Use Permit (SMP) is required for this project.

Permits and approvals required for the proposed improvements consists of the following:

- Special Management Permit
- Grading Permit

- Building Permit
- Electrical Permit

E. Probable Impact on the Environment

It is anticipated that the proposed project will significantly improve the existing site conditions and will enhance park use and desirability. These improvements and public benefits will occur as a result of the additional amenities, safety improvements, parking, conveniences and park beautification. Ample parking will be provided by the proposed improvements.

Positive environmental impacts are expected to enhance park use and desirability and provide adequate parking to meet the needs of the park. As stated in the project description, the proposed improvements are based on a community input process that identified salient needs, major concerns, and long-term goals. Each of these areas has been addressed by the proposed improvements, as have other initiatives not part of this specific improvement plan.

F. Adverse Impacts Which Cannot be Avoided

Adverse impacts that cannot be avoided are generally related to short-term construction impacts. These impacts can be minimized by sound construction practices, adherence to applicable construction regulations as prescribed by the Department of Health, and coordination with applicable County agencies.

G. Alternatives to the Proposed Action

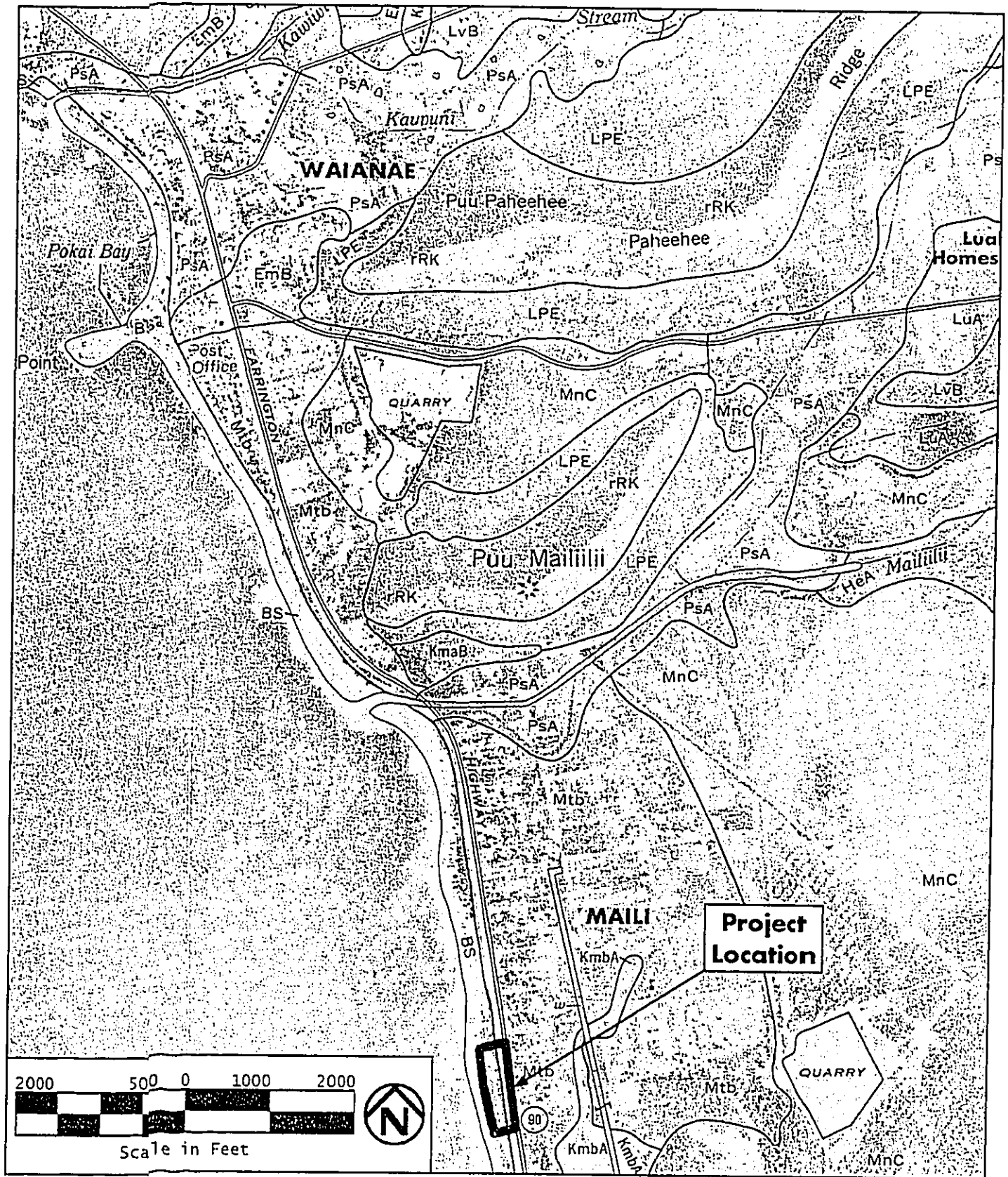
No other use alternatives beyond the non-action alternative were considered for this project. Non-action was considered and rejected since no benefit to the community would be provided. Within the scope of proposed improvements, alternative circulation configurations were considered and rejected.

H. Mitigation Measures

Long-term impacts resulting from the proposed improvements are expected to be minimal or non-existent based upon the subject environmental assessment. Long-term traffic, air and noise impacts are not expected to change significantly after improvements are completed. Short-term construction related noise and air quality impact mitigation measures include general good housekeeping practices and scheduled maintenance to avoid a prolonged construction period. The contractor will be directed to use best management practices (BMP) wherever applicable.

I. Irreversible and Irretrievable Commitment of Resources

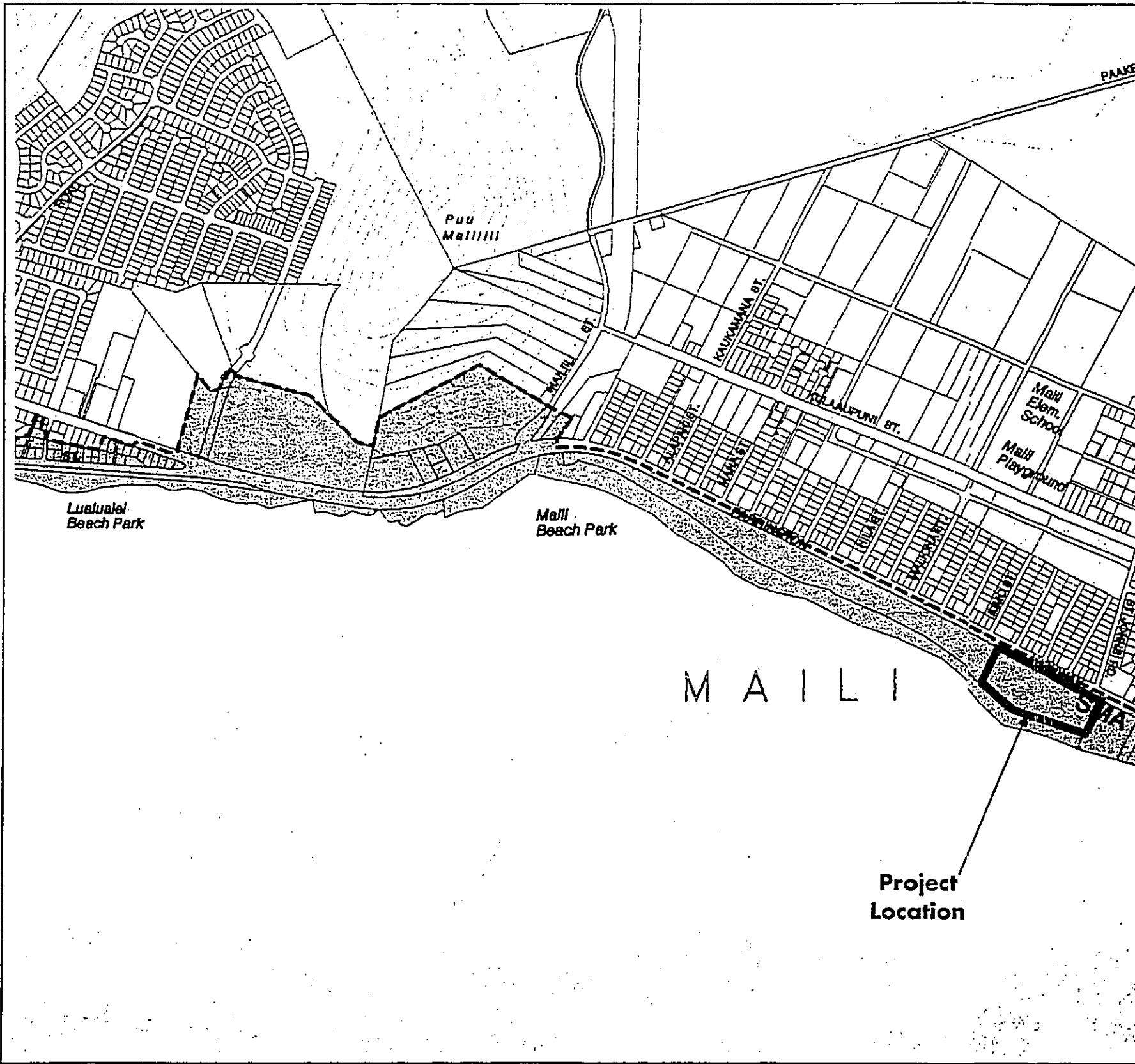
Implementation of the proposed project will result in the irreversible and irretrievable commitment of resources in the use of non-recyclable energy expenditure and labor. Materials used for new construction may have salvage value; however, it is unlikely that such efforts will be cost-effective. The expenditure of these resources is offset by gains in construction-related wages, increased tax base and tertiary spending.



Maili Beach Park Improvements

Environmental Communications, Inc.

**Figure 7
Soils Map**



Maili Beach Park Improvements
Draft Environmental Impact Statement
Environmental Communications, Inc.

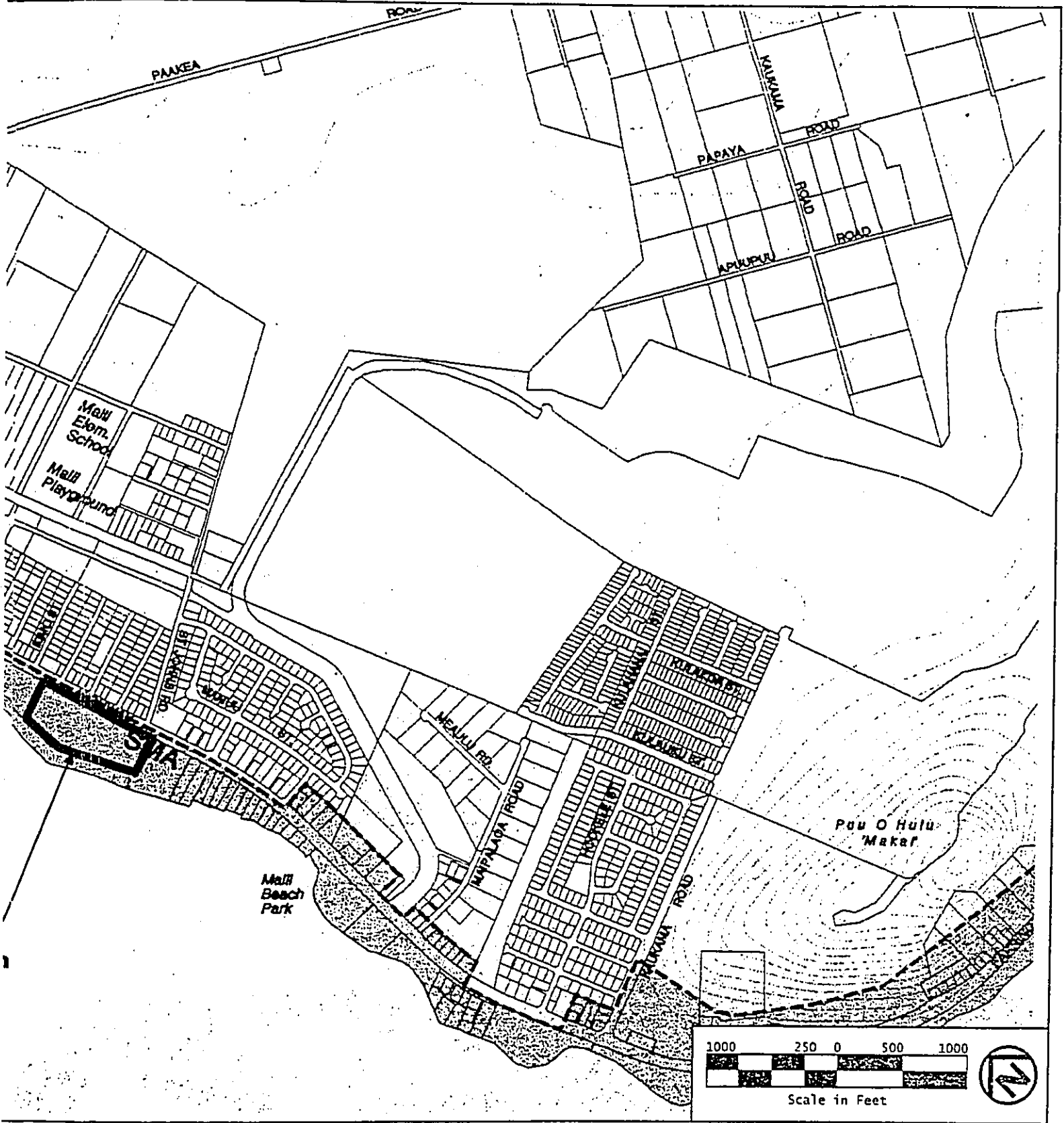
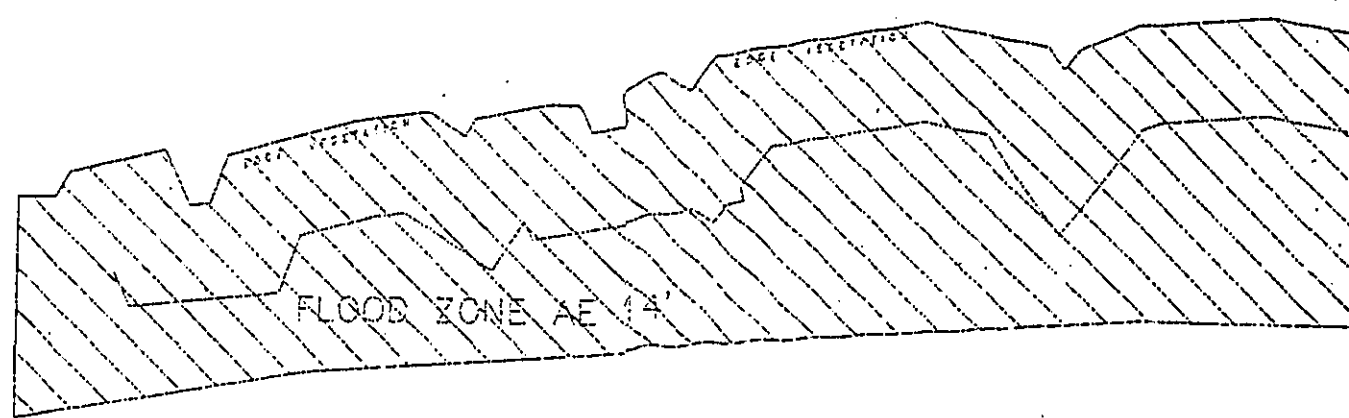


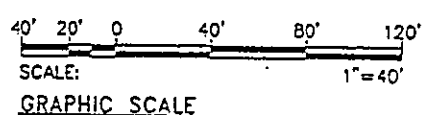
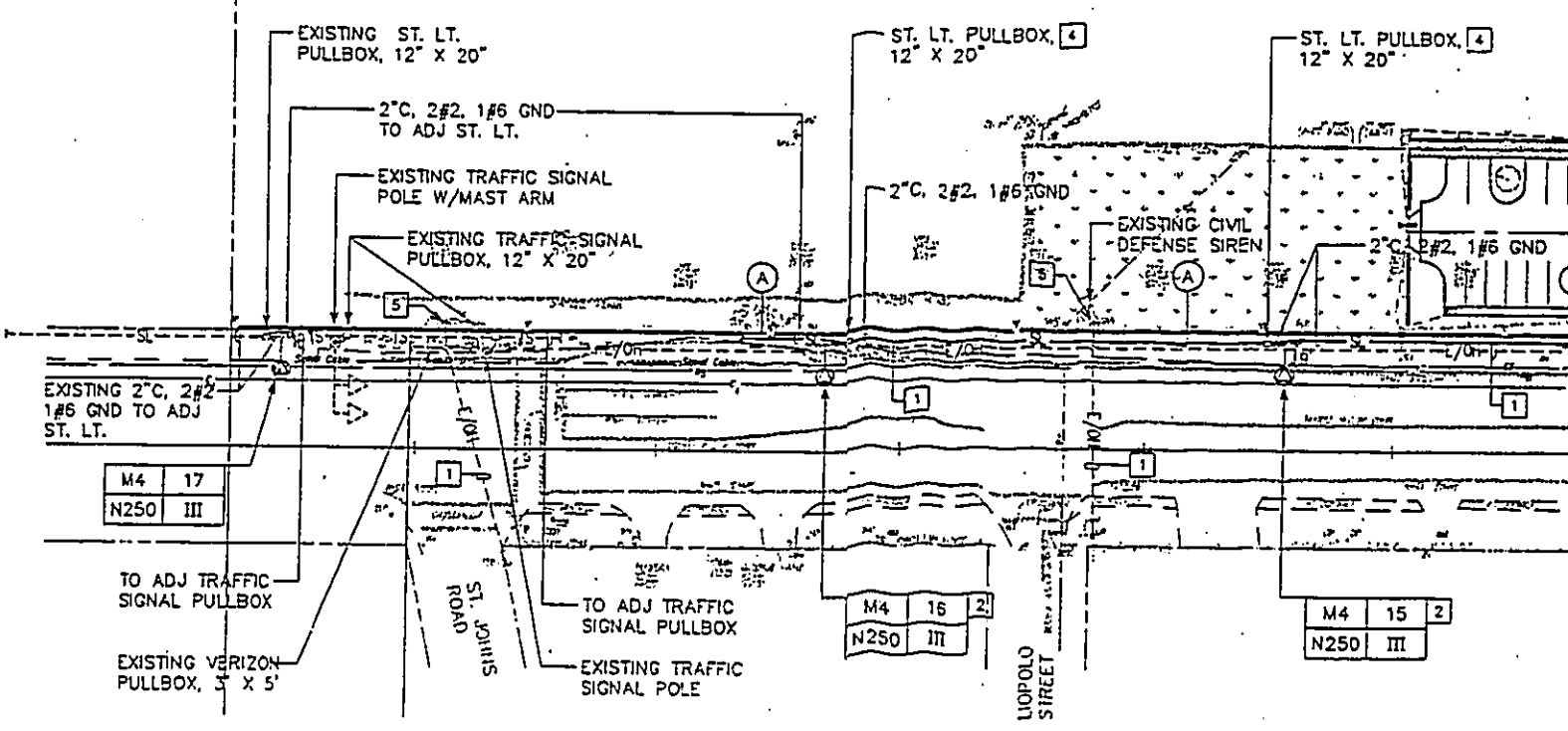
Figure 9
Special Management Area

Pacific Ocean



FLOOD ZONE AE 14'

FLOOD ZONE D



DATE: 04/27/10 BY: J. B. [unreadable] PROJECT: [unreadable]

IV. FINDINGS AND REASONS SUPPORTING DETERMINATION

As stated in Section 11-200-12, EIS Rules, Significance Criteria: in determining whether an action may have a significant effect on the environment, every phase of a proposed action shall be considered. The expected consequences of an action, both primary and secondary, and the cumulative as well as the short-term and long-term effects must be assessed in determining if an action shall have significant effect on the environment. Each of the significance criteria is listed below and is followed by the means of compliance or conflict (if extant).

- *Involves the loss or destruction of any natural or cultural resource.*

The proposed action will occur on an existing developed site and will not impact any natural areas or cultural resources.

- *Curtails the range of beneficial uses of the environment.*

The proposed use will result in additional benefit to the environment in its consistency with existing zoning regulations and in its improvement to existing site conditions.

- *Conflicts with the State's long-term goals or guidelines as expressed in Chapter 343, Hawaii Revised Statutes.*

The proposed action is consistent with the goals and guidelines expressed in Chapter 343, Hawaii Revised Statutes. The proposed action is triggered by the location of the proposed project within the Special Management Area. The subject Environmental Assessment has been developed in compliance with the Chapter 343.

- *Substantially affects the economic or social welfare of the community or state.*

The proposed action will make a positive contribution to the welfare of the City and State by providing an improved park with safety, accessibility and general amenities that will result in a desirable and more productive park.

- *Substantially affects public health.*

The proposed improvements are not expected to have any direct impact on public health. The proposed action does however represent a substantial improvement over existing site conditions and associated liabilities. Improvements that will result in greater safety include an improved parking area, paving of unpaved parking areas, and perimeter walls to create a secure environment.

- Involves substantial or adverse secondary impacts, such as population changes or effect on public facilities.

The proposed action will not produce substantial secondary impacts resulting in population changes or significant increase in public facilities.

- Involves substantial degradation of environmental quality.

The proposed action will improve environmental quality through the creation of an improved park site. Paving of the unpaved parking areas and the removal of unsightly concrete pile butts will significantly improve the appearance of the environment. Impacts associated with erosion will also be reduced or eliminated by paving the parking area.

- Cumulatively have a considerable effect upon the environment or involve a commitment for larger actions.

The proposed action is not a first phase of, or related to, any larger action. The cumulative effect of the project is disclosed in this document (and associated figures) and does not involve any planned future actions that will cumulatively impact the environment.

- Affect rare, threatened or endangered species, or their habitats.

The proposed action will not affect any rare, threatened or endangered species of flora or fauna, nor is it known to be near or adjacent to any known wildlife sanctuaries.

- Detrimentially affect air or water quality or ambient noise levels.

The proposed action will not impact air or water quality. Noise levels may increase slightly due to an increase in use; however, this increase is not expected to exceed levels typically associated with park use.

Minimal impacts on air quality and noise are anticipated during construction, but will be limited by normal construction practices and Department of Health construction mitigation standards.

- Affect scenic vistas and viewplanes identified in County or State plans or studies.

The proposed action will not affect any scenic vistas or viewplanes. The project can be viewed as a beautification effort and will result in a more aesthetically pleasing environment.

- Affects or is likely to suffer damage by being located in an environmentally sensitive areas such as a flood plain, tsunami zone, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters.

The project site is located within a flood area where flood hazards have been undetermined. It is unlikely that any significant damage will occur from the construction of the proposed improvements as the project consists of paving and a low wall. Pedestrian openings within the wall will provide for the free flow of tsunami flooding into and through the parking lot. No mitigation measures to prevent damage to the parking lot are required.

- Require substantial energy consumption.

The project will not increase energy consumption.

Based on the above stated criteria, it is anticipated that the subject action warrants an Environmental Assessment and Finding of No Significant Impact (FONSI).

V. LIST OF PARTIES CONSULTED PRIOR TO DEVELOPMENT OF THE DRAFT ENVIRONMENTAL ASSESSMENT

Agencies with ministerial or specific interests regarding the proposed project were contacted for their early comments regarding the proposed project. Parties responding to contact are listed below and their comments are attached in the following section.

Department of Environmental Services
City and County of Honolulu

Department of Parks and Recreation
City and County of Honolulu

Department of Planning and Permitting
City and County of Honolulu

Department of Transportation Services
City and County of Honolulu

Honolulu Fire Department
City and County of Honolulu

Honolulu Police Department
City and County of Honolulu

Department of Defense
Civil Defense Office
State of Hawaii

Department of Land and Natural Resources
Historic Preservation Division
State of Hawaii

Department of Transportation
State of Hawaii

**VI. LIST OF AGENCIES, ORGANIZATIONS AND INDIVIDUALS
CONSULTED DURING THE DRAFT ENVIRONMENTAL ASSESSMENT
PROCESS**

State of Hawaii Agencies	Date of Response
1. Department of Business, Economic Development and Tourism, Office of Planning	
2. Department of Education	May 13, 2003
3. Department of Health Environmental Planning Office	
4. Department of Health Clean Air Branch	
5. Department of Health Clean Water Branch	
6. Department of Health Noise, Radiation and Indoor Noise Branch	
7. Department of Land and Natural Resources Historic Preservation Division	May 5, 2003
8. Department of Land and Natural Resources Oahu District Land Office	May 20, 2003
9. Department of Transportation	June 27, 2003
10. Office of Environmental Quality Control	April 24, 2003
11. Office of Hawaiian Affairs	
 City and County of Honolulu Agencies	
1. Board of Water Supply	May 6, 2003
2. Department of Community Services	April 28, 2003
3. Department of Design and Construction	
4. Department of Facilities Maintenance	April 30, 2003
5. Department of Parks and Recreation	May 9, 2003
6. Department of Planning and Permitting	May 15, 2003
7. Department of Transportation Services	May 30, 2003
8. Honolulu Emergency Services Department	
9. Honolulu Fire Department	
10. Honolulu Police Department	May 14, 2003
 Community Organizations and Private Agencies	
1. Neighborhood Board No. 24, Waianae	

BOARD OF WATER SUPPLY
CITY AND COUNTY OF HONOLULU
630 SOUTH BERETANIA STREET
HONOLULU, HI 96843



May 6, 2003

ENVIRONMENTAL COMMUNICATIONS, INC.

JEREMY HARRIS, Mayor
EDDE FLORES, JR., Chairman
CHARLES A. STED, Vice-Chairman
JAN LILY, ALUM
HERBERT S.K. KAOPUA, SR.
DAROLYN H. LEHONO
ROONEY K. HARAGA, Esq., Clerk
LARRY J. LEOPARD, Esq., Clerk
CLIFFORD S. JAMILE
Manager and Chief Engineer
DOUGLAS K. INTOSUAG
Project Manager and Chief Engineer

TO: MS. LAVERNE HIGA
DEPARTMENT OF DESIGN AND CONSTRUCTION

FROM: *K. S. Jamile*
CLIFFORD S. JAMILE, MANAGER AND CHIEF ENGINEER

SUBJECT: DRAFT ENVIRONMENTAL ASSESSMENT FOR
MAILI BEACH PARK IMPROVEMENTS

April 28, 2004

Mr. Clifford S. Jamile
Manager and Chief Engineer
Board of Water Supply
630 South Beretania Street
Honolulu, Hawaii 96843

Subject: Maili Beach Park Improvements DEA

Dear Mr. Jamile:

Thank you for your comments of May 6, 2003 regarding the subject project. We have reviewed your comments and understand that in the event that any water system improvements are planned for the site, water availability will be confirmed at the time the building permit is approved. Presently, no water system improvements are planned for the project.

The existing water system is presently adequate to accommodate the proposed park improvements.

The availability of water will be confirmed when the building permit is approved. When water is made available, the applicant will be required to pay our Water System Facilities Charges for resource development, transmission and daily storage.

The proposed project is subject to Board of Water Supply Cross-Connection Control and Backflow Prevention requirements prior to the issuance of the Building Permit Applications.

If you have any questions, please contact Joseph Kaakua at 527-6123.

Thank you for participating in the environmental review process. Your comments will be included in the Final Environmental Assessment.

Sincerely,

Taeyong M. Kim
Principal
Environmental Communications, Inc.

cc: Taeyong Kim, Environmental Communications, Inc.

DEPARTMENT OF COMMUNITY SERVICES
CITY AND COUNTY OF HONOLULU
715 SOUTH KING STREET, SUITE 311 • HONOLULU, HAWAII 96813
TELEPHONE: (808) 527-5311 • FAC: (808) 527-5349 • INTERNET: www.ci.honolulu.hi.us



JEREMY HARRIS
Mayor

MICHAEL T. AMII
Director
JOHNNIE R. SABAS
Deputy Director

April 28, 2003

MEMORANDUM

TO: LAVERNE HIGA
DEPARTMENT OF DESIGN AND CONSTRUCTION

FROM: MICHAEL T. AMII, DIRECTOR

SUBJECT: DRAFT ENVIRONMENTAL ASSESSMENT
MAILI BEACH PARK IMPROVEMENTS

We have reviewed the Draft Environmental Assessment for the Maili Beach Park Improvements dated April 2002 and have no comments.

Should you have any questions, please contact Mr. Randy Wong at 523-4435.

M. T. Amii

MICHAEL T. AMII
Director

MTA:dk

cc: Taeyong Kim, Environmental Communications, Inc.

ENVIRONMENTAL COMMUNICATIONS, INC.

April 28, 2004

Mr. Michael T. Amii, Director
Department of Community Services
715 South King Street, Suite 311
Honolulu, Hawaii 96813

Subject: Maili Beach Park Improvements DEA

Dear Mr. Amii:

Thank you for your letter of April 28, 2003 regarding the subject project. We understand that your department does not have any comment regarding the proposed project.

Thank you for participating in the environmental review process. Your comments will be included in the Final Environmental Assessment.

Sincerely,

Taeyong M. Kim

Taeyong M. Kim
Principal
Environmental Communications, Inc.

DEPARTMENT OF FACILITY MAINTENANCE
CITY AND COUNTY OF HONOLULU
1000 ULUOHA STREET, SUITE 215 • KAPOLEI, HAWAII 96707
Phone: (808) 692-5054 • Fax: (808) 692-5257



JEREMY HARRIS
MAYOR

LARRY J. LEOPARDI
DIRECTOR AND CHIEF ENGINEER
ALVIN K.C. AU
DEPUTY DIRECTOR
IN REPLY REFER TO:

April 30, 2003

PRO 03-001

Mr. Taeyong M. Kim
Environmental Communications, Inc.
PO Box 536
Honolulu, Hawaii 96808

Dear Mr. Kim:

Subject: DRAFT ENVIRONMENTAL ASSESSMENT
MAIL BEACH PARK IMPROVEMENTS

The Department of Facility Maintenance does not have any comments at this time.

Very truly yours,


LARRY J. LEOPARDI, P.E.
Director and Chief Engineer

ENVIRONMENTAL COMMUNICATIONS, INC.

April 28, 2004

Mr. Larry J. Leopardi, P.E.
Director and Chief Engineer
Department of Facilities Maintenance
1000 Uluohia Street, Suite 215
Kapolei, Hawaii 96707

Subject: Maili Beach Park Improvements DEA

Dear Mr. Leopardi:

Thank you for your letter of April 30, 2003 regarding the subject project. We understand that your department does not have any comment regarding the proposed project.

Thank you for participating in the environmental review process. Your comments will be included in the Final Environmental Assessment.

Sincerely,



Taeyong M. Kim
Principal
Environmental Communications, Inc.

LJL:lh

1000 ULUOHA STREET, SUITE 215 • KAPOLEI, HAWAII 96707 • PH: (808) 692-5054 • FAX: (808) 692-5257

DEPARTMENT OF PARKS AND RECREATION
CITY AND COUNTY OF HONOLULU
1000 ULUOHIA STREET, SUITE 209 • KAPOLEI, HAWAII 96707
TELEPHONE (808) 512-5161 • FAX (808) 512-5121 • INTERNET: WWW.DP.R.HONOLULU.HI



JEREMY HARRIS
MAYOR

WILLIAM D. BALFOUR, JR.
DIRECTOR
EDWARD T. "KUPPA" DAVIS
DEPUTY DIRECTOR

Environmental Communications, Inc.

April 28, 2004

Mr. William D. Balfour, Jr., Director
Department of Parks and Recreation
1000 Uluohia Street, Suite 309
Kapolei, Hawaii 96707

Subject: Maili Beach Park Improvements DEA

Dear Mr. Balfour:

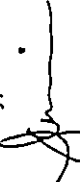
Thank you for your comments of May 9, 2003 regarding the subject project. We have reviewed your comments and offer the following:

The proposed 4-foot wide concrete sidewalk located at the Waianae end of the parking lot running to the State right-of-way along Farrington is required by the Disability and Communication Access Board (DCAB). Deletion of this sidewalk is not an option.

Relocation of the accessible parking was required to accommodate the State's requirement to align the park access with Palakamana Street and the DCAB requirements.

Thank you for participating in the environmental review process. Your comments will be included in the Final Environmental Assessment.

Sincerely,


Taeyong M. Kim
Principal
Environmental Communications, Inc.

May 9, 2003

TO: TIMOTHY E. STEINBERGER, P.E., DIRECTOR
DEPARTMENT OF DESIGN AND CONSTRUCTION

ATTENTION: LAVERNE HIGA

FROM: WILLIAM D. BALFOUR, JR., DIRECTOR

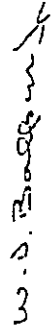
SUBJECT: DRAFT ENVIRONMENTAL ASSESSMENT
MAILI BEACH PARK IMPROVEMENTS

Thank you for the opportunity to review and comment on the Draft Environmental Assessment relating to the Maili Beach Park Improvements.

The Department of Parks and Recreation recommends deleting the proposed 4' wide concrete walkway located at the Waianae end of the parking lot and running to the State Right-of-Way along Farrington Highway, as there are no sidewalks fronting the park that this walkway would serve.

We also recommend leaving the accessible parking area where it is. That portion of the existing lot is improved with an asphalt concrete pad and is served by an existing accessible route from these stalls to the comfort station. This will eliminate the need to construct additional 5' wide concrete walkways to service the proposed new accessible parking area.

Should you have any questions, please contact Mr. John Reid, Planner, at 692-5454.


WILLIAM D. BALFOUR, JR.
Director

WDB:mk (J. Reid, ESO)
03553

cc: Mr. Taeyong Kim, Environmental Communications, Inc.
Mr. Don Griffin, Department of Design and Construction

DEPARTMENT OF PLANNING AND PERMITTING
CITY AND COUNTY OF HONOLULU

450 SOUTH KING STREET, HONOLULU, HAWAII 96813
TELEPHONE (808) 521-4141 FAX (808) 521-4723 HIRATAKI@PERMITS.DPP.HONOLULU.HI



JEREMY HARRIS
MAYOR

ERIC C. CRISPIN, AIA
DIRECTOR

BARBARA KIM STANTON
SENIOR MANAGER

2003/ELOG-1537(DT)

May 15, 2003

Mr. Taeyong Kim
Environmental Communications, Inc.
1188 Bishop Street, Suite 2210
Honolulu, Hawaii 96813

Dear Mr. Kim:

Mailli Beach Park Improvements
Tax Map Keys: 8-7-15: 1, 3-7, 39; 8-7-18: 21-23

This is in response to your letter dated April 23, 2003, requesting comments on the Draft Environmental Assessment (EA) for a new parking lot and other improvements at Mailli Beach Park. We have the following comments:

Zoning Regulations and Permits Branch

1. Mailli Beach Park is within the Special Management Area. A major Special Management Area Use Permit (SMP) is required since the project cost exceeds \$125,000.
2. Page 13 of the EA states that the EA is being used to fulfill the requirements for an SMP. However, the cover states, "prepared pursuant to Chapter 343 Hawaii Revised Statutes." The discrepancy between the statements on the cover and page 13 should be corrected.
3. Our department commented on preliminary plans for the project on October 9, 2001. The plans at that time showed a future bus shelter. The current site plan (Figure 3) for the EA does not show the bus shelter; yet, Figure 4 (existing conditions) shows the bus shelter. (Note: the bus shelter is not labeled). Is the bus shelter new or existing? As mentioned in our 2001 letter, a waiver is required if a new bus shelter is to be located within the 30-foot front yard setback.
4. The site plan makes references to drawings C-4 and C-5. These drawings should be included in the EA.

Mr. Taeyong Kim
Page 2
May 15, 2003

5. What is the distance (in feet) from the project site to the shoreline?
6. Page 12 states that the project site is within Flood Zones X and AE. However, the electrical plan (Figure 8) shows the site within Flood Zones AE and D. This discrepancy should be corrected.
7. A description of the surface runoff/drainage from the parking lot to the ocean and/or Farrington Highway should be included in the EA.
8. The Final EA should describe how much (in cubic yards) clearing, grubbing, and grading will be done prior to construction of the project.
9. A section on coastal views from surrounding public viewpoints, and from Farrington Highway across the site to the ocean, should be included in the EA.
10. When will the project commence and how long will it take to complete?

Please contact Dana Teramoto of our staff at 523-4648 if you have any questions regarding the above comments.

Policy Planning Branch (PPB)

1. The final EA should discuss the proposed project's consistency with the objectives and policies of the City's General Plan and Waianae Sustainable Communities Plan.
2. The proposed project is not a type of facility that requires a Public Infrastructure Map (PIM) revision. Therefore, a revision to the Waianae PIM is not necessary.

Please contact Timothy Hata at 527-6070, should you have any questions regarding the above comments.

Civil Engineering Branch (CEB)

1. Provide a complete list of necessary approvals and permits required; please note that a grading permit will be required for this project.
2. Page 3, Section B.1.: The section states "The lot will be bordered with an 18-inch high CRM wall with drain outlets and a concrete sidewalk along the Farrington Highway side of

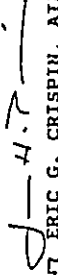
Mr. Taeyong Kim
Page 3
May 15, 2003

the lot." Where is the water being directed to? What is the expected increase in runoff as a result of paving the parking lot? Will there be any adverse drainage impacts to the park or adjacent properties? Please provide an accurate explanation.

3. Page 12, Hydrologic Hazards and Resources: The information is inconsistent with Figure 3 (Site Plan).
4. Page 14, Wastewater: Rename this section "Drainage." Also, see Comment No. 3.
5. Page 15, Mitigation Measures: Describe the construction BMPs that will be implemented.

Please contact Don Fujii at 527-7320, should you have any questions regarding CEB's comments.

Sincerely yours,


ERIC G. CRISPIN, AIA
Director of Planning
and Permitting

EGC:pl

cc: PPB (Tim Hata)
CEB (Don Fujii)

Doc 216205

PERMITTING DIVISION

April 28, 2004

Mr. Eric G. Crispin, AIA, Director
Department of Planning and Permitting
650 South King Street, 7th Floor
Honolulu, Hawaii 96813

Subject: Mailli Beach Park Improvements DEA

Dear Mr. Crispin:

Thank you for your comments of May 15, 2003 regarding the subject project. We have reviewed your comments and offer the following:

Zoning Regulations and Permits Branch

1. We concur that the proposed project is within the Special Management Area (SMP). An SMP application has been prepared and is forthcoming.
2. Thank you for noting this correction. The appropriate changes will be made to indicate that the subject document has been prepared in pursuant to Chapter 25 Revised Ordinances of Honolulu as well as Chapter 343, HRS.
3. Current project plans do not call for the construction of a bus shelter nor does a shelter exist on site at the present time. Figure 3 has been revised to eliminate the shelter.
4. Drawing sheet C-4 and C-5 will be included in the Final Environmental Assessment.
5. The proposed improvements are approximately 280-feet from the shoreline at the closest point.
6. The project site is located in Zones D and AE. The project improvement area is located in Zone D, an area where flood hazards are undetermined. This has been revised in the Final EA.
7. Surface runoff from the parking lot will be directed in the direction of Farrington Highway but will be retained at the boundary of the lot by a 3-foot wide, 20-inch deep gravel sump. This information is included in the Final EA.
8. Approximately 1480 cubic yards of grading and clearing will be required for the parking lot improvement. This information is included in the FEA.
9. A section regarding coastal views will be included in the FEA.

PERMITTING DIVISION

10. The project is expected to commence in the 4th quarter of 2004 and will require approximately 3 months to complete.

Policy Planning Branch

1. The proposed improvements are consistent with the Waianae Sustainable Communities Plan Land Use, Open Space, and Public Facilities Maps. A discussion regarding the Waianae Sustainable Communities Plan will be included in the FEA.
2. We understand that the project will not require a Public Infrastructure Map (PIM) revision. Thank you for this confirmation.

Civil Engineering Branch

1. A list of permits and approvals required for the project will be included in the Final EA.
2. A revised description of the site drainage plan is included in the Final EA in Section III.C.4. In general, site drainage is retained in a gravel sump located along the mauka parking lot boundary. The site does not presently have any drainage system and is prone to ponding, erosion and sheet flow in the mauka direction. The proposed parking lot improvements will not increase paved areas and will provide a drainage plan that controls runoff from affecting adjacent areas.
3. Floodplain designations have been revised in the Final EA to state that the project is located in Zones AE and D.
4. The Wastewater section has been renamed Drainage.
5. The primary BMP planned for the project improvement period consist of silt fencing around the project site and the temporary installation of a #2 crush rock stabilized construction access. Other BMPs specified in the project plans include appropriate waste collection and disposal, erosion and sediment controls, and the timely establishment of vegetation to stabilize exposed surfaces.

Thank you for participating in the environmental review process. Your comments will be included in the Final Environmental Assessment to be prepared for the project.

Sincerely,



Taeyong M. Kim, Principal
Environmental Communications, Inc.

POLICE DEPARTMENT
CITY AND COUNTY OF HONOLULU
301 SOUTH BERETANIA STREET
HONOLULU, HAWAII 96813 - AREA CODE (808) 529-3111
<http://www.honolulu.gov>
www.cc.honolulu.hi.us

JEREMY HARRIS
MAYOR



LEE D. DONOHUE
CHIEF
OLEN R. MAJYAMA
PAUL D. PUTZLU
DEPUTY CHIEFS

OUR REFERENCE CS-KP

May 14, 2003

TO: MS. LAVERNE HIGA, DESIGN BRANCH CHIEF
DEPARTMENT OF DESIGN AND CONSTRUCTION

FROM: LEE D. DONOHUE, CHIEF OF POLICE
HONOLULU POLICE DEPARTMENT

SUBJECT: DRAFT ENVIRONMENTAL ASSESSMENT - MAILI BEACH PARK
IMPROVEMENTS

Thank you for the opportunity to review and comment on the subject project.

If one of the traffic lanes is used as access during the construction of the CRM wall, there will be a negative impact on the traffic flow along Farrington Highway. This, in turn, may cause an increase in calls for police service to the area. Otherwise, this project will have no significant impact on the services and facilities of the Honolulu Police Department.

If there are any questions, please call Captain George Yamamoto of District 8 at 692-4253 or Ms. Carol Sodelani of the Support Services Bureau at 529-3658.

LEE D. DONOHUE
Chief of Police

By *Karl Godsey*
KARL GODSEY
Assistant Chief of Police
Support Services Bureau

cc: Mr. Taeyong M. Kim
Environmental Communications, Inc.

Serving and Protecting with Aloha

ENVIRONMENTAL COMMUNICATIONS, INC.

April 28, 2004

Mr. Lee D. Donohue
Chief of Police
Police Department
801 South Beretania Street
Honolulu, Hawaii 96813

Subject: Maili Beach Park Improvements DEA

Dear Chief Donohue:

Thank you for your comments of May 14, 2003 regarding the subject project. We have reviewed your comments and understand that any traffic lane closures will negatively impact traffic. It is not expected that any lane closures will be required, however, in the event that any traffic disruption is required during the course of construction, the Police Department will be notified at the earliest practicable time. We concur that the project should not have any significant impact on Honolulu Police Department resources.

Thank you for participating in the environmental review process. Your comments will be included in the Final Environmental Assessment.

Sincerely,

Taeyong M. Kim
Principal
Environmental Communications, Inc.

100 KEEPA STREET SUITE 2100 HONOLULU HI 96813-6881 • TEL: 808-533-6881 • FAX: 808-533-6880

LEIWA LINGELE
GOVERNOR



STATE OF HAWAII
DEPARTMENT OF EDUCATION
P.O. BOX 2360
HONOLULU, HAWAII 96804

PATRICIA MUMFORD
SUPERVISOR

ENVIRONMENTAL COMMUNICATIONS, INC.

OFFICE OF ADMINISTRATIVE SERVICES

May 13, 2003

Ms. Laverne Higa
Department of Design and Construction
City and County of Honolulu
715 South King Street, 11th Floor
Honolulu, Hawaii 96813

Dear Ms. Higa:

Subject: Mailli Beach Park Improvements
Draft Environmental Assessment (DEA) for
Mailli, Oahu, TMK: 8-7-15: 1, 3-7, & 39; 8-7-28: 21-23

The Department of Education (DOE) has reviewed the DEA for improvements to the southern portion of Mailli Beach Park. The DOE has no comment or concern with the county's plans to improve the parking, walkways, lighting, and a border wall at the park.

Thank you for the opportunity to review the DEA.

Should you have any questions, please call Ms. Heidi Meeker of our branch at 733-4862.

Sincerely yours,

Raynor M. Minami

Raynor M. Minami, Director
Facilities and Support Services Branch

RMMin:ty (ttr)

cc: Rae M. Loui, OAS
Taeyong Kim, Environmental Communications, Inc.

AN AFFIRMATIVE ACTION AND EQUAL OPPORTUNITY EMPLOYER

ENVIRONMENTAL COMMUNICATIONS, INC.

April 28, 2004

Mr. Raynor M. Minami, Director
Facilities and Support Services Branch
Department of Education
P.O. Box 2360
Honolulu, Hawaii 96804

Subject: Mailli Beach Park Improvements DEA

Dear Mr. Minami:

Thank you for your letter of May 13, 2003 regarding the subject project. We understand that your department does not have any comments regarding the proposed project.

Thank you for participating in the environmental review process. Your comments will be included in the Final Environmental Assessment.

Sincerely,

Taeyong M. Kim
Principal
Environmental Communications, Inc.

DEPARTMENT OF LAND AND NATURAL RESOURCES
ENGINEERING DIVISION

LANAY
Ref.: 2003-Z-3.CMT


COMMENTS

We confirm that the project site is located in Zones D and AE. Zone D is an area in which flood hazards are undetermined. Zone AE is an area in which base flood elevations are determined.

The project must comply with rules and regulations of the National Flood Insurance Program (NFIP). If there are questions regarding the NFIP, please contact the State Coordinator, Mr. Sterling Yong, of the Department of Land and Natural Resources at 587-0248. If there are questions regarding flood ordinances, please contact Mr. Robert Sumitomo at 523-4254 or Mr. Mario Siu Li at 523-4247 of the City and County of Honolulu, Department of Planning and Permitting.

Also, please correct the information reflected on page 12, Item 2, Hydrologic Hazards and Resources of the Draft Environmental Assessment. The correct Panel Number is 15003C0195 E (effective 11/20/00).

Should you have any questions, please call Mr. Andrew M. Mondan of the Planning Branch at 587-0229.

Signed: 
For ERIC T. HIRANO, CHIEF ENGINEER

Date: 5/5/03

N:\WLD\KATSUZIE\OAHU\Maui\BashImp\Oshu365.doc

ENVIRONMENTAL IMPROVEMENTS, LLC

April 28, 2004

Ms. Deirdre S. Mamiya, Administrator
Department of Land and Natural Resources
Land Division
P.O. Box 621
Honolulu, Hawaii 96809

Subject: Maui Beach Park Improvements DEA

Dear Ms. Mamiya:

Thank you for your comments of May 20, 2003 regarding the subject project. We have reviewed your comments and offer the following:

Division of Aquatic Resources

We concur that the no significant adverse impacts to aquatic resources will occur from the implementation of the proposed project. All construction activities will occur outside of the certified shoreline and precautions will be taken to prevent any materials from flowing, blowing or leaching into coastal waters.

Commission on Water Resource Management

We understand that the Commission has no comments.

Division of Forestry and Wildlife

Thank you for the material explaining the impact of lighting on seabirds. The proposed improvements do not include any lighting improvements.

Engineering Division

Thank you for the confirmation of the project flood zone designations. The Final Environmental Assessment will correct the Panel identification as 15003C0195 E. We understand that the project is subject to, and must comply with, the rules and regulations of the National Flood Insurance Program.

Thank you for participating in the environmental review process. Your comments will be included in the Final Environmental Assessment.

Sincerely



Taeyong M. Kim
Principal
Environmental Communications, Inc.

1101 45247 31001 3001 2711 110100 0000 11011 - 31 00 531 0001 - 70 00 531 0001

LINDA LINGLEE
GOVERNOR



STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION
869 PUNCHBOWL STREET
HONOLULU, HAWAII 96813-5097

JUN 27 2003

RODNEY K. HARAGA
DIRECTOR

Acting Deputy Director
CULMINANT CONTRACT

PROJECT REFERENCE
HWY-PS
2.0715

ENVIRONMENTAL COMMUNICATIONS, INC.

April 28, 2004

Mr. Rodney K. Haraga, Director
Department of Transportation
869 Punchbowl Street
Honolulu, Hawaii 96813-5097

Subject: Maali Beach Park Improvements DEA

Dear Mr. Haraga:

Thank you for your comments of June 27, 2003 regarding the subject project. We have reviewed your comments and offer the following:

1. The proposed parking lot has not been designed as a storm runoff detention basin but has taken into account runoff issues affecting the adjacent Farrington Highway. A 3-foot wide, 20-inch deep gravel sump is proposed along the mauka boundary of the parking lot to retain runoff. It should also be noted that a portion of the existing parking lot will be removed and replaced with approximately 12,000 square feet of grassed area that will decrease the amount of stormwater runoff over the existing site conditions.

Thank you for requesting our review of the draft environmental assessment for the proposed beach park improvement project.

We have the following comments:

1. The parking lot should be designed as a detention basin to contain storm runoff for a 24-hour storm.
2. No additional storm runoff may enter the highway right-of-way.
3. Plans for construction work within our right-of-way must be submitted for our review and approval.

If you have any questions, please contact Ronald Tszuzuki, Head Planning Engineer, Highways Division, at 587-1830. Please reference file review 03-109 in all contacts and correspondence regarding these comments.

Very truly yours,

RODNEY K. HARAGA
Director of Transportation

c: Mr. Taeyong Kim, Environmental Communications, Inc.

2. As stated in comment number one, the addition of the gravel sump and the new grassed areas will decrease any runoff into the highway right-of-way.

3. We understand that plans for any construction work within the State right-of-way must be submitted for Department of Transportation review.

Thank you for participating in the environmental review process. Your comments will be included in the Final Environmental Assessment.

Sincerely,

Taeyong M. Kim
Principal
Environmental Communications, Inc.

STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES



STATE OF HAWAII
OFFICE OF ENVIRONMENTAL QUALITY CONTROL
THE STATE CAPITOL BUILDING
ROOM 301, 15TH FLOOR
HONOLULU, HAWAII 96813
PHONE: (808) 548-2000
FAX: (808) 548-2001
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STATE OF HAWAII
OFFICE OF ENVIRONMENTAL QUALITY CONTROL

April 24, 2003

Timothy Steinberger, Director
Department of Design & Construction
650 South King Street
Honolulu, Hawaii 96813

Attention: Laverne Higa

Dear Mr. Steinberger:

Subject: Draft Environmental Assessment (E-A) Malli Beach Park Improvements

We have the following comments to offer:

Two-sided pages: In order to reduce bulk and save on paper, please consider printing on both sides of the pages in the final document

Paving: Hawaii Revised Statutes 103D-107 requires the use of recycled glass in paving materials whenever possible. For the text of this section of HRS contact our office for a paper copy or go to our website at <http://www.state.hi.us/hawaii/legis/guideance/index.html>

Time frame: What are the anticipated start and end dates of this project? Will part or all of the park be closed during construction?

Cables: Are any trans-oceanic fiber optic cables located in the park? If so how will you avoid disturbing them?

Significance criteria: The analysis according to criterion #11 is missing from this section:

Affects or is likely to suffer damage by being located in an environmentally sensitive area such as a flood plain, tsunami zone, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters.

The draft EA notes that the project lies in a tsunami inundation zone. In your analysis according to this criterion explain why the project will likely not suffer damage from this. If appropriate indicate any mitigation measures you will use to reduce these effects.

Timothy Steinberger
April 24, 2003
Page 2

Cultural impacts assessment:

Act 50 was passed by the Legislature in April of 2000. This mandates an assessment of impacts to local cultural practices by the proposed project. In the final EA include such an assessment.

For assistance in the preparation refer to our *Guidelines for Assessing Cultural Impacts*. Go to our homepage at <http://www.state.hi.us/hawaii/legis/guideance/index.html> or contact our office for a paper copy. You will also find the text of Act 50 linked to this section of our homepage.

If you have any questions, call Nancy Heinrich at 586-4185.

Sincerely,

GENEVIEVE SALMONSON
Director

c: Taeyong Kim

