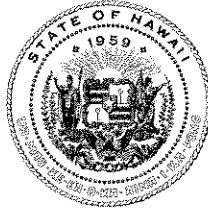
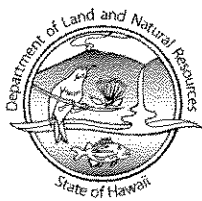


LINDA LINGLE  
GOVERNOR OF HAWAII



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
OFFICE OF CONSERVATION AND COASTAL LANDS  
POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

PETER T. YOUNG  
CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT

ROBERT K. MASUDA  
DEPUTY DIRECTOR - LAND

DEAN NAKANO  
ACTING DEPUTY DIRECTOR - WATER

AQUATIC RESOURCES  
BOATING AND OCEAN RECREATION  
BUREAU OF CONVEYANCES  
COMMISSION ON WATER RESOURCE MANAGEMENT  
CONSERVATION AND COASTAL LANDS  
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ENGINEERING  
FORESTRY AND WILDLIFE  
HISTORIC PRESERVATION  
KAROO LAWE ISLAND RESERVE COMMISSION  
LAND  
STATE PARKS

REF:OCCL:TM

CDUA : OA-3271

FEB 10 2006

**MEMORANDUM**

**TO:** Genevieve Salmonson, Director  
Office of Environmental Quality Control

**FROM:** Samuel J. Lemmo, Administrator  
Office of Conservation and Coastal Lands

**SUBJECT:** Final Environmental Assessment (FEA)/ Finding of No Significant Impact (FONSI)  
for Conservation District Use Application (CDUA) OA-3271

The Office of Conservation and Coastal Lands (OCCL) has reviewed the Liljestrand Single Family Residence Final Environmental Assessment (FEA). The Draft Environmental Assessment (DEA) for CDUA OA-3271 was published in OEQC's December 8, 2005 Environmental Notice.

The FEA is being submitted to OEQC. We have determined that this project will not have significant environmental effects, and have therefore issued a FONSI. Please publish this notice in OEQC's upcoming February 23, 2006 Environmental Notice.

We have enclosed four copies of the FEA for the project. A floppy disc with the OEQC Bulletin Publication Form and Project Summary is attached along with a hard copy of each. Comments on the draft EA were sought from relevant agencies and the public, and were included in the FEA.

Please contact Tiger Mills of our Office of Conservation and Coastal Lands Staff at 587-0382 if you have any questions on this matter.

Attachments

RECEIVED  
06 FEB 10 P1:39  
OFFICE OF ENVIRONMENTAL  
QUALITY CONTROL

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**FINAL  
ENVIRONMENTAL ASSESSMENT**

**Liljestrand Residence**

Proposed Single Family Residence  
TMK 2-5-17: 006 and 018  
Honolulu, HI 96822

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OFFICE OF CONSERVATION  
AND COASTAL LANDS  
2006 FEB -6 P 2:13  
DEPT. OF LAND &  
NATURAL RESOURCES  
STATE OF HAWAII

Prepared for:  
Wendla Liljestrand  
3935 Round Top Drive  
Honolulu, HI 96822

Prepared by:  
Land Planning Consultants LLC  
3123 East Manoa Road  
Honolulu, HI 96822

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FEBRUARY 2006

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**FINAL  
ENVIRONMENTAL ASSESSMENT**

**Liljestrand Residence**

Proposed Single Family Residence  
TMK 2-5-17: 006 and 018  
Honolulu, HI 96822

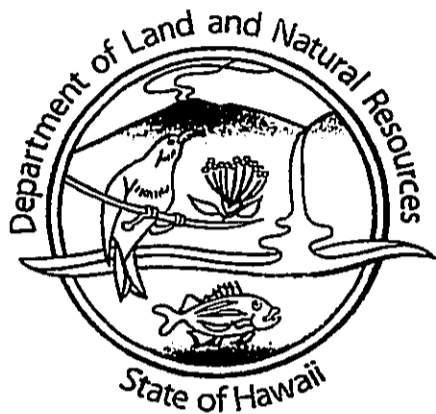
Prepared for:  
Wendla Liljestrand

Prepared by:  
Land Planning Consultants LLC

FEBRUARY 2006

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## Conservation District Use Application (CDUA)



For DLNR Use	
File #	_____
Reviewed by	_____
Date	_____
Accepted by	_____
Date	_____
180-Day Exp. EA/EIS Required	_____
PH Required	_____
Decision Date	_____

Project Location/Address Round Top Drive, Tantalus, Honolulu, HI

District: Honolulu County: City & County of Honolulu

Island: OAHU Tax Map Key(s) 2-5-17: 006 and 018

Total Area of Parcel in sq. ft or acres 22,495 SF Area of Proposed Use in sq. ft. or acres 3,252 SF

Commencement Date: Permits obtained Completion Date: 8 months

Indicate which of the following approvals are being sought, as specified in the Hawaii Administrative Rules (HAR), Chapter 13-5.

- Board Permit**
- Departmental Permit**
- Emergency Permit**
- Temporary Permit**
- Site Plan Approval**

**APPLICANT**

Legal Name: WENDLA LILJESTRAND  
Street Address: 3935 ROUND TOP DRIVE  
City, State and Zip+4 Code: HONOLULU HI 96822  
Mailing Address: PO BOX 61593  
City, State and Zip+4 Code: HONOLULU HI 96839  
Contact Person & Title: WENDY LILJESTRAND  
Phone No.:( ) Fax No.:( )  
Email:  
Interest in Property: OWNER

\*Signature W. Liljestrand Date 8.5.05  
\*If for a Corporation, Partnership, Agency or Organization, must be signed by an authorized officer.

**AGENT**

Name: MARY O'LEARY/ LAND PLANNING CONSULTANTS LLC  
Mailing Address: 3123 EAST MANOA ROAD  
City, State and Zip+4 Code: HONOLULU HI 96822  
Contact Person & Position: MARY O'LEARY  
Phone No.:( 223-7868 ) Fax No.:( )  
Email:

Signature [Signature] Date 8.8.05

**PROPERTY OWNER(S) (If other than the applicant)**

Legal Name:  
Street Address:  
City, State and Zip+4 Code:  
Mailing Address:  
City, State and Zip+4 Code:  
Contact Person & Title:  
Phone No.:( ) Fax No.:( )  
Email:  
Relationship to applicant:

Signature \_\_\_\_\_ Date \_\_\_\_\_

**CONTRACTOR**

Name: Jim Cox Contractor I.D. # \_\_\_\_\_  
Scope of Work: Designer - Builder  
Mailing Address: 59-0216 Akahono Place Haleiwa, HI 96712  
Contact Person & Position Title: Jim Cox - @  
Phone No.:( 1038-7430 ) Fax No.:( )  
Email:

**Emergency Contact Information**

Company/Organization Name:  
Contact Person and Title  
Phone No.:( ) Phone No.:( )

**FINAL ENVIRONMENTAL ASSESSMENT**

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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**FINAL ENVIRONMENTAL ASSESSMENT**

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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11. Photos of Project Site

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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### GENERAL INFORMATION

- A. Project:** Single Family Residence at Round Top Drive
- B. Owner/Applicant:** Ms. Wendla L. Liljestrand  
PO Box 61593  
Honolulu, HI 96839
- C. Accepting Agency:** State of Hawaii  
Department of Land and Natural Resources
- D. Agent:** Land Planning Consultants LLC  
3123 East Manoa Road  
Honolulu, Hawaii 96822  
Mary O'Leary, AICP, President  
Phone: 808-223-7868
- E. Property Profile:**
- |                            |  |
|----------------------------|--|
| Location:                  | Tantalus, City and County of Honolulu, Oahu, Hawaii  |
| TMK:                       | (1) 2-5-17: 006 and 018  |
| Proposed Action:           | Construct a 3,480 SF Single Family Residence   |
| Land Area:                 | Two parcels totaling 22,495 SF<br>TMK: 2-5-17: 006 = 11,169 SF<br>TMK: 2-5-17: 018 = 11,326 SF |
| Present Use:               | Vacant   |
| State Land Use District:   | Conservation, Resource Subzone   |
| Development Plan           |  |
| Land Use Designation:      | Preservation   |
| Zoning:                    | P-1 Restricted Preservation  |
| Special Management Area:   | No   |
| Anticipated Determination: | Finding of No Significant Impact   |
- F. Agencies Consulted in the Development of the Draft EA:**
- City and County of Honolulu, Department of Planning and Permitting
  - State Bureau of Conveyances
  - State Department of Accounting & General Services (Survey Division)
  - State Department of Land and Natural Resources
  - State Office of Environmental Quality Control



## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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### 1.0 INTRODUCTION

#### 1.1 Project Overview

Ms. Wendla Liljestrand proposes to have a single family residence constructed as her primary residence in the Conservation District, Resource Subzone, where such development is an identified use. The vacant 22,495 square foot property (Tax Map Key 2-5-017: 006 and 018), which fronts Round Top Drive to the northwest and abuts land owned by Bishop Estate designated as Forest Reserve on the opposite side to the southeast, is located in the Tantalus residential neighborhood on Oahu. The 2 bedroom 2-1/2 bathroom residence will be 3,480 square feet, including applicable deck areas. The design and construction of the proposed house will conform to the Conservation District's standard conditions for single family residences (with the exception of a request to deviate from the front and back yard setback standards) and with applicable State and County regulations. The project designer has designed and constructed four other houses in the Tantalus area. The project is entirely privately funded.

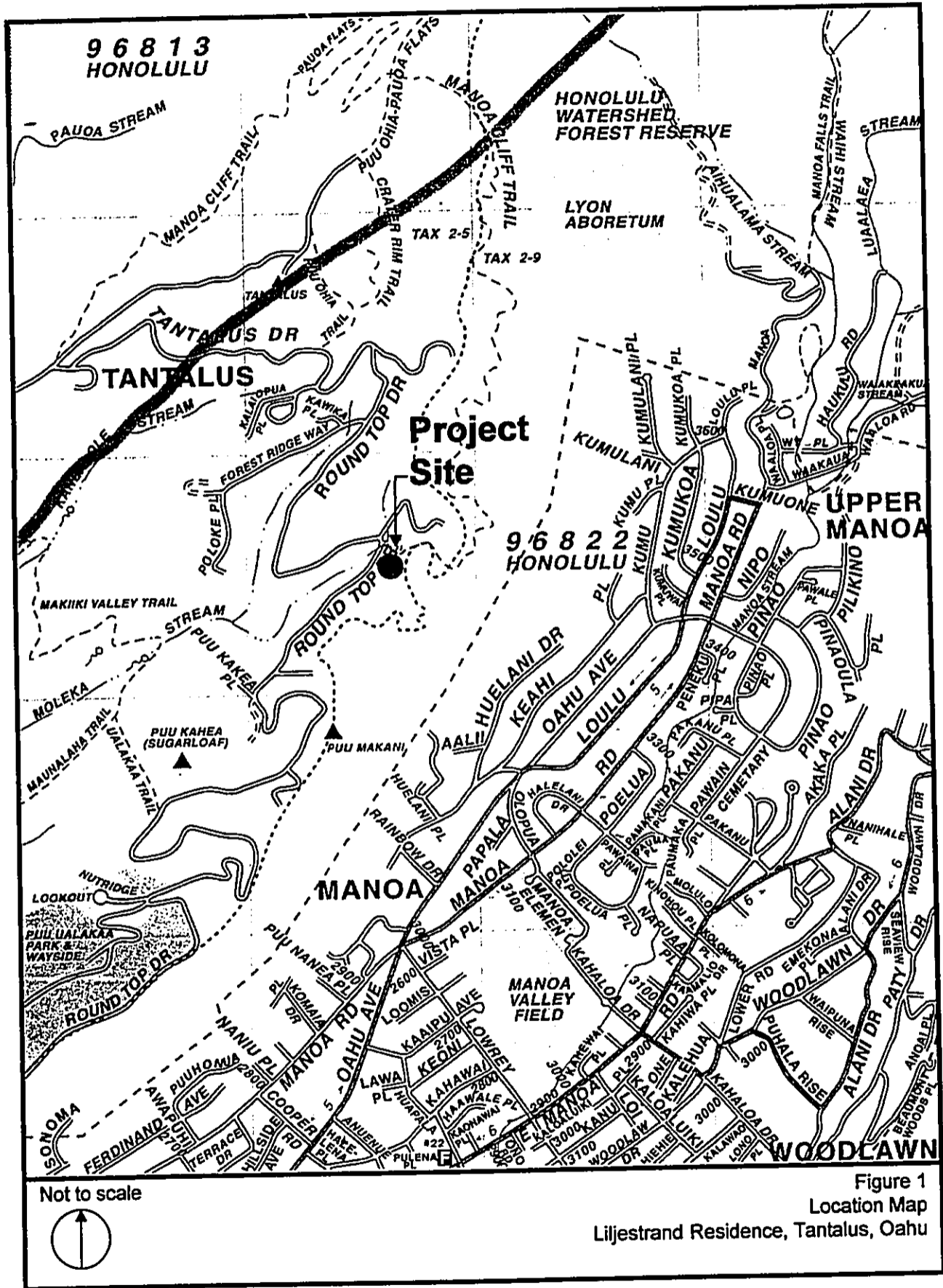
The proposed residence is located in an area where single family residences have been an established use for the last 100 years or so along Round Top Drive and Tantalus Drive. Figure 1 is a project location map. Figure 2, a TMK Map, identifies the two subject parcels and the existing uses on surrounding properties. Access to the property will be via Round Top Drive.

#### 1.2 Purpose of the Environmental Assessment

This environmental assessment has been prepared pursuant to Hawaii Revised Statutes which states that an environmental assessment is required for actions that propose any use within any land classified as conservation district by the state land use commission under Chapter 205 HRS. A Conservation District Use Application has also been prepared and submitted to the Department of Land and Natural Resources along with this environmental assessment.

#### 1.3 Previous Land Use Approvals

No known prior land use approvals have been requested or granted.



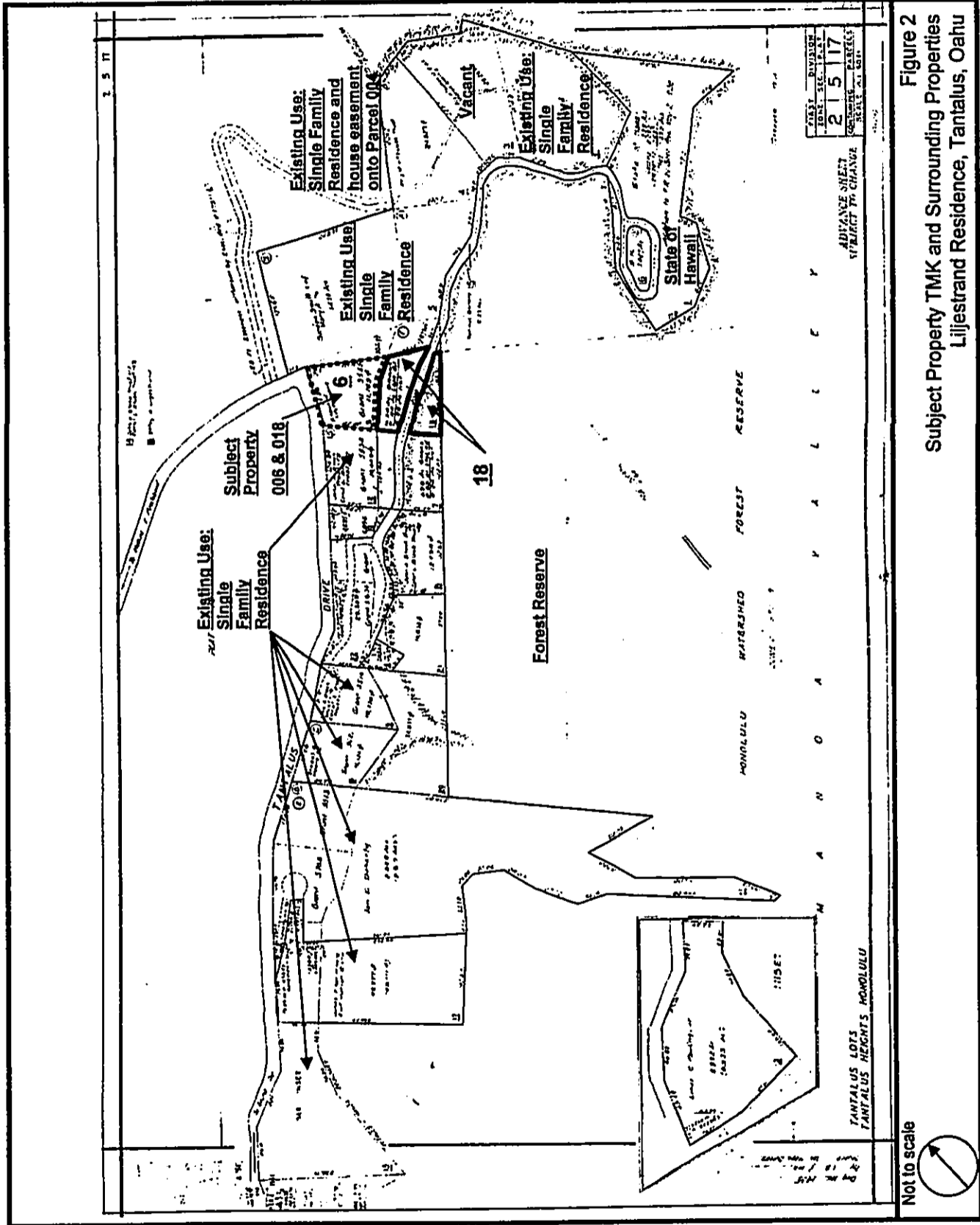


Figure 2  
 Subject Property TMK and Surrounding Properties  
 Lijestrand Residence, Tantalus, Oahu

**FINAL ENVIRONMENTAL ASSESSMENT**

**Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018**

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**1.4 Purpose and Need for the Project**

The owner wishes to construct a primary single family residence on her property.

**1.5 Alternatives to the Proposed Action**

No other alternative actions are being proposed. The property is located in the Resource and Limited Subzones. The proposed house is located in the Resource Subzone where single family residences are an identified use.

**1.5.1 No Action Alternative**

Under the No Action Alternative, the property would remain vacant, but the owner would not accomplish the stated purpose, which is to construct a primary single family residence.

**FINAL ENVIRONMENTAL ASSESSMENT**

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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**2.0 DESCRIPTION OF THE PROPOSED ACTION**

**2.1 Existing Conditions**

The property does not contain any structures. The property is heavily vegetated with shrubbery, tall grasses and a number of mature trees. Single family residences have been an established use for the last 100 years or so along the heavily wooded and scenic area of Round Top Drive and Tantalus Drive. According to the City and County of Honolulu, Department of Planning and Permitting's geographic information system, the property record lists a "1918 detached dwelling". According to the owner's family, the property supposedly contained at one time a small structure immediately adjacent to Round Top Drive that was used in the early 1900's, perhaps as a horse shed or a place to stop for horse-drawn carts/buggies.

The 22,495 square foot property is bounded to the north and south by properties that contain single family residences. The rear of the property abuts the large lush valley which is land owned by Bishop Estate and designated as Forest Reserve. The property fronts Round Top Drive, an asphalt road owned and maintained by the City and County of Honolulu, which will provide primary access to the proposed house via a private driveway on the subject property.

**2.2 The Proposed Single Family Residence**

**2.2.1 Request to Deviate from the Front Yard and Back Yard Standard Conditions**

The subject property, which consists of two lots of record, slopes up and away from Round Top Drive to a peak elevation of 1,410 feet above sea level. Figure 3, Plot Plan, shows the two parcels and the proposed house and improvements. Due to the slope and the natural configuration of the property's topography, the proposed location for the single family residence is at the most broad, flat, level portion of the subject property; at elevation 1,410 feet so as to minimize disturbance of the natural topography. However, this proposed location places the single family residence over the adjoining property lines of Parcels 006 and Parcel 018.

Therefore, the applicant respectfully requests a deviation from the standards for single family residences in the conservation district as outlined in Chapter 13-5, Exhibit 4, "Single Family Residential Standards", specifically the front yard 15 foot setback and back yard 15 foot setback



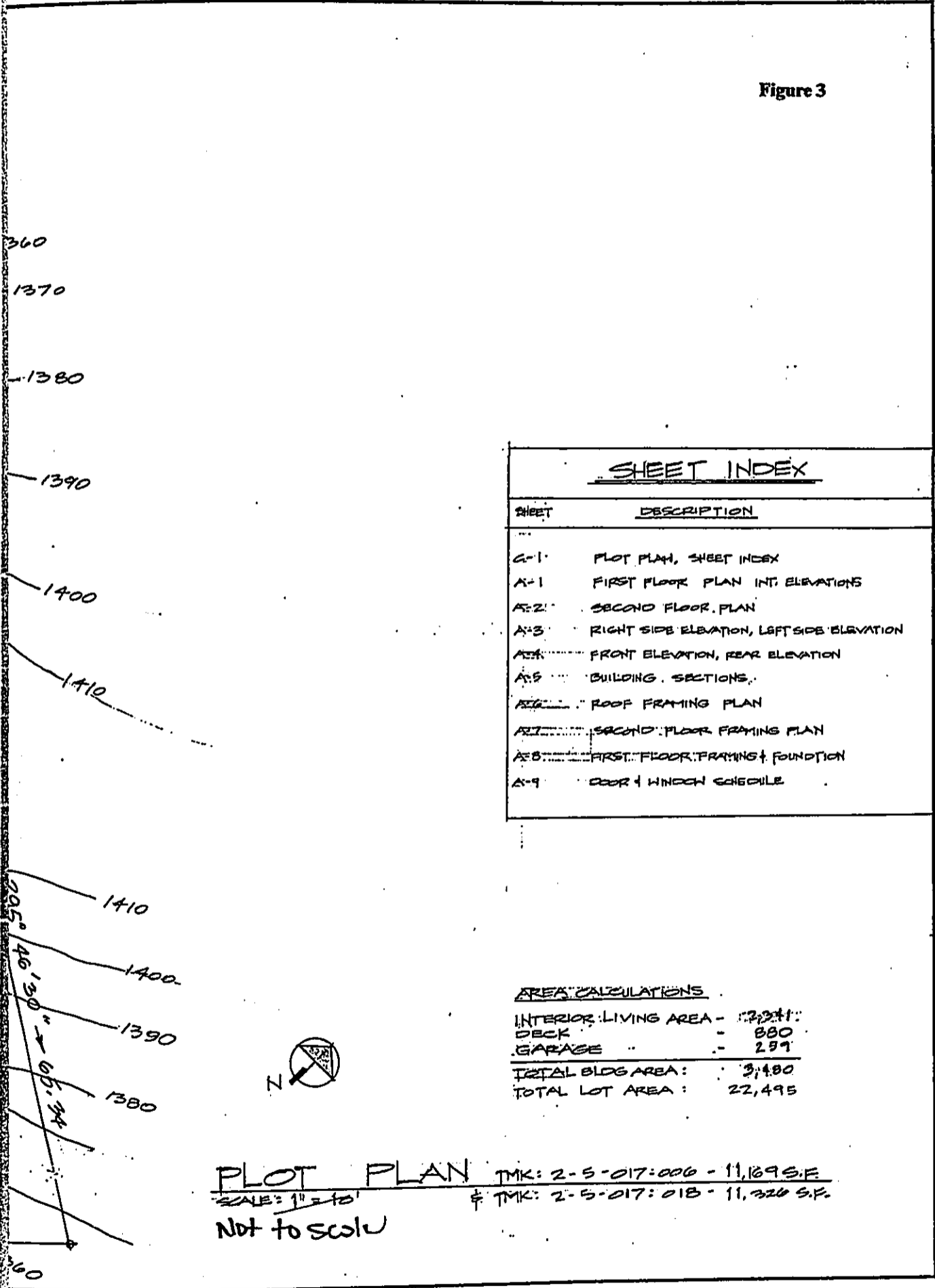


Figure 3

SHEET INDEX	
SHEET	DESCRIPTION
C-1	PLOT PLAN, SHEET INDEX
A-1	FIRST FLOOR PLAN INT. ELEVATIONS
A-2	SECOND FLOOR PLAN
A-3	RIGHT SIDE ELEVATION, LEFT SIDE ELEVATION
A-4	FRONT ELEVATION, REAR ELEVATION
A-5	BUILDING SECTIONS
A-6	ROOF FRAMING PLAN
A-7	SECOND FLOOR FRAMING PLAN
A-8	FIRST FLOOR FRAMING & FOUNDATION
A-9	DOOR & WINDOW SCHEDULE

AREA CALCULATIONS

INTERIOR LIVING AREA	- 2,341
DECK	- 880
GARAGE	- 294
TOTAL BLDG AREA	- 3,480
TOTAL LOT AREA	- 22,495

PLOT PLAN  
 SCALE: 1" = 10'  
 Not to scale

TMK: 2-5-017-006 - 11,189 S.F.  
 & TMK: 2-5-017-018 - 11,326 S.F.

REVISIONS	BY

RESIDENCE FOR WENDY LILJESTRAND  
 3959 RANDOLPH DRIVE HONOLULU  
 PLOT PLAN

Date	5-22-08
Scale	1" = 10'
Drawn	JH
Job	085
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Of	

**FINAL ENVIRONMENTAL ASSESSMENT**

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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standards for lots 10,000 square feet to one acre in size. Because the house will be located over the property line, it is not possible to accommodate the front and back yard setbacks. The proposed single family residence will not exceed the 15 foot side yard setback standard.

Pursuant to HAR 13-5-42 *Standards Conditions, (c) Deviation from any of the conditions provided herein may be considered by the board, only when supported by a satisfactory written justification stating:*

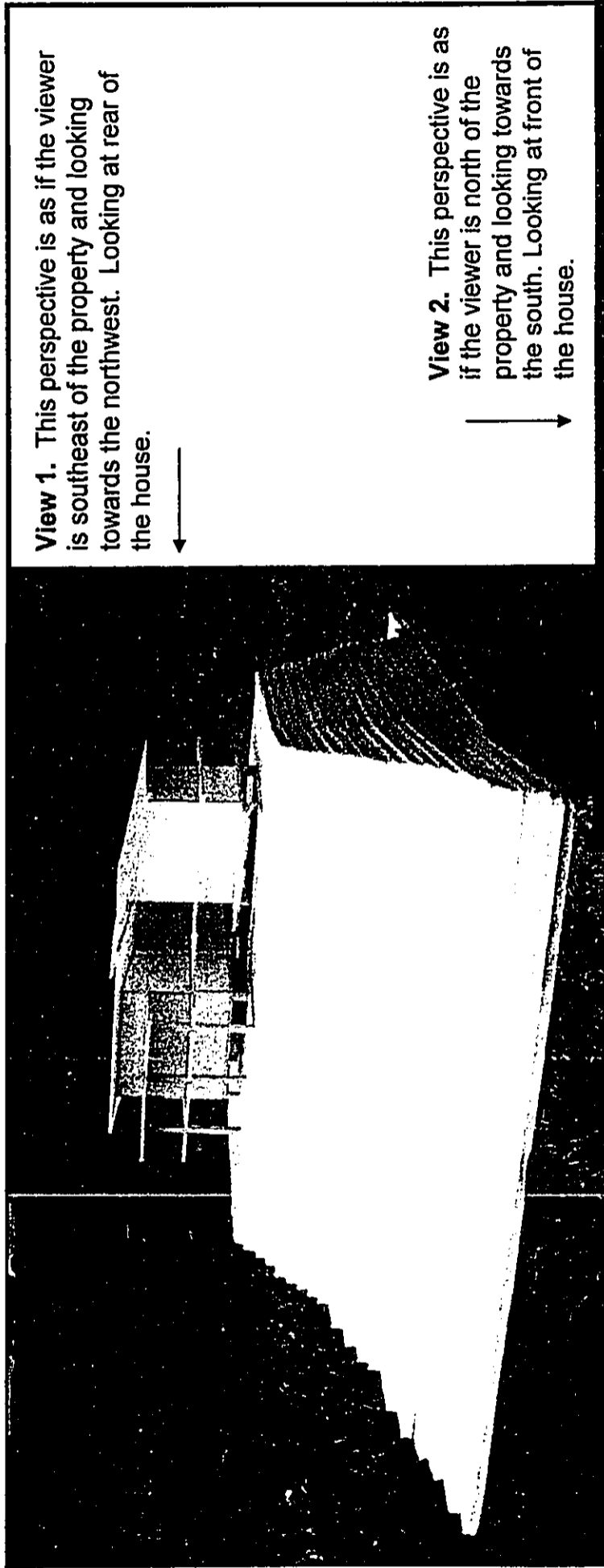
- (1) *The deviation is necessary because of the lack of practical alternatives;*
- (2) *The deviation shall not result in any substantial adverse impacts to natural resources;*
- (3) *The deviation does not conflict with the objective of the subzone; and*
- (4) *The deviation is not inconsistent with the public health, safety, or welfare.*

(1.) The applicant's request to deviate from the 15 foot front yard and 15 foot back yard setback standard is due to the steep slope and natural topographic configuration of the property. The broadest, flat and level area of the property happens to occur where the two parcels have a common property line. Therefore, the house has been located over the common property line which renders it impossible for the house to have front and rear yard setbacks from that common property line. There is no other practical alternative. Figure 4 contains photographs of a model of the proposed house which illustrates the topography of the property. The owner wishes to construct the single family residence where it will have the least impact on the topography, which means the house is located over the common property line. The proposed location of the residence does not require any grading, cut or fill. The house structure will sit atop posts set in concrete.

(2.) The deviation will prevent any substantial adverse impacts to natural resources. The natural topography will not be disturbed if the residence is constructed at the most broad, flat and level area of the property where the two parcels have a common property boundary. If the residence were constructed only on Parcel 006, then a significant amount of grading, cut and fill would be required and, as a result, the natural vegetation would be significantly disturbed.

(3.) The deviation does not conflict with the objective of the subzone. The applicant proposes to construct only one (1) single family residence involving two lots. The applicant's proposal results in less density than what could be requested for two individual lots, which are each greater than 10,000 square feet in size. The decrease in density benefits the Conservation District.

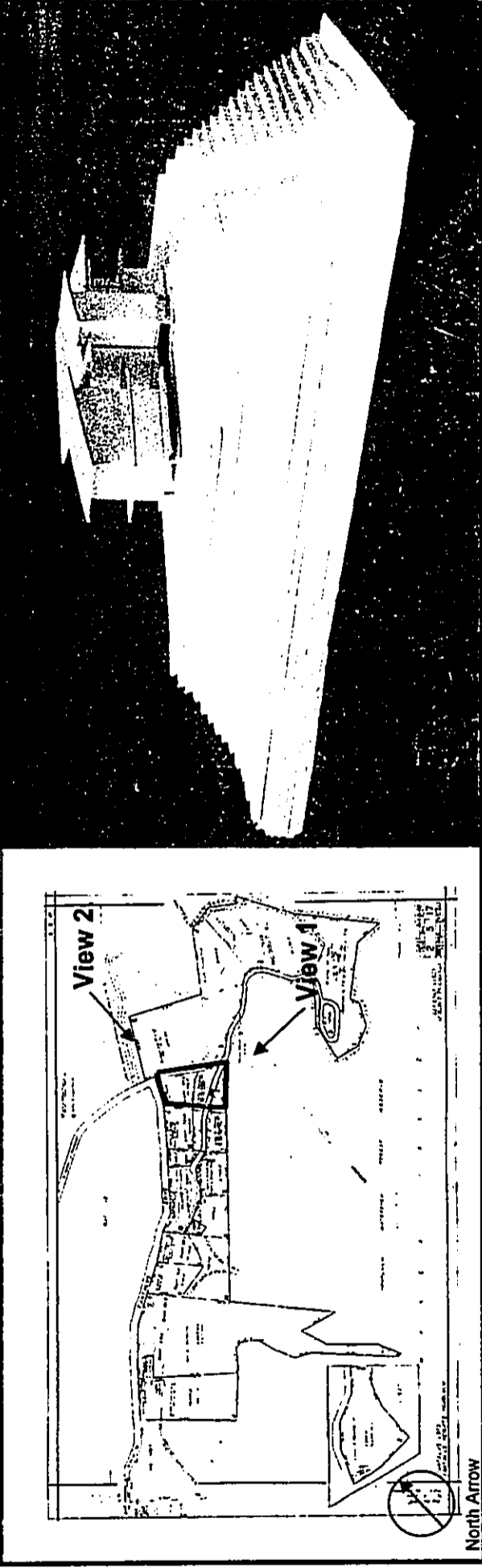
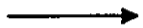




**View 1.** This perspective is as if the viewer is southeast of the property and looking towards the northwest. Looking at rear of the house.



**View 2.** This perspective is as if the viewer is north of the property and looking towards the south. Looking at front of the house.



North Arrow

**FIGURE 4**

Photos of House Model

Round Top Drive, TMK 2-5-17: 006 and 018, Tantalus, Oahu, Hawaii

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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(4.) The deviation is not inconsistent with the public health, safety, or welfare. The proposed location of the single family residence does not create a public health, safety or welfare hazard in and of itself, nor to adjacent uses.

### 2.2.2 Design Elements of the Proposed Single Family Residence

With the exception of the request for a deviation from the front yard and back yard setback standards, the construction will be in conformance with the requirements for single family residences in the conservation district per Chapter 13-5, Exhibit 4. The proposed single family residence will be consistent with the Resource Subzone, which is to "develop, with proper management, areas to ensure sustained use of the natural resources of those areas."

The overall goal is to place the residence appropriately on the site so that it appears that the house has always been there. The house will be constructed so as to create minimal disturbance to the existing environment, vegetation and natural topography. The owner wishes to retain as much as possible the natural vegetation, while new plantings will be chosen and placed to blend in with the existing "wild-growth" feeling of the site; formal landscaping is not consistent the overall design.

The house's muted natural colors and the exterior materials have been chosen to ensure that the house fits within its natural surroundings and is minimally visible. The house's exterior siding will be rough sawn fir plywood in a soft shade of green, which will blend with the trees and vegetation. The deck will be Ipe hardwood that will weather to a natural soft silver gray. The minimalist deck railings will be constructed of 1/8-inch stainless steel cable strung between brushed stainless steel posts and top railing; together this will appear almost invisible and will be transparent allowing open views from the deck and house. The roof will be corrugated aluminum in a subtle patina-shade of green with matching gutters.

The proposed residence is designed as a 2 bedroom, 2 ½ bathroom house with a deck and garage totaling 3,480 square feet of floor area. Deck areas in excess of four feet in width have been counted as floor area. Portions of the residence are two-story. **Figure 5** contains photos of a model which shows that the living room/kitchen area and the master bedroom area are connected by one roof. There will be folding doors between the living and master bedrooms areas so that the roofed indoor/outdoor living area can be opened or enclosed, depending on the weather.

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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When closed, the folding doors will provide a continuous exterior structure between the living room/kitchen area and the master bedroom area; this floor area has been counted towards the total floor area of the residence. The design creates privacy between the living/kitchen area and the master bedroom by physically separating these two spaces with an enclosed indoor/outdoor living area in between, while maximizing the number of exterior walls so that more windows can be provided to give the residence the feeling of literally being surrounded by the outdoors.

Architectural plans are provided in the following Figures:

- Figure 6** First Floor Plan
- Figure 7** Second Floor Plan
- Figure 8** Right Side and Left Side Elevations
- Figure 9** Front and Rear Elevations

### FIRST FLOOR/LEVEL 1

The west side of the first floor contains a one-car garage, an entryway, the stairway up to the second floor, one bedroom, 1 ½ bathrooms, and the cistern pump/equipment room for the septic system, water system and fire sprinkler system. There is a 4-foot wide deck on three sides of the west wing, and a 4-foot wide deck that connects the west wing to the east wing. This deck area is illustrated in Figure 6. The deck's floor area does not towards the total floor area of the residence. The east side of the first floor contains the master bathroom, a closet, the laundry room and a second stairway leading up to the second floor. There is no deck around the east side. The notations on the drawing refer to the deck above on the second floor. The west and east sides are connected by one roof, which is evident in the Front and Rear Elevations shown in Figure 9 and in the photographs of the models in Figure 4 and Figure 5.

Living area:	1,003.5 SF	
Garage:	259	
Deck:	0	Deck is 4 feet wide or less
First Floor	1,262.5 SF	

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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### SECOND FLOOR/LEVEL 2

The west side of the second floor contains the living room, kitchen, pantry and the stairway down to the first floor. The east side of the second floor contains the master bedroom, a study and the second stairway down to the first floor.

Living area:	1,337.5 SF
Deck:	880
Second Floor	2,217.5 SF

A summary of the total floor area is below.

First Floor	1,262.5 SF
Second Floor	2,217.5 SF
<b>TOTAL FLOOR AREA</b>	<b>3,480.0 SF</b>

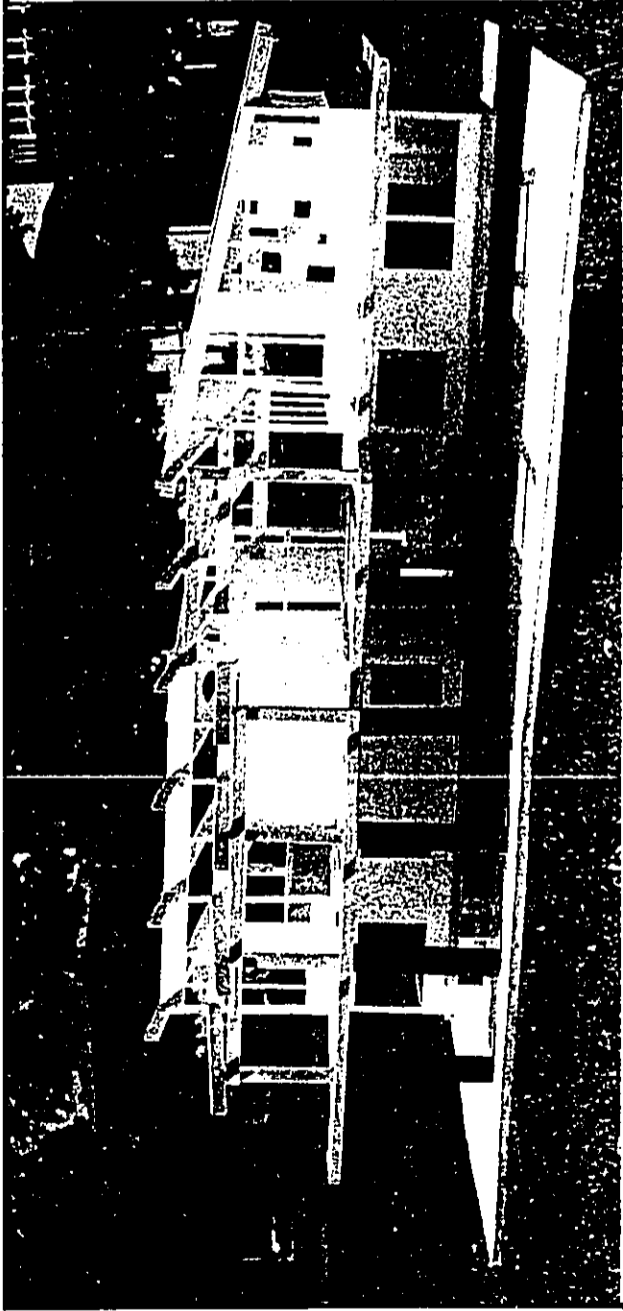
### Driveway

A private driveway will be constructed with access directly off of Round Top Drive. The driveway, as shown on the Plot Plan in Figure 3, will be 120 feet long and 12 feet wide. The top 18-inches of soil, which consists of roots and loose soil, will be removed from the site. Therefore, the cut amount for the driveway is:

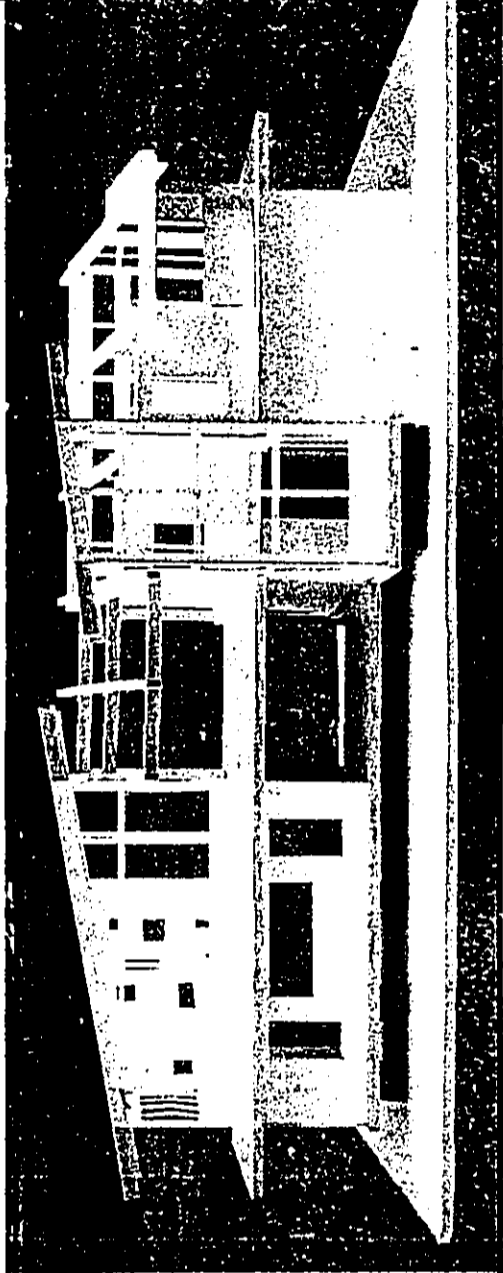
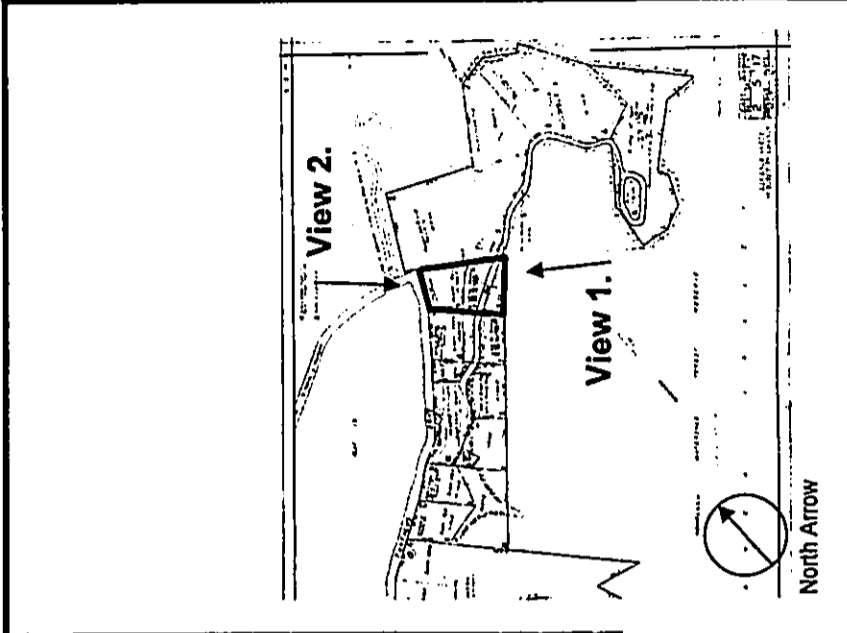
Cut Remove 18-inches x 120 feet long x 12 feet wide = 2,160 cubic feet or 80 cubic yards  
This will be removed from the site.

Fill Import barrow structural fill of 12-inches deep x 120 feet long x 12 feet = 1,400 cubic feet or 55 cubic yards. This will be the base under a 6-inch deep concrete driveway.

The driveway will be made of 6-inch deep poured concrete. The layout of the driveway will attempt to follow closely the natural topography and contours of the property, which lead down from the house to Round Top Drive, so as to minimize the need for cut and fill.



**View 1.** Looking at rear of the house. The living room/kitchen in on the left and the master bedroom is on the right. Connected by a single roof with an indoor/outdoor living area in between with folding doors (not shown) to enclose the space.

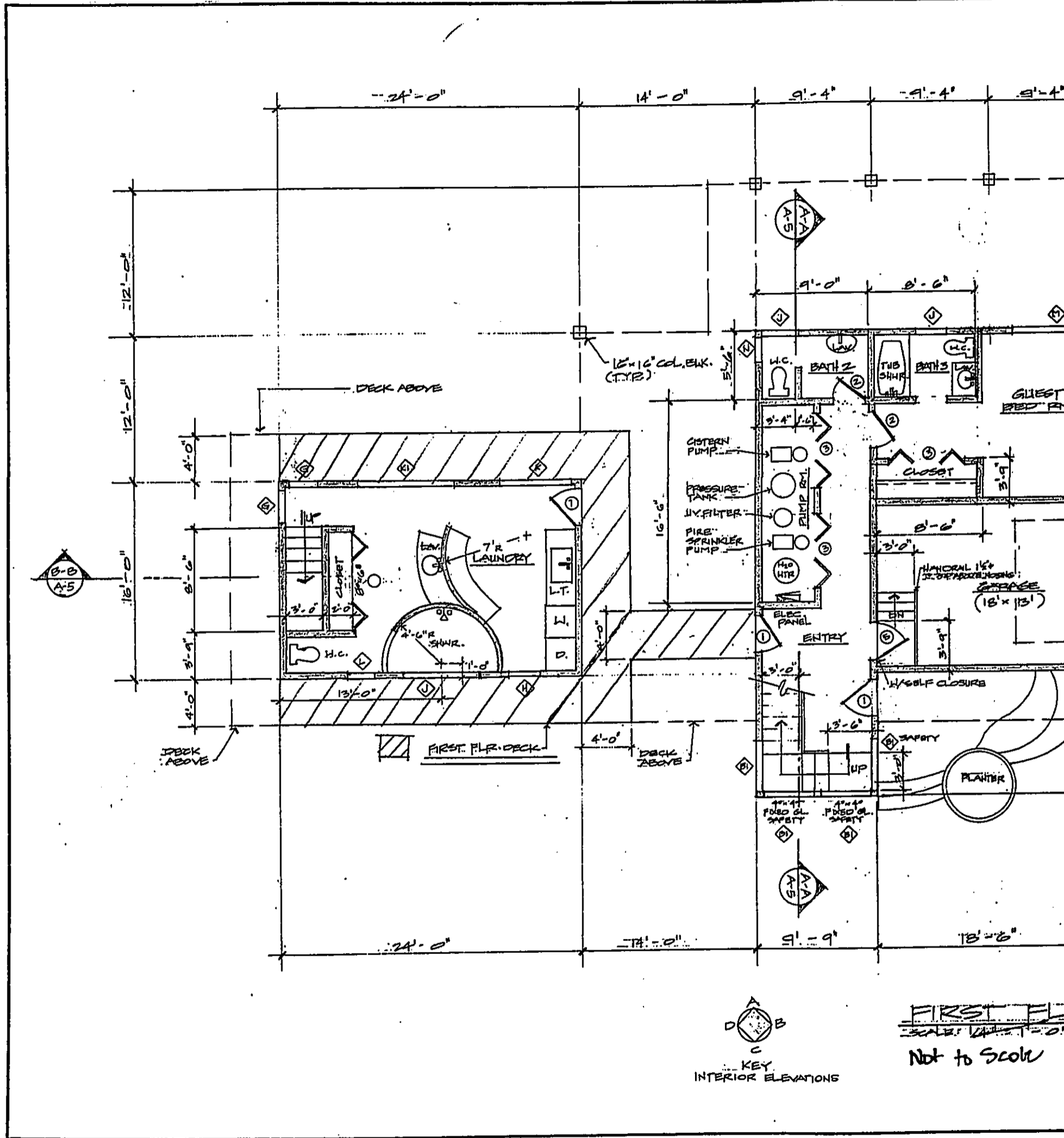


**View 2.** Looking at front of the house. The living room/kitchen in on the right and master bedroom is on the left. Connected by a roofed indoor/outdoor living area with folding doors (not shown).

**FIGURE 5**

Photos of House Model

Round Top Drive, TMK 2-5-17: 006 and 018, Tantalus, Oahu, Hawaii

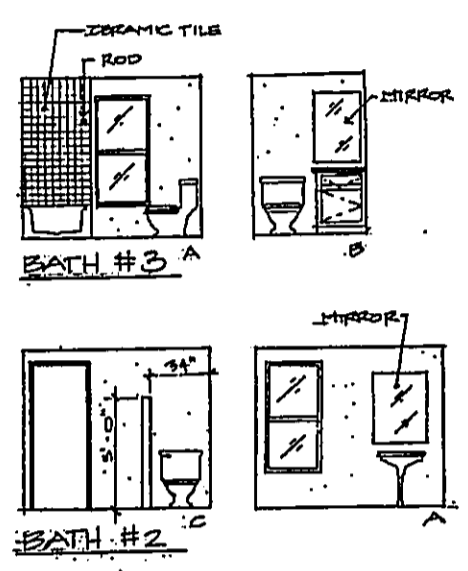
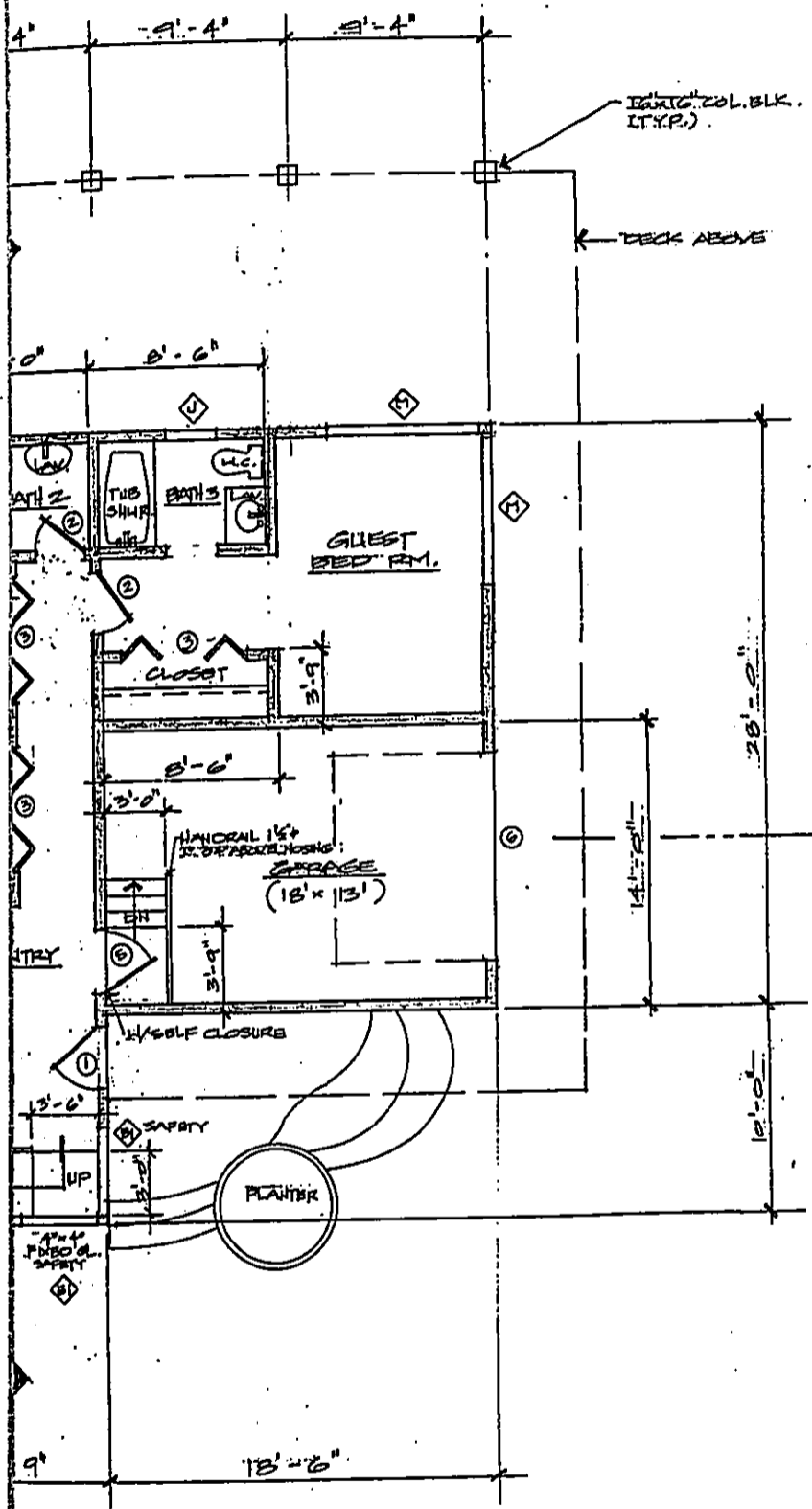


KEY  
INTERIOR ELEVATIONS

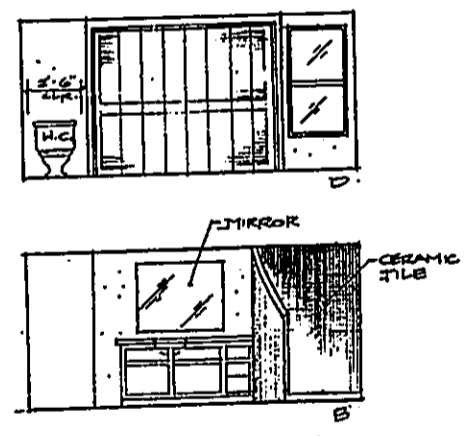
FIRST FLR.  
SCALE: 1/4" = 1'-0"  
Not to Scale

REVISIONS	BY

Figure 6



BATH ELEVATIONS  
SCALE: 1/4" = 1'-0"



MASTER BATH  
SCALE: 1/4" = 1'-0"

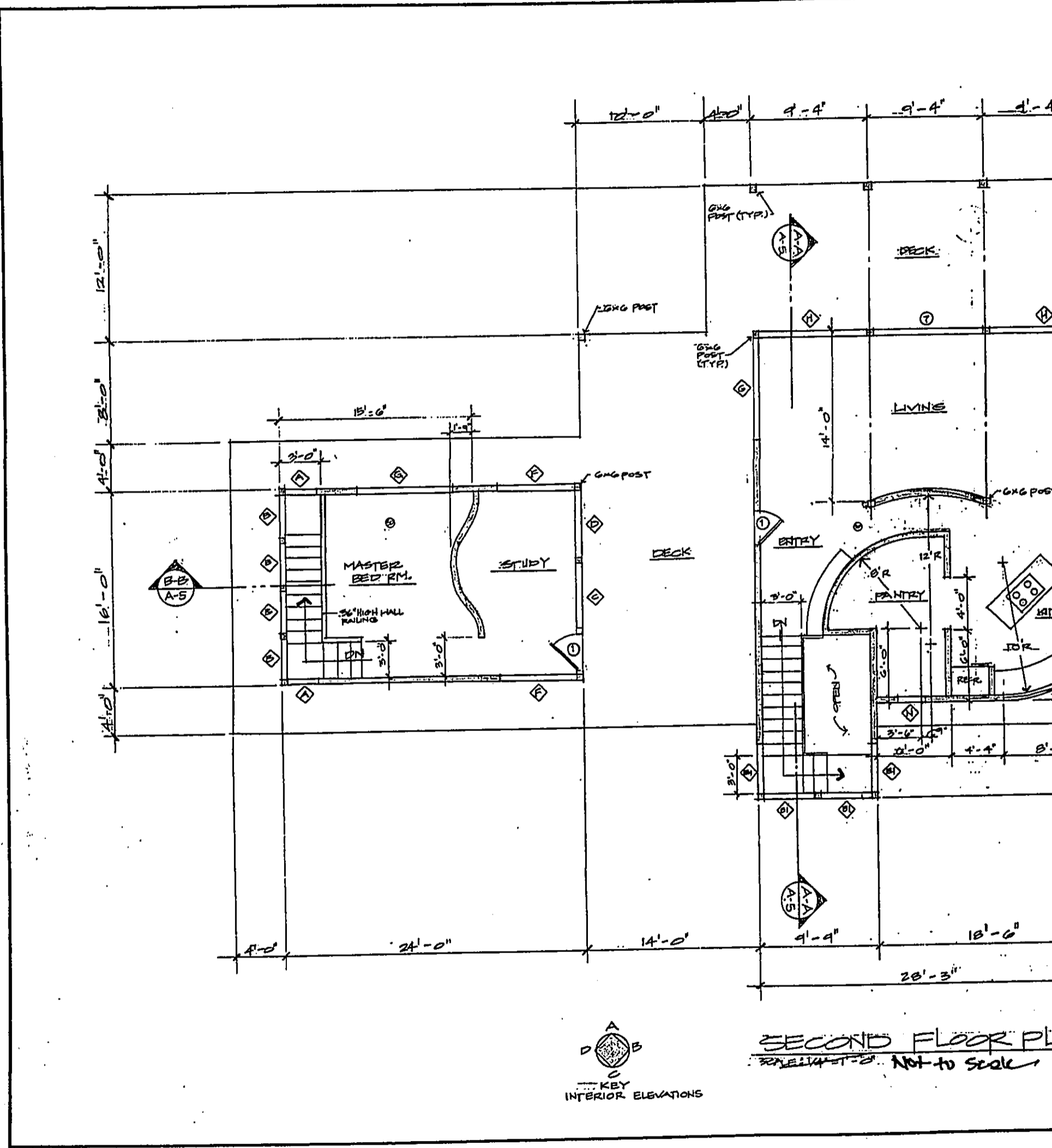
FIRST FLOOR AREA:


LIVING	1,003.5
GARAGE	259
TOTAL	1,262.5

FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
Not to Scale

RESIDENCE FOR WENDY HILJESTRAND  
3459 ROUNDTOP CRNE, HONOLULU  
FIRST FLOOR PLAN

Date	2/23/05
Scale	1/4" = 1'-0"
Drawn	WH
Job	
Sheet	A-1
Of	Sheets



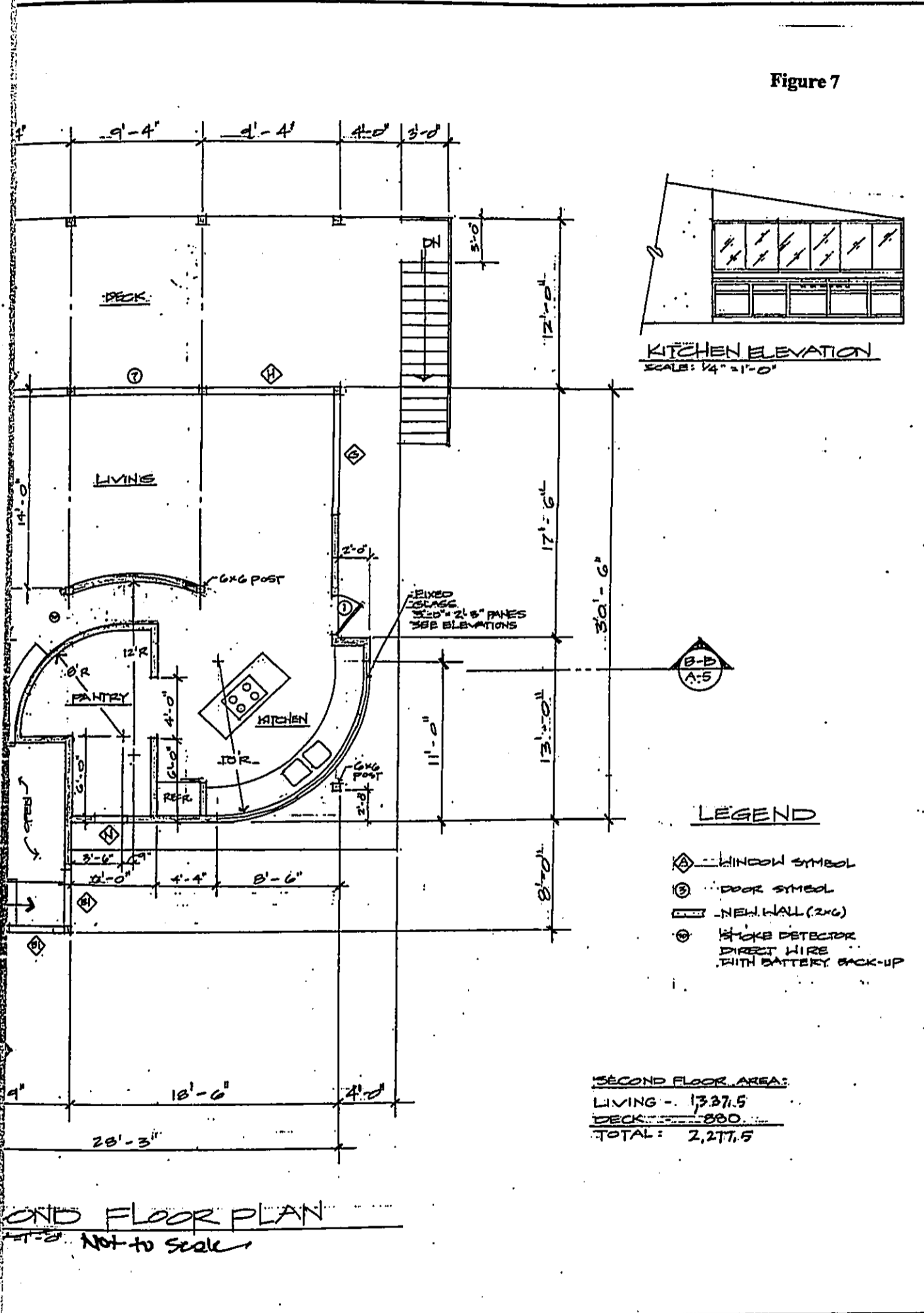
  
 KEY  
 INTERIOR ELEVATIONS

**SECOND FLOOR PLAN**  
 PRELIMINARY - Not to Scale



REVISIONS	BY

Figure 7



KITCHEN ELEVATION  
SCALE: 1/4" = 1'-0"

LEGEND

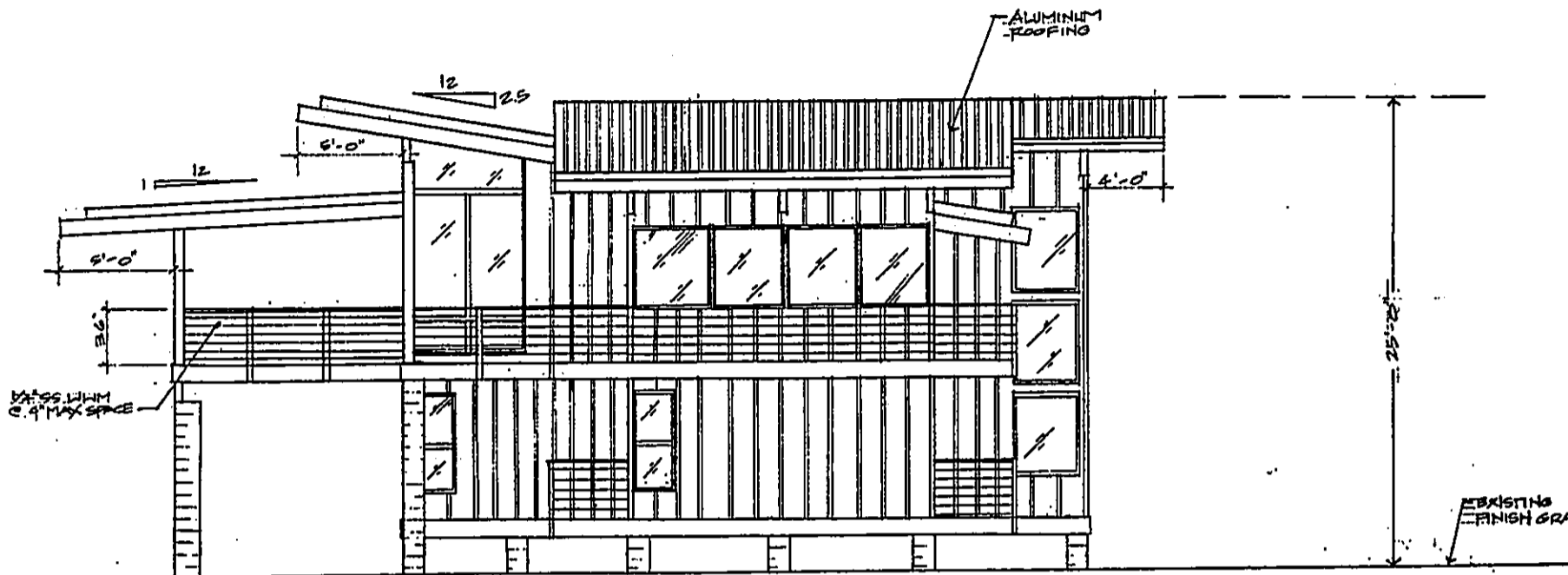
- ◊ WINDOW SYMBOL
- ⊙ DOOR SYMBOL
- ▭ NEW WALL (2x6)
- ⊕ SMOKE DETECTOR DIRECT WIRE WITH BATTERY BACK-UP

SECOND FLOOR AREA:  
LIVING - 1,337.5  
DECK - 86.0  
TOTAL: 2,277.5

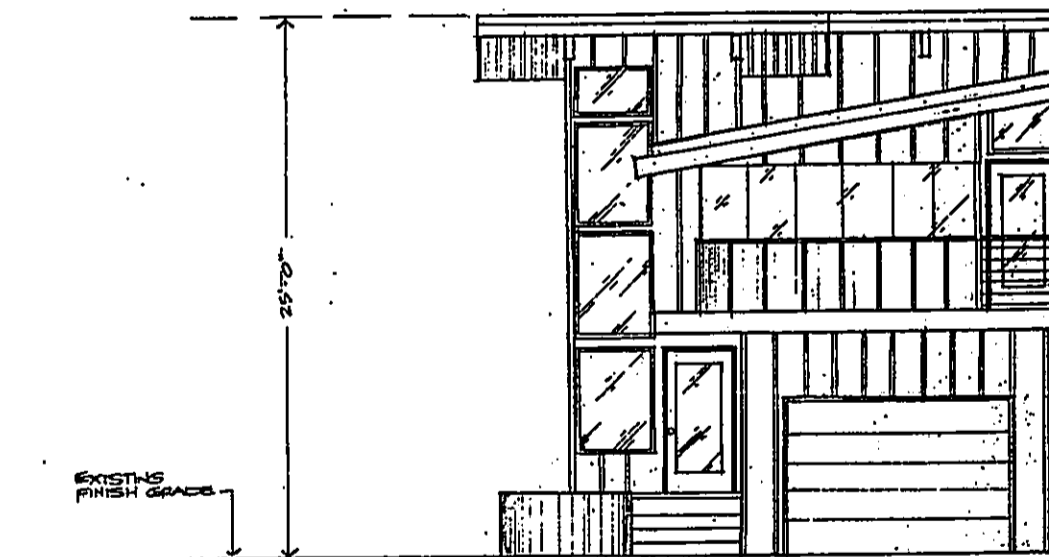
SECOND FLOOR PLAN  
Not to Scale

RESIDENCE FOR WENDY LILJESTRAND  
3959 ROUNDTOP DRIVE, HONOLULU  
SECOND FLOOR PLAN

Date	2/23/05
Scale	1/4" = 1'-0"
Drawn	WH
Job	
Sheet	A-2
Of	2



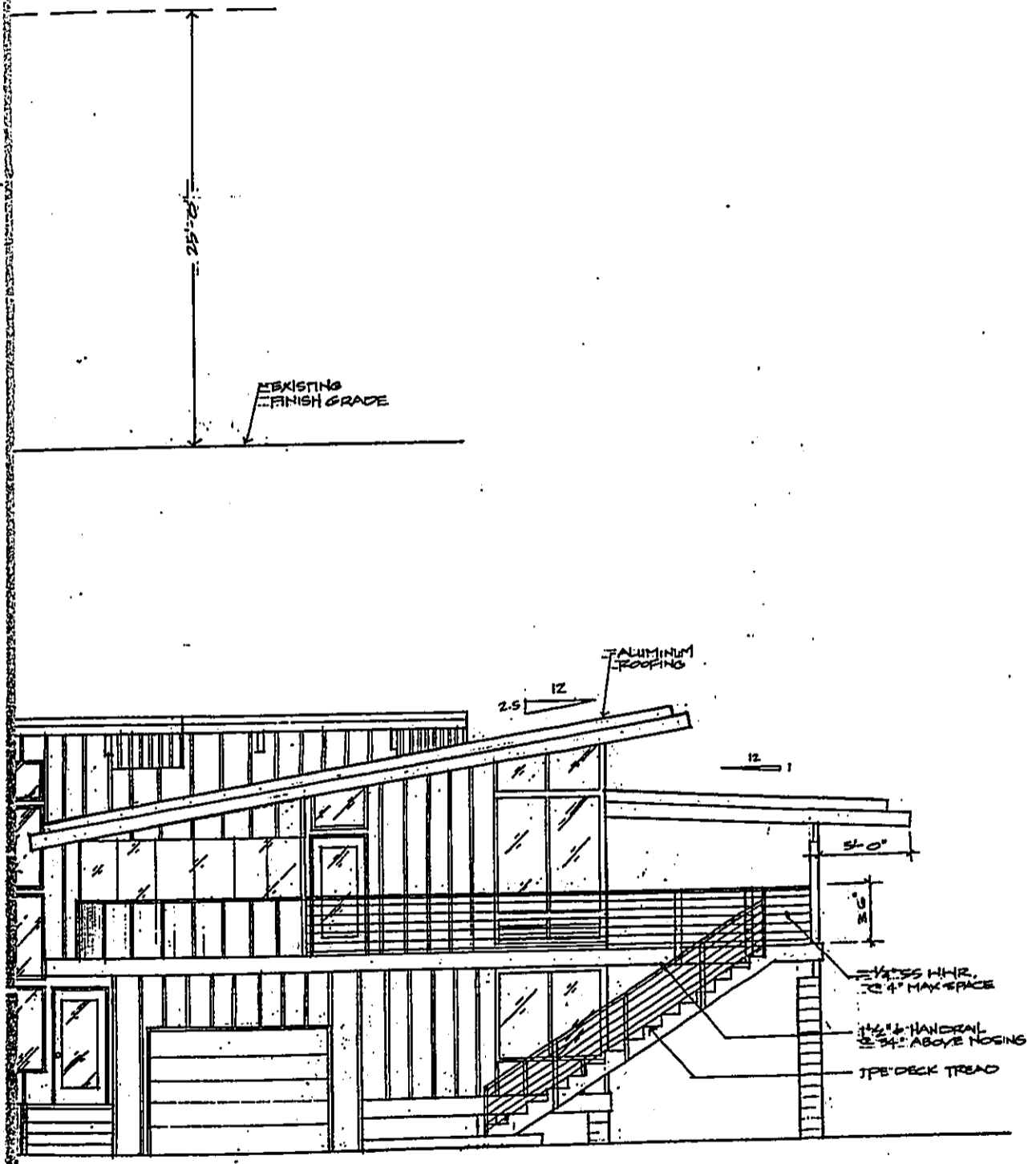
LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT SIDE  
SCALE: 1/4" = 1'-0"  
Not to scale

REVISIONS	BY

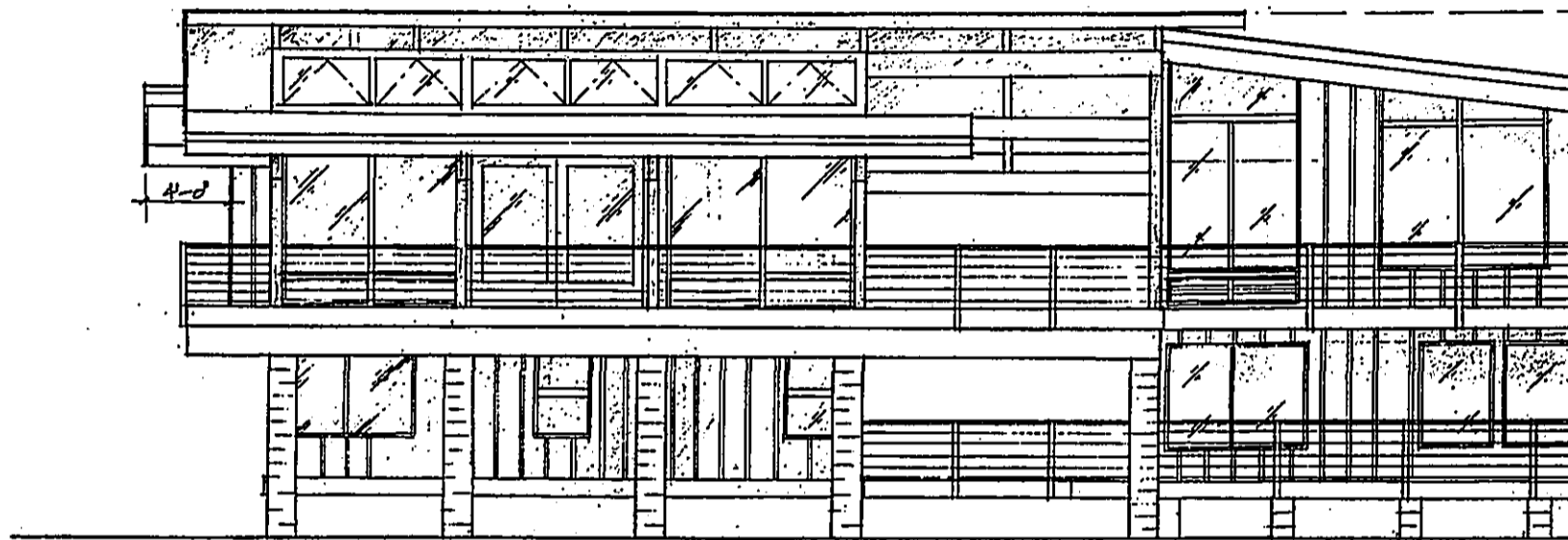
Figure 8



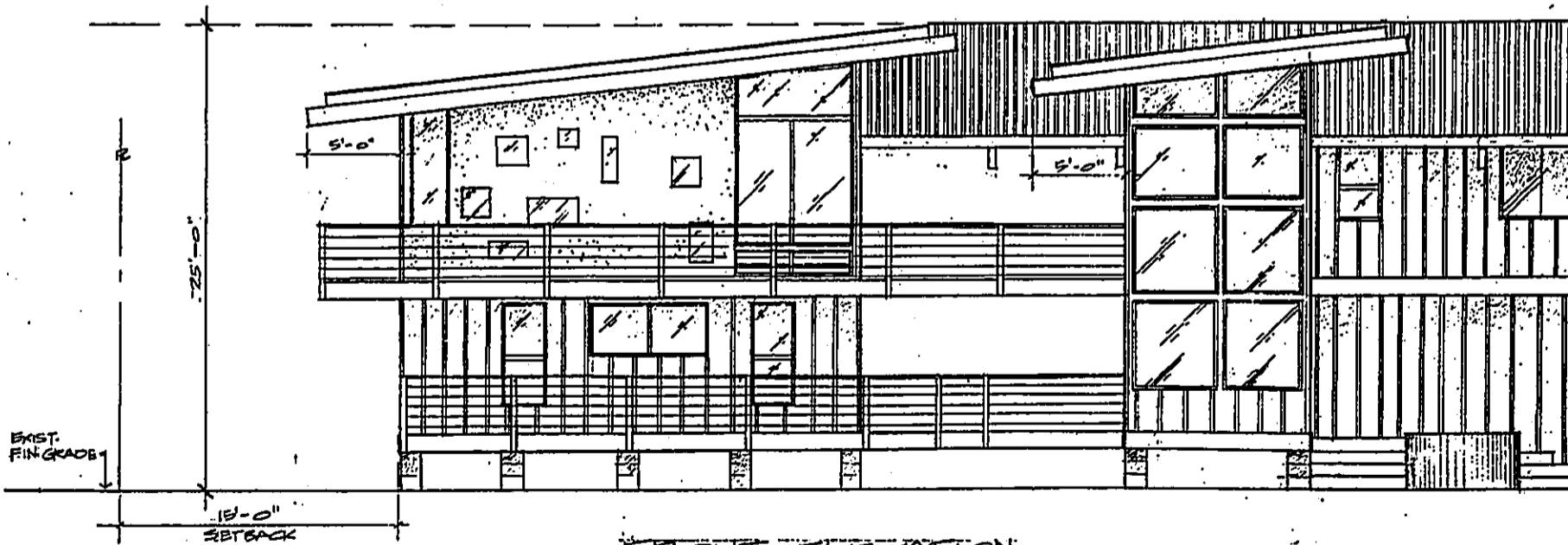
RIGHT SIDE ELEVATION  
 SCALE: 1/4" = 1'-0"  
 Not to scale

RESIDENCE FOR WENDY LILJESTRAND  
 LEFT SIDE ELEVATION, RIGHT SIDE ELEVATION ... 3954 ROUND TOP DRIVE, HONOLULU

Date	3/23/05
Scale	1/4" = 1'-0"
Drawn	JH
Job	
Sheet	A-3
Of	3 Sheets

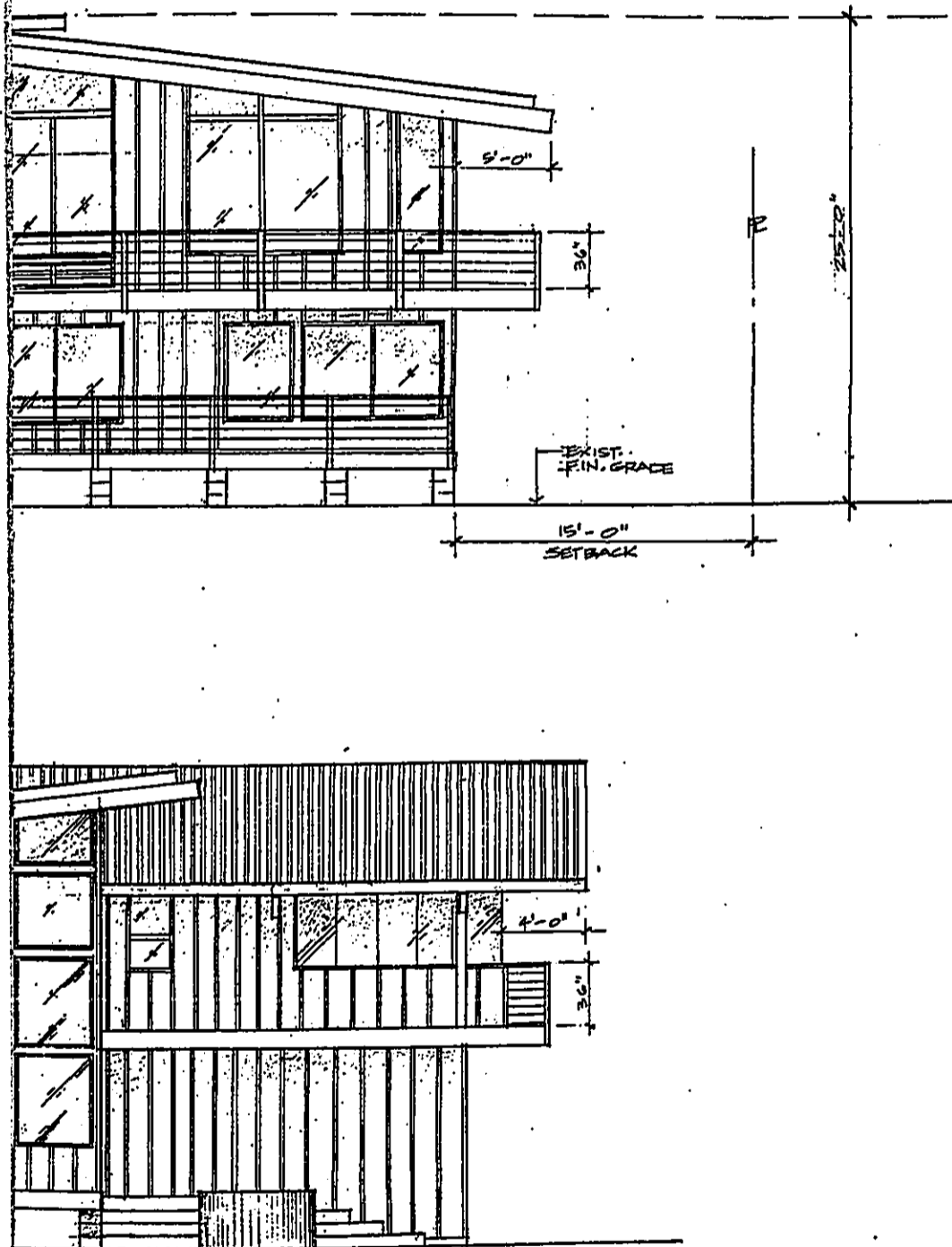


REAR ELEVATION  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"  
Not to Scale

Figure 9



REVISIONS	BY

RESIDENCE FOR WENDY LILJESTRAND  
FRONT ELEVATION; REAR ELEVATION  
3159 ROUNDTOP DRIVE, HONOLULU

Date 8/22/05  
Scale 1/4" = 1'-0"  
Drawn WH  
Job  
Sheet  
A-4  
Of 4 Sheets

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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### 3. ENVIRONMENTAL SETTING, POTENTIAL IMPACTS AND MITIGATION MEASURES

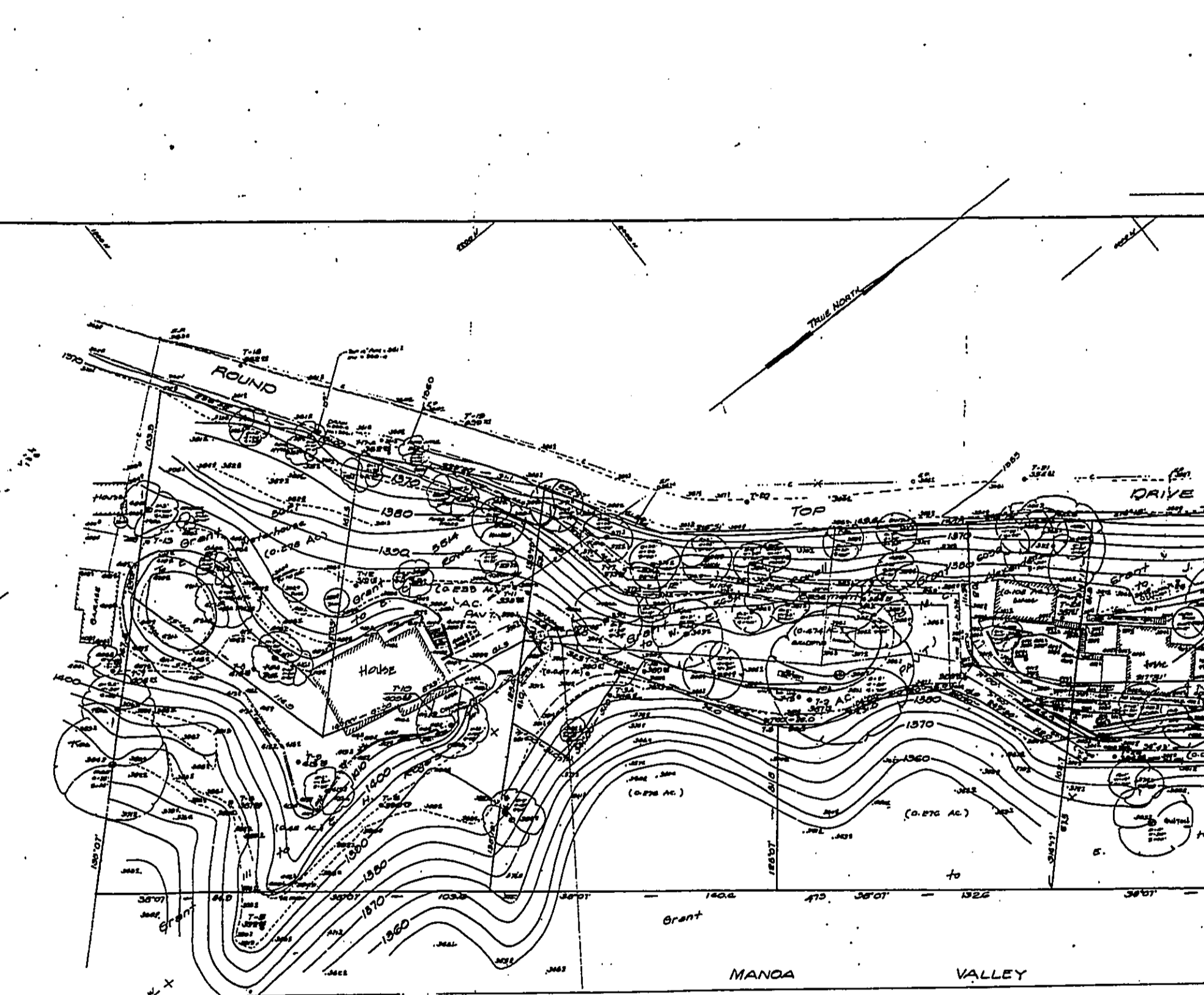
#### 3.1 Topography

Figure 10 is a topographic map of the subject property and surrounding area. The surface elevations (Figure 3) of the subject property rise from Round Top Drive at about 1,360 feet to a peak of 1,410 feet where there is a large broad flat area, and then the property slopes down again to 1,360 feet along the Forest Reserve/valley-side of the property. The proposed house site, at elevation 1,410 feet, is about 50 feet above the street elevation and is set back about 90-100 feet away from Round Top Drive.

#### *Potential Impacts and Mitigation Measures*

The proposed residence is designed to be built on posts set in individual concrete footings so that there is no need for grading, cut or fill to construct the house. The construction of the driveway will require 80 cubic yards of cut material to be removed from the site and 55 cubic yards of barrow structural fill to be brought to the site to serve as a base for the concrete driveway. Approximately 30 cubic yards of material will be cut and removed from the site to accommodate the wastewater system. The design goal is to place the house and improvements within the existing environment and follow the existing topography as much as possible. This will minimize site disturbance and allow the existing surrounding vegetation to remain. Only 110 cubic yards of material is proposed to be cut and removed. No grading is proposed. Erosion control methods to be implemented by the contractor before, during and after construction will include, but are not limited to, the following Best Management Practices:

- Perform excavation at the construction site in phases to limit the number of cubic yards of soil being moved at any one time.
- Construct perimeter walls first to retain runoff.
- Install silt fences at the boundary of all disturbed areas and areas used for stockpiling and staging.
- Install the geotextile dust barrier fabric and silt fence fabric prior to start of construction and maintain in position until completion of construction activities.
- Install erosion control measures prior to start of the construction phase and maintain until construction is complete.

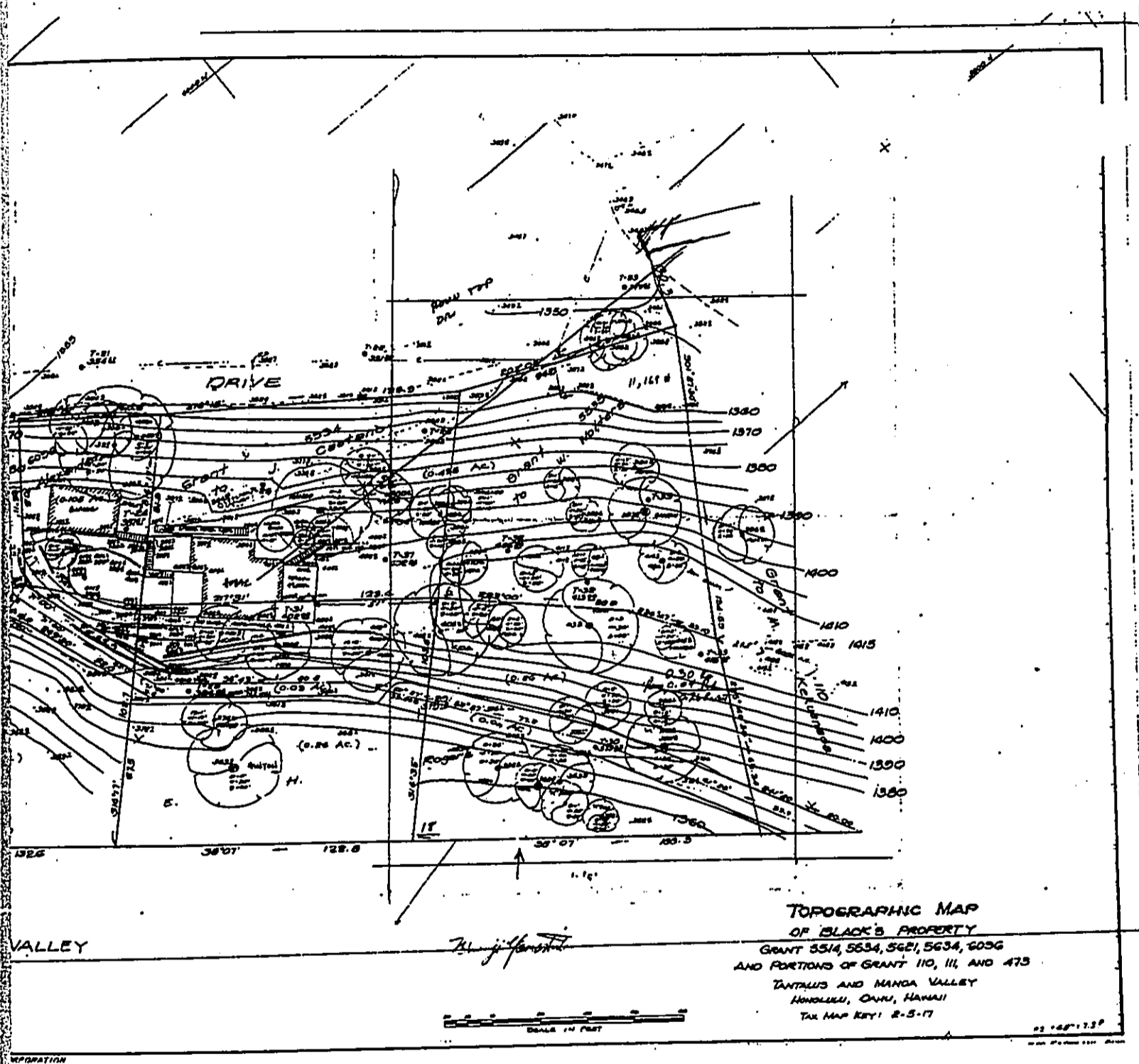


NOTE:  
 1. ALL ELEVATIONS ADD 1000 FEET.  
 2. COMPILED MAP

MJP

B. M. TITHE CORPORATION

Figure 10



INFORMATION



## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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- Cover and stake burlap or textile fabric on slopes greater than 2:1 (vertical: horizontal)
- Prevent any grading operation that causes rocks, soil or debris in any form to fall, slide or flow onto adjoining properties, streets or natural watercourses.
- Make adequate provisions to prevent drainage flows from damaging the cut face of an excavated area or the sloped surface of a fill area, and prevent sediment-laden runoff from leaving the site.
- Sod or plant all slopes and exposed areas as soon as possible.
- Plant disturbed areas where work has been interrupted or delayed with temporary or permanent ground cover.
- Inform the City of the locating of the disposal site for the project when the application for a grading

### 3.2 Soils

Soils at the property are classified as Tantalus silty clay loam (TAF) which are well-drained soils that occur on uplands. These soils developed in volcanic ash and material weathered from cinders. They are moderately sloping to very steep with elevations ranging from 100 to 2,200 feet. These soils are used for home-sites, water supply, and recreation. Natural vegetation consists of ferns, Formosa koa, koa haole, kukui, and eucalyptus. (USDA, 1972)

#### *Potential Impacts and Mitigation Measures*

The proposed project is designed to minimize soil disturbance and is not anticipated to significantly impact the existing soil conditions at the site. The structural design of the house and the wastewater system takes into consideration the soil conditions. The house will be placed on solid concrete foundation posts. Best Management Practices will be followed during construction. No further mitigation is warranted.

### 3.3 Drainage

While there are no streams within or near the project site, the Tantalus area receives over 100 inches of rain per year. The proposed residence will utilize a water-catchment system for its domestic water. The area under roof, which exceeds 2,000 square feet, will be used to capture and divert rainwater into the water-catchment system's two 10,000 gallon tanks. Storm water will flow towards the Forest Reserve or towards Round Top Drive. However, over 85% of the

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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property will remain in open space which contains the existing vegetation and plantings that already absorb and slow sheet flows.

### *Potential Impacts and Mitigation Measures*

The rainwater from non-permeable surfaces will be diverted into the 20,000 gallon water catchment system or into the existing grassy and vegetated areas which are designed to encourage absorption and minimize sheet runoff. No significant impacts to drainage are anticipated. No additional mitigation is warranted.

### **3.4 Air Quality**

The Tantalus area has excellent air quality due to the fairly consistent trade winds and rain showers. The elevation of the proposed residence (1,400+ feet) places the house in an area that has low traffic impacts and is absent of other sources of pollution.

### *Potential Impacts and Mitigation Measures*

Potential impacts to air quality will be short-term and related to the construction of the residence. Emissions and some dust may be generated by construction vehicles. Control measures such as regular watering of the site and use of sprinklers will help control dust and minimize wind-blown emissions. Work will be performed in conformance with the air pollution control standards contained in the Hawaii Administrative Rules, Title 11, Chapter 59, "Ambient Air Quality Standards" and Chapter 60, "Air Pollution Control". No significant long term air quality impacts are anticipated due to inhabiting the proposed residence. No long-term mitigation is warranted.

### **3.5 Water Quality**

There are no streams or surface water sources on the property. Rainwater will be diverted and stored in the 20,000 gallon in-ground cistern catchment system which will be used for all domestic water needs. The appropriate water treatment will be provided to ensure potable water quality.

### *Potential Impacts and Mitigation Measures*

Potential runoff from construction activities will be controlled especially since the property abuts the Forest Reserve. While no grading, significant cut or fill is proposed, construction activities

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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will be performed in conformance with the applicable State and County provisions regarding construction, water quality and water pollution control. No long-term mitigation is warranted

### 3.6 Noise

The Tantalus area is a residential community spread throughout a heavily wooded area, therefore, noise levels are very low due to the open space and distance between residences. Round Top Drive and Tantalus Drive are not heavily traveled streets and vehicles travel at relatively low speeds because the streets are narrow and winding.

#### *Potential Impacts and Mitigation Measures*

Short-term construction related noise impacts will occur. Short-term noise from construction machinery and vehicles may impact the two adjacent properties with residences. Construction activities will be limited to daylight working hours and will comply with Hawaii Administrative Rules, Chapter 11-46, "Community Noise Control". No grading work is proposed. No significant long term noise impacts are anticipated with the occupation of the residence and the additional vehicular traffic is not expected to cause an increase in the overall noise levels. No long-term mitigation is warranted

### 3.7 Flora and Fauna

There are no known rare, threatened, or endangered plant or animal species or significant habitats on the subject property.

#### *Existing Fauna*

No mammals were observed during site visits to the property. In September 2004, the Department of Land and Natural Resources, Division of Forestry and Wildlife was consulted regarding native and introduced bird species that may be found in the general vicinity of the Tantalus area. According to a DLNR biologist, native birds that may be found in the area include Apapane (*Himatione sanguinea*), Amakihi (*Hemignathus virens*), and, more rarely Pueo (*Asio flammeus*)(State listed). In addition, the Oahu Creeper (*Paroreomyza montana*), Elepaio (*Chasiempis sanvichensis ibidis*), and Iiwi (*Vestiaria coccininea*) were likely once common but are now no longer present. Hawaiian Hoary Bat (*Lasiurus cinereus semotus*) and Newell's Shearwaters (Threatened) may fly over the area, but no reports exist due to the cryptic habits of

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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these species. Several species of seabirds may also fly over the site such as Tropic birds and White terns. Introduced passerine birds include House Finch, Nutmeg Mannikin, Red-billed Leiothrix, Hwamei, Japanese White-eye, Common Myna, Common waxbill, and Northern Cardinal. The introduced Barn Owl is likely common in the area as well. Rats, mice, and feral cats may reside in some areas of the project site or the general area. No rare, threatened or endangered species are known to exist.

### *Existing Flora*

The property is lushly covered with tall grass, mature trees (including koa), and shrubs. Common plants found in the Tantalus areas such as ginger, ti leaf and staghorn fern are also located on the property. As much as reasonable possible, the existing trees, shrubs and ground cover will be retained, while new plantings will be chosen and placed to blend in with the existing "wild-growth" feeling of the site; "formal" landscaping is not consistent the overall design. Four trees are proposed to be removed in order to construct the house on the proposed site: one mango tree, one schefflera tree, and two avocado trees.

### *Potential Impacts and Mitigation Measures*

Since the property does not contain any known threatened or endangered species of flora or fauna, no adverse impacts are anticipated. No mitigation is warranted.

### **3.8 Visual Resources**

The street frontage of the subject property is only visible from Round Top Drive. The proposed residence will be set back 90-100 feet away from the street and will be 50 feet higher in elevation than the street level. Therefore, it is anticipated that the house will not be at all visible from Round Top Drive. The existing dense vegetation and trees will significantly screen the house from view. Figure 11 shows the proposed project site and dense vegetation. Other Tantalus residences in the vicinity will retain their views; the proposed house will not impact those views. The ridge opposite the subject property is not accessible to the public so public views are not impacted.

The property does not affect views of adjacent properties and there are no houses on the opposite side of Round Top Drive. The deeds for the applicant's two parcels have "view easements" which relate to maintaining scenic views of the valley from the applicant's property looking



FIGURE 11

View of Approximate House Site – level area  
Round Top Drive, TMK 2-5-17: 006 and 018, Tantalus, Oahu, Hawaii

**FINAL ENVIRONMENTAL ASSESSMENT**

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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across TMK: 2-5-17: 012 and 007, but with a reciprocal view easement from the adjacent property (parcels 012 and 007) looking across the applicant's property. The applicant's deeds also describe mutual setback easements "burdening and benefiting" the adjacent property to the northwest, TMK: 2-5-17: 012 and 007, and the applicant's property, which prohibits the construction of any residence within 20 feet of the boundary line between the two lots, and to plant and maintain a vegetation barrier to restrict the view of or between the residences on either parcel. The applicant's proposed house is over 30 feet away from the shared property boundary line and there is significant mature vegetation on and between the two properties. The construction of the proposed residence will meet the conditions of the applicant's deeds view easements.

*Potential Impacts and Mitigation Measures*

The development of the residence will cover approximately 14.5% of the property leaving over 85% in undisturbed open space. The proposed residence will be screened from view due to the combination of the rise in topography away from Round Top Drive, the distance the house will be set back away from Round Top Drive, and the existing dense vegetation on the property.

The residence is setback from all side yard property lines 15 feet or more as shown on **Figure 3, Plot Plan**. The applicant is requesting a deviation from the front yard and back yard 15 foot setback standard in order to construct the house over the adjoining property lines of the two parcels; where the property is flat and level and most suitable for construction.

<b>Location of Setback</b>	<b>Standard Condition</b>	<b>Liljestrand Residence per proposed house site</b>
North	15 feet	87 feet
South	15 feet	67 feet
East	15 feet	15 feet
West	15 feet	32 feet

A subtle natural color palette of greens and grays will be used on the exterior of the residence. Muted natural colors (greens and grays) and natural materials have been chosen for the exterior of the house to ensure that the house blends in within its natural surroundings and is minimally visible.

No significant visual impacts are anticipated due to the construction of the house. No further mitigation is warranted.

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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### 3.9 Historic, Archaeological and Cultural Resources

The subject property is vacant; there are no structures. According to the City and County of Honolulu, Department of Planning and Permitting's geographic information system, the property record lists a "1918 detached dwelling". According to the owner's family, the property supposedly contained at one time a small structure adjacent to Round Top Drive that was used in the early 1900's perhaps as a horse shed or a place to stop for horse-drawn carts/buggies, which basically deteriorated to the point of collapsing. There is no readily visible evidence at the subject property where that structure may have been located.

The applicant's agent has spoken with the State Historic Preservation Division staff regarding the SHDP's website, which contains a list of State of Hawaii and National Historic Places. The website states that the subject property TMK: 2-5-17: 06 and 018 was the location of the "James A. Wilder Residence", which was nominated to the National Register of Historic Places in 1988. However, the National Register Form also states that the "Wilder Residence's" address is 3935 Round Top Drive, which is actually TMK: 2-5-17: 011. The Wilder Residence did not exist on the property that is the subject of this Conservation District Use Application.

The State Historic Preservation Division's staff is aware of the discrepancy on the website and the National Register Form itself, which also cites the incorrect TMK. Additionally, the date of the Wilder Residence as 1909 on the National Register Form is consistent with the City's GIS website information for TMK: 2-5-17: 011, which states there is a 1909 house on the property. Also, it would not appear feasible that a house the size and shape of the Wilder Residence, as described on the National Register Form, could have been built on the applicant's subject property given the steep slope and limited area for construction. There is no obvious physical evidence on the applicant's property that a house existed on the broad level area at the 1,410 foot elevation, which is the only feasible area within the property to build a large two-story house as described as the Wilder Residence on the Form.

The vicinity of the project site is not known for traditional cultural practices and there are no known archaeological/cultural resources on the project site. In the unlikely event that archaeological features are uncovered, all work will stop and the owner/applicant will be responsible to initiate immediate archaeological consultation will be sought with the Department

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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of Land and Natural Resources, State Historic Preservation Division in accordance with applicable regulations.

### *Potential Impacts and Mitigation Measures*

No comments were received on the Draft Environmental Assessment from the State Office of Historic Preservation. No impacts to historic or cultural resources or practices are anticipated to result from the proposed project. In the unlikely event that archaeological features are uncovered, all work will stop and immediate archaeological consultation will be sought with the Department of Land and Natural Resources, State Historic Preservation Division in accordance with applicable regulations.

### **3.10 Recreational Resources**

The proposed residence does not impact public hiking trails in the Tantalus area. Trails in the general vicinity of the project site include the Puu Ohia Trail, Crater Rim Trail, Manoa Cliff Trail, and the Puu Ohia-Pauoa Flats Trail.

### *Potential Impacts and Mitigation Measures*

It is not anticipated that the proposed residence will be visible from these public trails. The house will be screened by the existing trees and vegetation that are along the rear of the property, which faces towards the valley. Therefore, no impacts on public recreational resources are anticipated and no mitigation measures are proposed.

### **3.11 Traffic and Roadways**

Primary access to the subject property is Round Top Drive, which is approximately 2 miles beyond the Puu Ualakaa State Wayside Park. Round Top Drive, a two-lane asphalt road with no shoulder area, is owned and maintained by the City and County of Honolulu. The proposed residence will have a 12 foot wide private driveway that intersects with Round Top Drive to access the residence.

### *Potential Impacts and Mitigation Measures*

The proposed single family residence is not expected to create a significant impact to the roadway or traffic volumes. Round Top Drive and Tantalus Drive currently experience low



## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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traffic volumes and vehicular speeds are relatively low due to the winding nature of the roadways. Some short-term impacts will result from construction vehicles entering and leaving the site during construction of the proposed residence. Round Top Drive will remain open at all times and traffic delays are anticipated to be minor.

### 3.12 Wastewater

The Tantalus area is not serviced by the City and County of Honolulu wastewater system. All residences are on individual wastewater systems. The proposed residence will have a 1,250 gallon septic tank with a 400 square foot leach field system. Approximately 30 cubic yards of soil will be cut to accommodate the wastewater system. These improvements are located to the southeast of the house in a relatively level area between the 1,400 and 1,410 foot elevation as shown on Figure 3, Plot Plan. The wastewater system will meet the State Department of Health requirements and the applicable and required permits will be applied for from the State DOH.

#### *Potential Impacts and Mitigation Measures*

The proposed individual wastewater treatment system will conform to Hawaii Administrative Rules, Chapter 11-62, "Wastewater Systems" and the applicable and required permits will be applied for from the State DOH. The proposed treatment system is not expected to result in any adverse impacts.

### 3.13 Potable Water

The subject property is not serviced by the City and County of Honolulu's Board of Water Supply. Typically, residences in the Tantalus area have water-catchment systems. The proposed single family residence's roofed areas will be used to divert and catch rainfall for the residence's domestic water supply. Runoff from non-permeable surfaces will be directed into two 10,000 gallons in-ground cisterns (20,000 gallons total).

#### *Potential Impacts and Mitigation Measures*

No adverse impacts are anticipated to result from the proposed water-catchment and cistern storage system due to the fact there is no municipal water service in this area. No mitigation is required.

**FINAL ENVIRONMENTAL ASSESSMENT**

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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**3.14 Solid Waste**

The Tantalus area is serviced by the City and County of Honolulu's solid waste collection system.

*Potential Impacts and Mitigation Measures*

No adverse impacts are anticipated to result from one additional single family residence. No mitigation measures are proposed.

**3.15 Police, Emergency and Fire Protection Services**

The Tantalus area is serviced by the Honolulu Police Department's District #1 Patrol. The City Fire Department's Station #3 Makiki Station located at 1202 Wilder Avenue provides fire protection services. (personal communications)

*Potential Impacts and Mitigation Measures*

During the building permit process, the applicant will develop a fire protection plan that will be approved by the appropriate agencies prior to issuing the building permit. The proposed design has a sprinkler system that will use water from the 20,000 gallon in-ground cisterns. The system will be designed to meet the Fire Department's standards for fire fighting.

**3.16 Electrical and Communication Services**

Hawaiian Electric Company provides electrical power to the Tantalus neighborhoods via overhead lines. Telephone service is provided by Hawaiian Telcom. Cable television service is provided by Oceanic Cable. The proposed single family residence will connect to these overhead services where they follow Round Top Drive.

*Potential Impacts and Mitigation Measures*

The proposed single family residence will not create any adverse impacts by connecting with the existing electrical and communication facilities.

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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### 4. PERMITS REQUIRED

The proposed construction of a single family residence in the Conservation District, Resource Subzone requires the applicant to obtain approval for a Conservation District Use Permit from the State of Hawaii, Board of Land and Natural Resources. If the CDUP is approved, the applicant will need to apply to the City and County of Honolulu for the necessary building permits and to the State Department of Health for permits related to the proposed wastewater and potable water systems.

### 5. AGENCIES AND ORGANIZATIONS CONSULTED

#### 5.1 Agencies and Organizations Consulted in preparation of the Draft EA

##### State of Hawaii

- State Department of Accounting & General Services
  - Survey Division
- State Department of Land and Natural Resources
  - Bureau of Conveyances
  - Division of Forestry and Wildlife
  - Historic Preservation Division
  - Office of Conservation and Coastal Lands
- State Office of Environmental Quality Control

##### City and County of Honolulu

- Department of Planning and Permitting
- Honolulu Fire Department
- Honolulu Police Department

#### 5.2 Comment Letters received on the Draft EA

The following parties were mailed a copy of the Draft EA and were requested to review and comment on the Draft EA on or before the comment period deadline of January 7, 2006. All comment letters and response letters are included in Appendix A.

**FINAL ENVIRONMENTAL ASSESSMENT**

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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	Comment	Response
<u>DRAFT EA SENT TO</u>	Letter	Letter
<u>State of Hawaii</u>		
Department of Health	No	No
Department of Land and Natural Resources		
- Division of Conservation and Resource Enforcement	Yes	Yes
- Division of Engineering	Yes	Yes
- Division of Forestry and Wildlife	Yes	Yes
- Historic Preservation Division	No	No
- Oahu District Land Office	Yes	Yes
- Office of Conservation and Coastal Lands	No	No
Office of Environmental Quality Control	Yes	Yes
Office of Hawaiian Affairs	Yes	Yes
<u>City and County of Honolulu</u>		
Department of Planning and Permitting	No	No
<u>Others</u>		
Makiki/Punchbowl/Tantalus Neighborhood Board	No	No
Tantalus Community Association	No	No
<u>Library Copy Sent To</u>		
Hawaii State Library		

**FINAL ENVIRONMENTAL ASSESSMENT**

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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<b><u>DRAFT EA SENT TO</u></b>	<b>Comment Letter</b>	<b>Response Letter</b>
<b><u>State of Hawaii</u></b>		
Department of Health	No	No
Department of Land and Natural Resources		
- Division of Conservation and Resource Enforcement	Yes	Yes
- Division of Engineering	Yes	Yes
- Division of Forestry and Wildlife	Yes	Yes
- Historic Preservation Division	No	No
- Oahu District Land Office	Yes	Yes
- Office of Conservation and Coastal Lands	No	No
Office of Environmental Quality Control	Yes	Yes
Office of Hawaiian Affairs	Yes	Yes
<b><u>City and County of Honolulu</u></b>		
Department of Planning and Permitting	No	No
<b><u>Others</u></b>		
Makiki/Punchbowl/Tantalus Neighborhood Board	No	No
Tantalus Community Association	No	No
<b><u>Library Copy Sent To</u></b>		
Hawaii State Library		

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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### **6. FINDINGS AND REASONS SUPPORTING THE ANTICIPATED DETERMINATION**

Chapter 200 of Title 11, Administrative Rules of the State Department of Health establishes criteria for determining whether an action may have a significant impact on the environment (11-220-12). The Rules establish "significance criteria" for making the determination. The relationship of the proposed project to the thirteen criteria is provided below.

#### **6.1 Significance Criteria**

**1. Involves an irrevocable commitment to loss or destruction of any natural or cultural resource;**

The proposed construction of the single family residence will not result in the loss or destruction of natural or cultural resources. The design goal of the proposed residence is to create minimal disturbance and to have the house blend in with the natural surroundings. While some trees must be removed where the house is to be constructed, a number of mature trees, including koa, will remain. New shrubs and ground cover will be planted to blend in with the "wild growth" appearance of the site. The site does not contain any known or rare plants or animal species or archeological sites on the subject property. Over 85% of the site will remain undisturbed.

**2. Curtails the range of beneficial uses of the environment;**

The proposed single family residence is an identified use in the conservation district's Resource Subzone. Over 85% of the site will remain undisturbed. The proposed residence does not curtail the beneficial uses of the environment.

**3. Conflicts with the state's long-term environmental policies or goals and guidelines as expressed in chapter 344, HRS, and any revisions thereof and amendments thereto, court decisions, or executive orders;**

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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The proposed single family residence has been designed in conformance with Chapter 343, HRS's environmental policies and guidelines. The objective is to create minimal disturbance to the property with a design that is sensitive to the natural surroundings.

4. **Substantially affects the economic welfare, social welfare, and cultural practices of the community or State;**

The proposed single family residence is relatively minor in scope and scale. It is not anticipated to impact the economy or social welfare or cultural practices of the community or State.

5. **Substantially affects public health;**

The proposed project will obtain the necessary permits from the State Department of Health (DOH) for the wastewater and potable water systems. Other factors such as air quality, noise levels and water quality may experience only short-term impacts related to construction. Construction impacts will be mitigated by following the appropriate DOH regulations.

6. **Involves substantial secondary impacts, such as population changes or effects on public facilities;**

The proposed project is not anticipated to create significant secondary impacts such as population changes or effects on public facilities.

7. **Involves a substantial degradation of environmental quality;**

The proposed single family residence will not result in or contribute to degradation of environmental quality. Mitigation measures during construction will be implemented to minimize short-term construction-related impacts to air quality, noise levels and water quality and by following the appropriate DOH regulations regarding construction practices.

**FINAL ENVIRONMENTAL ASSESSMENT**

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

---

8. **Is individually limited but cumulatively has considerable effect upon the environment or involves a commitment for larger actions;**

There is no commitment for larger actions. Only one (1) single family residence is proposed to be constructed over the two parcels.

9. **Substantially affects a rare, threatened, or endangered species, or its habitat;**

There are no known rare, threatened or endangered species or their habitats located on the subject property.

10. **Detrimentially affects air or water quality or ambient noise levels;**

Mitigation measures during construction will be implemented to minimize short-term construction-related impacts to air quality, noise levels and water quality and by following the appropriate DOH regulations regarding construction practices. After the project has been constructed, air, noise and water quality level are expected to return to levels currently experience in the project vicinity.

11. **Affects or is likely to suffer damage by being located in an environmentally sensitive area such as a flood plain, tsunami zone, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters;**

The subject property is not located near coastal waters and the site's topography is unlikely to be affected by flooding. The residence will be constructed according to applicable building codes. The project site is unlikely to be affected by natural forces such as flooding, earthquakes or hurricanes.

12. **Substantially affects scenic vistas and view planes identified in county or state plans or studies;**

Identified important views would be from public places in Honolulu and Waikiki looking towards the Koolau Mountain Range. It is anticipated that the house will not be visible from Round Top Drive or any identified scenic vistas or view planes. The house will be



## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

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screened by existing dense vegetation and trees. The proposed residence will be set back 90-100 feet away from Round Top Drive and will be 50 feet higher in elevation than the street level. Other Tantalus residences in the vicinity will retain their views; the proposed house will not impact those views. The ridge opposite the subject property is not accessible to the public so public views are not impacted. The construction of the proposed residence will meet the applicable conditions of the property's deeds' regarding view easements.

### 13. Requires substantial energy consumption.

Short-term energy consumption will take place during construction. Long-term energy consumption associated with occupancy of the residence is not anticipated to be significant.

### 6.2 Findings and Reasons Supporting Anticipated Determination

The findings of this Environmental Assessment indicate that construction of the proposed single family residence will not have a significant environmental impact. It is expected that an Environmental Impact Statement (EIS) will not be required, and that a Finding of No Significant Impact (FONSI) will be issued for the proposed action.

## FINAL ENVIRONMENTAL ASSESSMENT

Proposed Single Family Residence - Round Top Drive, Honolulu, HI TMK: 2-5-017: 006 and 018

---

### 7. REFERENCES

City and County of Honolulu, Department of Planning & Permitting, Geographic Information Systems on-line database at <http://.gis.hicentral.com>.

City and County of Honolulu, *Land Use Ordinance*, April 2003.

Cox, James, Designer, Plot Plan and Elevations and Details for Wendla Liljestrand Residence, 2005.

Hawaii Revised Statues, Chapter 343.

Hawaii Administrative Rules, Chapter 13-5.

State of Hawaii, Department of Land and Natural Resources, Bureau of Conveyances Library

University of Hawaii Press, Atlas of Hawaii Third Edition, 1998.

U.S. Department of Agriculture, Soil Conservation Service in cooperation with the University of Hawaii Agriculture Experiment Station. Soil Survey of Kauai, Oahu, Maui, Molokai and Lanai, State of Hawaii. August 1972.

U.S. Federal Emergency Management Agency (FIRM), FIRM Flood Insurance Rate Maps

# Appendix A

LINDA LINGLE  
GOVERNOR OF HAWAII



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
OFFICE OF CONSERVATION AND COASTAL LANDS  
POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

PETER T. YOUNG  
CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT

ROBERT K. MASUDA  
DEPUTY DIRECTOR - LAND

DEAN HAKANO  
ACTING DEPUTY DIRECTOR - WATER

AQUATIC RESOURCES  
BOATING AND OCEAN RECREATION  
BUREAU OF CONVEYANCES  
COMMISSION ON WATER RESOURCE MANAGEMENT  
CONSERVATION AND COASTAL LANDS  
CONSERVATION AND RESOURCES ENFORCEMENT  
ENGINEERING  
FORESTRY AND WILDLIFE  
HISTORIC PRESERVATION  
KAHOOLAWE ISLAND RESERVE COMMISSION  
LAND  
STATE PARKS

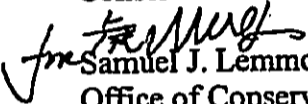
REF:OCCL:TM

File No.: OA 3271

Acceptance Date: November 14, 2005  
180-Day Expiration Date: May 13, 2006  
SUSPENSE DATE: 21 Days from  
stamped date NOV 25 2005

**MEMORANDUM:**

TO: The Department of Land and Natural Resources Divisions of: Historic Preservation; Engineering; Oahu District Land Office; Forestry and Wildlife; and Conservation and Resource Enforcement

FROM:  Samuel J. Lemmo, Administrator  
Office of Conservation and Coastal Lands

SUBJECT: REQUEST FOR COMMENTS  
Conservation District Use Application OA-3271  
BOARD PERMIT  
Single Family Residence

APPLICANT: Mary O'Leary of Land Planning Consultants for  
Wendla Liljestrand

TMKs: (1) 2-5-17:006 & 018

LOCATION: Tantalus, Oahu

PUBLIC HEARING: YES NO X

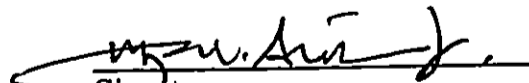
Please contact Tiger Mills at 587-0382, should you have any questions on this matter.

If no response is received by the suspense date, we will assume there are no comments. The suspense date starts from the date stamp.

( ) Comments Attached

(X) No Comments

Attachment(s)

  
Signature

NOV 25 2005  
RECEIVED  
OFFICE OF CONSERVATION AND COASTAL LANDS  
HONOLULU, HAWAII

DAHLI TDCARF.

DOCARE-18

DOCARE-18

File Number

3271-OA

Applicant

WENDLA LIJESTRAND

Contact

MARY O'LEARY, LAND PLANNING CONSULTANTS, 223-7868

Location

TMK: (1) 2-5-017-006 & 008 TANTALUS, OAHU

Project Summary

SINGLE FAMILY RESIDENCE

Project Description

APPLICANT IS PROPOSING THE CONSTRUCTION OF A TWO-STORY RESIDENCE ON TWO ADJOINING PARCELS. THE SITING OF THE HOME IS ACROSS THE ADJOINING PROPERTY LINE DUE TO THE SLOPE AND TOPOGRAPHY OF THE SUBJECT AREA. OTHER IMPROVEMENTS INCLUDE A DRIVEWAY, A SEPTIC SYSTEM/LEECH FIELD AND TWO 10,000 GALLON CISTERNS.

Branch Assigned

OAHU

Date Referred

11/30/2005

Date Due

12/12/2005

Instructions

REVIEW THE ATTACHED APPLICATION AND COMMENT WITH RESPECT TO DOCARE'S CURRENT AND FUTURE PROGRAMS. NO SITE INSPECTION IS NEEDED. IF NO RESPONSE IS RECEIVED, LAND DIVISION WILL ASSUME THAT THERE ARE NO COMMENTS

Branch Report Number

06-0711-01A

Officer Assigned

NAPOLEON V. ABUJAWAR, JR.

Date Assigned

12-16-05

Date of Inspection

Has Work Been Initiated

Yes

No

Describe

NO COMMENT

Were Any Discrepancies Noted

Yes

No

Remarks

Is Approval Recommended

Yes

No

Notes

Final Disposition



Land Planning Consultants LLC  
Mary O'Leary, AICP

---

February 2, 2006

Mr. Napoleon V. Aguiar Jr.  
Department of Land and Natural Resources  
Division of Conservation and Resource Enforcement (DOCARE)  
1151 Punchbowl Street, Room 220  
Honolulu, HI 96813

**Subject: Wendla Liljestrand Single Family Residence  
Located at Tantalus, Island of Oahu, Hawaii  
TMK 2-5-017: 006 and 018  
Conservation District Use Application OA-3271**

Dear Mr. Aguiar:

We have received a copy of the response from your office. Thank you for your participation. We acknowledge that your office has no comments on the proposed project.

A copy of your letter and this letter will appear in the Final Environmental Assessment. Please contact me at 223-7868 if you have any questions.

Sincerely,

Mary O'Leary, AICP  
President

LINDA LINGLE  
GOVERNOR OF HAWAII



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
OFFICE OF CONSERVATION AND COASTAL LANDS  
POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

PETER T. YOUNG  
CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT

ROBERT K. MASUDA  
DEPUTY DIRECTOR - LAND

DEAN NAKANO  
ACTING DEPUTY DIRECTOR - WATER

AQUATIC RESOURCES  
BOATING AND OCEAN RECREATION  
BUREAU OF CONVEYANCES  
COMMISSION ON WATER RESOURCE MANAGEMENT  
CONSERVATION AND COASTAL LANDS  
CONSERVATION AND RESOURCES ENFORCEMENT  
ENGINEERING

FORESTRY AND WILDLIFE  
HISTORIC PRESERVATION  
KAHOOLAWE ISLAND RESERVE COMMISSION  
LAND  
STATE PARKS

REF:OCCL:TM

File No.: OA 3271  
Acceptance Date: November 14, 2005  
180-Day Expiration Date: May 13, 2006  
SUSPENSE DATE: 21 Days from  
stamped date NOV 25 2005

**MEMORANDUM:**

TO: The Department of Land and Natural Resources Divisions of: Historic Preservation; Engineering; Oahu District Land Office; Forestry and Wildlife; and Conservation and Resource Enforcement

FROM: *Samuel J. Lemmo*  
Samuel J. Lemmo, Administrator  
Office of Conservation and Coastal Lands

SUBJECT: REQUEST FOR COMMENTS  
Conservation District Use Application OA-3271  
BOARD PERMIT  
Single Family Residence

APPLICANT: Mary O'Leary of Land Planning Consultants for Wendla Liljestrand

TMKs: (1) 2-5-17:006 & 018

LOCATION: Tantalus, Oahu

PUBLIC HEARING: YES NO X

Please contact Tiger Mills at 587-0382, should you have any questions on this matter.

If no response is received by the suspense date, we will assume there are no comments. The suspense date starts from the date stamp.

Comments Attached

No Comments

Attachment(s)

*C. T. Harris*  
Signature

RECEIVED  
OFFICE OF CONSERVATION AND COASTAL LANDS  
2005 DEC -5 P 12: 37

DEPARTMENT OF LAND AND NATURAL RESOURCES  
ENGINEERING DIVISION

REF.:OCCL:TM  
CDUA:OA-3271  
Oahu.510

COMMENTS

- ( ) We confirm that the project site, according to the Flood Insurance Rate Map (FIRM), is located in Flood Zone \_\_\_\_.
- (X) Please take note that the project site, according to the Flood Insurance Rate Map (FIRM), is located in Flood Zone X. The National Flood Insurance Program does not have any regulations for developments within Zone X.
- ( ) Please note that the correct Flood Zone Designation for the project site according to the Flood Insurance Rate Map (FIRM) is \_\_\_\_.
- ( ) Please note that the project must comply with the rules and regulations of the National Flood Insurance Program (NFIP) presented in Title 44 of the Code of Federal Regulations (44CFR), whenever development within a Special Flood Hazard Area is undertaken. If there are any questions, please contact the State NFIP Coordinator, Ms. Carol Tyau-Beam, of the Department of Land and Natural Resources, Engineering Division at (808) 587-0267.

Please be advised that 44CFR indicates the minimum standards set forth by the NFIP. Your Community's local flood ordinance may prove to be more restrictive and thus take precedence over the minimum NFIP standards. If there are questions regarding the local flood ordinances, please contact the applicable County NFIP Coordinators below:

- ( ) Mr. Robert Sumimoto at (808) 523-4254 or Mr. Mario Siu Li at (808) 523-4247 of the City and County of Honolulu, Department of Planning and Permitting.
  - ( ) Mr. Kelly Gomes at (808) 961-8327 (Hilo) or Mr. Kiran Emler at (808) 327-3530 (Kona) of the County of Hawaii, Department of Public Works.
  - ( ) Mr. Francis Cerizo at (808) 270-7771 of the County of Maui, Department of Planning.
  - ( ) Mr. Mario Antonio at (808) 241-6620 of the County of Kauai, Department of Public Works.
- ( ) The applicant should include project water demands and infrastructure required to meet water demands. Please note that the implementation of any State-sponsored projects requiring water service from the Honolulu Board of Water Supply system must first obtain water allocation credits from the Engineering Division before it can receive a building permit and/or water meter.
  - ( ) The applicant should provide the water demands and calculations to the Engineering Division so it can be included in the State Water Projects Plan Update.
  - ( ) Additional Comments: \_\_\_\_\_  
\_\_\_\_\_
  - ( ) Other: \_\_\_\_\_  
\_\_\_\_\_

Should you have any questions, please call Mr. Andrew Monden of the Planning Branch at 587-0229.

Signed:   
ERIC T. HIRANO, CHIEF ENGINEER

Date: 11/29/05





Land Planning Consultants LLC  
Mary O'Leary, AICP

---

February 2, 2006

Mr. Eric T. Hirano, Chief Engineer  
Department of Land and Natural Resources  
Engineering Division  
1151 Punchbowl Street, Room 221  
Honolulu, HI 96813

**Subject: Wendla Liljestrand Single Family Residence  
Located at Tantalus, Island of Oahu, Hawaii  
TMK 2-5-017: 006 and 018  
Conservation District Use Application OA-3271**

Dear Mr. Hirano:

We have received a copy of the November 29, 2005 letter from your office. Thank you for your participation. We acknowledge that your office indicates that the site, per the Flood Insurance Rate Map (FIRM), is located in Flood Zone X, and that the National Flood Insurance Program does not have any regulations for development within Zone X.

A copy of your letter and this letter will appear in the Final Environmental Assessment. Please contact me at 223-7868 if you have any questions.

Sincerely,

Mary O'Leary, AICP  
President

LINDA LINGLE  
GOVERNOR OF HAWAII



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
OFFICE OF CONSERVATION AND COASTAL LANDS  
POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

PETER T. YOUNG  
CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT  
  
ROBERT K. MASUDA  
DEPUTY DIRECTOR - LAND  
  
DEAN NAKANO  
ACTING DEPUTY DIRECTOR - WATER  
  
AQUATIC RESOURCES  
BOATING AND OCEAN RECREATION  
BUREAU OF CONVEYANCES  
COMMISSION ON WATER RESOURCE MANAGEMENT  
CONSERVATION AND COASTAL LANDS  
CONSERVATION AND RESOURCES ENFORCEMENT  
ENGINEERING  
FORESTRY AND WILDLIFE  
HISTORIC PRESERVATION  
KAHOOLAWE ISLAND RESERVE COMMISSION  
LAND  
STATE PARKS

REF:OCCL:TM

File No.: OA 3271  
Acceptance Date: November 14, 2005  
180-Day Expiration Date: May 13, 2006  
SUSPENSE DATE: 21 Days from  
stamped date NOV 25 2005

**MEMORANDUM:**

TO: The Department of Land and Natural Resources Divisions of: Historic Preservation; Engineering; Oahu District Land Office; Forestry and Wildlife; and Conservation and Resource Enforcement

FROM: *Samuel J. Lemmo*  
Samuel J. Lemmo, Administrator  
Office of Conservation and Coastal Lands

SUBJECT: REQUEST FOR COMMENTS  
Conservation District Use Application OA-3271  
BOARD PERMIT  
Single Family Residence

APPLICANT: Mary O'Leary of Land Planning Consultants for  
Wendla Liljestrand

TMKs: (1) 2-5-17:006 & 018

LOCATION: Tantalus, Oahu

PUBLIC HEARING: YES NO X

Please contact Tiger Mills at 587-0382, should you have any questions on this matter.

If no response is received by the suspense date, we will assume there are no comments. The suspense date starts from the date stamp.

( ) Comments Attached

(X) No Comments

Attachment(s)

*Paul J. Conry*  
Signature  
PAUL J. CONRY, ADMINISTRATOR  
DIVISION OF FORESTRY AND WILDLIFE  
NOV 28 2005

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RECEIVED  
DIVISION



**Land Planning Consultants LLC**

Mary O'Leary, AICP

---

February 2, 2006

Mr. Paul J. Conry, Administrator  
Department of Land and Natural Resources  
Division of Forestry and Wildlife  
1151 Punchbowl Street, Room 325  
Honolulu, HI 96813

**Subject: Wendla Liljestrand Single Family Residence  
Located at Tantalus, Island of Oahu, Hawaii  
TMK 2-5-017: 006 and 018  
Conservation District Use Application OA-3271**

Dear Mr. Conry:

We have received a copy of the November 28, 2005 response from your office. Thank you for your participation. We acknowledge that your office has no comments on the proposed project.

A copy of your letter and this letter will appear in the Final Environmental Assessment. Please contact me at 223-7868 if you have any questions.

Sincerely,

Mary O'Leary, AICP  
President

LINDA LINGLE  
GOVERNOR OF HAWAII



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
OFFICE OF CONSERVATION AND COASTAL LANDS  
POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

RECEIVED  
OFFICE OF CONSERVATION AND COASTAL LANDS  
2005 DEC -7 P 1:42  
PETER T. YOUNG  
CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT  
ROBERT K. MASUDA  
DEPUTY DIRECTOR - LAND  
DEAN NAKANO  
ACTING DEPUTY DIRECTOR - WATER  
AQUATIC RESOURCES  
BOATING AND OCEAN RECREATION  
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ENGINEERING  
FORESTRY AND WILDLIFE  
HISTORIC PRESERVATION  
KAHOOLAWE ISLAND RESERVE COMMISSION  
LAND  
STATE PARKS

REF:OCCL:TM

File No.: OA 3271  
Acceptance Date: November 14, 2005  
180-Day Expiration Date: May 13, 2006  
SUSPENSE DATE: 21 Days from  
stamped date NOV 25 2005

**MEMORANDUM:**

TO: The Department of Land and Natural Resources Divisions of: Historic Preservation; Engineering; Oahu District Land Office; Forestry and Wildlife; and Conservation and Resource Enforcement

FROM: *Samuel J. Lemmo*  
Samuel J. Lemmo, Administrator  
Office of Conservation and Coastal Lands

SUBJECT: REQUEST FOR COMMENTS  
Conservation District Use Application OA-3271  
BOARD PERMIT  
Single Family Residence

APPLICANT: Mary O'Leary of Land Planning Consultants for Wendla Liljestrand

TMKs: (1) 2-5-17:006 & 018

LOCATION: Tantalus, Oahu

PUBLIC HEARING: YES NO X

RECEIVED  
LAND DIVISION  
2005 NOV 25 P 3:15  
DEPT. OF LAND & NATURAL RESOURCES  
STATE OF HAWAII

Please contact Tiger Mills at 587-0382, should you have any questions on this matter.

If no response is received by the suspense date, we will assume there are no comments. The suspense date starts from the date stamp.

( ) Comments Attached

() No Comments

Attachment(s)

*Cecil Santos*  
Signature  
OAHU DISTRICT LAND AGENT  
BY



Land Planning Consultants LLC  
Mary O'Leary, AICP

---

February 2, 2006

Mr. Cecil Santos  
Department of Land and Natural Resources  
Oahu District Land Agent  
1151 Punchbowl Street, Room 220  
Honolulu, HI 96813

**Subject: Wendla Liljestrand Single Family Residence  
Located at Tantalus, Island of Oahu, Hawaii  
TMK 2-5-017: 006 and 018  
Conservation District Use Application OA-3271**

Dear Mr. Santos:

We have received a copy of the response from your office. Thank you for your participation. We acknowledge that your office has no comments on the proposed project.

A copy of your letter and this letter will appear in the Final Environmental Assessment. Please contact me at 223-7868 if you have any questions.

Sincerely,

Mary O'Leary, AICP  
President

LINDA LINGLE  
GOVERNOR OF HAWAII



GENEVIEVE SALMONSON  
DIRECTOR

STATE OF HAWAII  
OFFICE OF ENVIRONMENTAL QUALITY CONTROL

235 SOUTH BERETANIA STREET  
SUITE 702  
HONOLULU, HAWAII 96813  
TELEPHONE (808) 586-4185  
FACSIMILE (808) 586-4186  
E-mail: oeqc@health.state.hi.us

January 6, 2006

Ms. Wendla Liljestrand  
3935 Round Top Drive  
Honolulu, Hawai'i 96822

Mr. Samuel J. Lemmo, Administrator  
Office of Conservation and Coastal Lands  
State of Hawai'i - Department of Land and Natural Resources  
1151 Punchbowl Street, Suite 131  
Honolulu, Hawai'i 96713

Ms. Mary O'Leary, AICP, President  
Land Planning Consultants, LLC  
3123 East Manoa Road  
Honolulu, Hawai'i 96822

RECEIVED  
OFFICE OF CONSERVATION  
& COASTAL RESOURCES  
2006 JAN -9 A 10: 20  
DEPT. OF LAND &  
NATURAL RESOURCES

Dear Mesdames Liljestrand, O'Leary and Mr. Lemmo:

The Office of Environmental Quality Control has reviewed the draft environmental assessment for the Proposed Liljestrand Single Family Residence, Tax Map Key (1<sup>st</sup>) 2-5-17, parcels 6 and 18, situated in the judicial district of Honolulu. We offer the following comments for your consideration and response.

1. **First Floor Deck:** On page 13 of the draft environmental assessment, under "FIRST FLOOR/LEVEL 1," the summary area for the first floor (living area, garage area and deck area) is 1,262 square feet that is inclusive of a purported deck area of zero square feet. Figure 9, front elevation shows what appears to be an enclosed first floor deck. When one compares the Figure 7 (Second Floor Plan) where a deck area of 14 feet by 22 feet is shown, with Figure 6 (First Floor Plan) with the notation "deck above," there seems to be a discrepancy with respect to the area of the first floor deck. We believe that following this line of reasoning, the first floor deck is not zero square feet, but a minimum of 14 feet by 22 feet, and that the data on square footage found on pages 13 and 14 of the draft environmental assessment should be revised to reflect this increase in total floor area for the proposed single family residence.

2. **Landscaping with Native and Indigenous Plants:** Please consider landscaping with native and indigenous xerophagic (drought-tolerant) plants appropriate to the area. New vegetation should be cleared with the Department of Land and Natural Resources to ensure that such vegetation is both non-decorative and non-invasive. Please refer to our Internet website at <http://www.state.hi.us/health/oeqc/index.html> for more information.

Thank you for the opportunity to comment. If there are any questions, or if you would like to discuss this matter further, please call Mr. Leslie Segundo, Environmental Health Specialist, at (808) 586-4185.

Sincerely,

Handwritten signature of Genevieve Salmonson in cursive.  
GENEVIEVE SALMONSON  
Director



Land Planning Consultants LLC  
Mary O'Leary, AICP

February 2, 2006

Ms. Genevieve Salmonson, Director  
State Office of Environmental Quality Control  
235 South Beretania Street, Suite 702  
Honolulu, HI 96813

**Subject: Wendla Liljestrand Single Family Residence  
Located at Tantalus, Island of Oahu, Hawaii  
TMK 2-5-017: 006 and 018  
Conservation District Use Application OA-3271**

Dear Ms. Salmonson:

We have received a copy of the January 6, 2006 letter from your office. This letter responds to your office's comments provided on the Draft Environmental Assessment for the subject project.

- 1. First Floor Deck.**  
All deck area on the First Floor is 4-feet wide or less. The deck on the First Floor surrounds only three sides of the west wing and connects the west side to the east side. There is no deck surrounding the east side of the First Floor. Please see Figure 5 in the Draft EA, a photograph of a model of the house, which illustrates that the First Floor has only very limited deck area.

**Figure 9**

Please see Figure 5 which illustrates that the First Floor deck is open; it is not enclosed. The Front Elevation in Figure 9 shows the railing material drawn against a backdrop of the house siding material. The 4-foot wide deck is open and is not enclosed.

**Figure 6**

Figure 6 has a notation "deck above". This refers to the deck on the Second Floor. Figure 6 in the Final EA will be shaded to show the location of the First Floor deck, which does not exceed 4 feet in width.

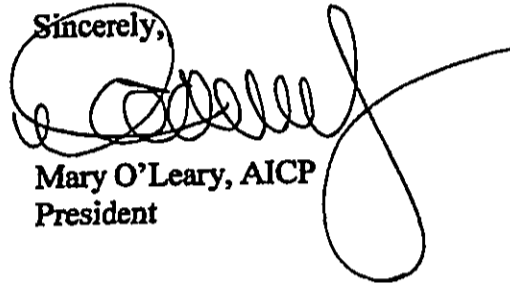
3123 East Manoa Road ☐ Honolulu, HI 96822 ☐ (808) 223-7868 ☐ maryoleary@aloha.net

Letter to OEQC  
RE: Wendla Liljestrands Tantalus Residence  
Draft Environmental Assessment  
January 25, 2006  
Page 2 of 2

2. **Landscaping with Native and Indigenous Plants.** The proposed project intends to retain as much of the existing lush vegetation, plants and trees as possible. The Tantalus area receives a significant amount of annual rainfall; over 100 inches per year. The owner will consider landscaping with native and indigenous plants that are drought-tolerant and those that are appropriate to the relatively wet climate of Tantalus. New landscaping materials will be coordinated with the Department of Land and Natural Resources as required.

If you have any questions, please contact me at 223-7868.

Sincerely,



Mary O'Leary, AICP  
President



PHONE (808) 594-1888

FAX (808) 594-1865



STATE OF HAWAII  
OFFICE OF HAWAIIAN AFFAIRS  
711 KAPI'OLANI BOULEVARD, SUITE 500  
HONOLULU, HAWAII 96813

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HRD05/2145

December 8, 2005

Samuel Lemmo  
Department of Land and Natural Resources  
Office of Conservation and Coastal Lands  
P.O. Box 621  
Honolulu, HI 96809

**RE: Conservation District Use Application and Draft Environmental Assessment for the Proposed Construction of the Liljestrand Residence, Honolulu, O'ahu, TMK (1) 2-5-17: 006&18.**

Dear Mr. Lemmo,

The Office of Hawaiian Affairs (OHA) is in receipt of your November 25, 2005 request for comment on the above listed proposed project, TMK (1) 2-5-17: 006&18. OHA offers the following comments:

Our office has no comment specific to the proposed project at this time. Thank you for your correspondence, our staff looks forward to reviewing the Final Environmental Assessment.

OHA further requests your assurances that if the project goes forward, should iwi or Native Hawaiian cultural or traditional deposits be found during ground disturbance, work will cease, and the appropriate agencies will be contacted pursuant to applicable law.

Thank you for the opportunity to comment. If you have further questions or concerns, please contact Jesse Yorck at (808) 594-0239 or [jessey@oha.org](mailto:jessey@oha.org).

'O wau iho nō,

A handwritten signature in black ink, appearing to read "Clyde W. Nāmu'o".

Clyde W. Nāmu'o  
Administrator



Land Planning Consultants LLC  
Mary O'Leary, AICP

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February 2, 2006

Mr. Clyde W. Namuo, Administrator  
State of Hawaii  
Office of Hawaiian Affairs  
711 Kapiolani Boulevard, Suite 500  
Honolulu, HI 96813

**Subject: Wendla Liljestrand Single Family Residence  
Located at Tantalus, Island of Oahu, Hawaii  
TMK 2-5-017: 006 and 018  
Conservation District Use Application OA-3271**

Dear Mr. Namuo:

We have received a copy of the December 8, 2005 letter from your office. We acknowledge that your office has no specific comments on the proposed project. Thank you for your participation. In the unlikely event that any iwi or Native Hawaiian cultural or traditional deposits are encountered, the owner will be responsible to ensure that all work stops and immediate archaeological consultation will be sought with the Department of Land and Natural Resources, State Historic Preservation Division in accordance with applicable regulations.

A copy of your letter and this letter will appear in the Final Environmental Assessment. Please contact me at 223-7868 if you have any questions.

Sincerely,

Mary O'Leary, AICP  
President

3123 East Manoa Road ■ Honolulu, HI 96822 ■ (808) 223-7868 ■ [maryoleary@aloha.net](mailto:maryoleary@aloha.net)