DAVID Y. IGE





STATE OF HAWAII DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES

P.O. BOX 119. HONOLULU, HAWAII 96810-0119

FEB 23 2018

PM-3016.8

Mr. Scott Glenn
Director
Office of Environmental Quality Control
Department of Health
State of Hawaii
235 South Beretania Street, Suite 702
Honolulu, Hawaii 96813

Dear Mr. Glenn:

Subject:

Chapter 343, Hawaii Revised Statutes, Draft Environmental Assessment for

Proposed Molokai Public Library Improvements at TMK (2)5-3-005:012 (por.),

Kaunakakai, Molokai, Hawaii

With this letter, the State of Hawaii, Department of Accounting and General Services, hereby transmits the Draft Environmental Assessment and Anticipated Finding of No Significant Impact (DEA-AFONSI) for the Proposed Molokai Public Library Improvements at Kaunakakai, Molokai, Hawaii situated at (2)5-3-005:012 (por.), in Kaunakakai on the island of Molokai for publication in the next available edition of the Environmental Notice.

Enclosed is a completed Office of Environmental Quality Control (OEQC) Publication Form, one (1) hard copy of the DEA-AFONSI, a CD containing three (3) Adobe Acrobat PDF files of the same, and an electronic copy of the publication form in MS Word. Simultaneously with this letter, we have submitted the summary of the action in a text file by electronic mail to your office.

Mr. Scott Glenn Letter No. PM-3016.8 Page 2

If there are any questions, please contact our project coordinator, Daniel Jandoc, at (808) 586-0469, or our planning consultant, Yukino Uchiyama of Munekiyo Hiraga, at (808) 983-1233.

Very truly yours

KEITH S. KOGACHI Acting Public Works Administrator

DJ/csc

Enclosures

c: Daniel Jandoc, State of Hawaii, Department of Accounting and General Services
 Tonia Moy, AIA, Fung Associates, Inc.
 Zasha Smith, Austin, Tsutsumi & Associates, Inc.
 Mark Alexander Roy, Munekiyo Hiraga

AGENCY PUBLICATION FORM

Project Name:	Proposed Moloka'i Public Library Improvements at Kaunakakai, Moloka'i, Hawai'i			
Project Short Name:	Moloka'i Library Improvements			
HRS §343-5 Trigger(s):	Use of State lands and funds, use of historic site listed in Hawai'i State Register of Historic Places			
Island(s):	Molokaʻi			
Judicial District(s):	Molokaʻi			
TMK(s):	(2)5-3-005:012 (por.)			
Permit(s)/Approval(s):	National Pollutant Discharge Elimination System General Permit (as applicable), Community Noise Permit (as applicable), Clean Air Branch Permit (as applicable), Special Management Area Use Permit, Country Town Design Review Approval, Construction Permits, Special Flood Hazard Area Development Permit (as applicable), and Landscaping Parking Plan Approval (as applicable)			
Proposing/Determining	State of Hawai'i			
Agency:	Department of Accounting and General Services			
Contact Name, Email, Daniel Jandoc				
Telephone, Address	daniel.jandoc@hawaii.gov			
	(808) 586-0400			
	Office of the Comptroller			
	Kalanimoku Building			
	1151 Punchbowl Street			
	Honolulu, HI 96813			
Accepting Authority:	(for EIS submittals only)			
Contact Name, Email,				
Telephone, Address				
Consultant: Munekiyo Hiraga				
Contact Name, Email,	ame, Email, Yukino Uchiyama			
Telephone, Address planning@munekiyohiraga.com				
	(808) 244-2015			
	305 High Street, Suite 104			
	Wailuku, Hawaiʻi 96793			

Status (select one)X DEA-AFNSI	Submittal Requirements Submit 1) the proposing agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the DEA, and 4) a searchable PDF of the DEA; a 30-day comment period follows from the date of publication in the Notice.
FEA-FONSI	Submit 1) the proposing agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEA, and 4) a searchable PDF of the FEA; no comment period follows from publication in the Notice.
FEA-EISPN	Submit 1) the proposing agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEA, and 4) a searchable PDF of the FEA; a 30-day comment period follows from the date of publication in the Notice.
Act 172-12 EISPN ("Direct to EIS")	Submit 1) the proposing agency notice of determination letter on agency letterhead and 2) this completed OEQC publication form as a Word file; no EA is required and a 30-day comment period follows from the date of publication in the Notice.
DEIS	Submit 1) a transmittal letter to the OEQC and to the accepting authority, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the DEIS, 4) a searchable PDF of the DEIS, and 5) a searchable PDF of the distribution list; a 45-day comment period follows from the date of publication in the Notice.

	February 2016 Revisio
 FEIS	Submit 1) a transmittal letter to the OEQC and to the accepting authority, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEIS, 4) a searchable PDF of the FEIS, and 5) a searchable PDF of the distribution list; no comment period follows from publication in the Notice.
 _ FEIS Acceptance Determination	The accepting authority simultaneously transmits to both the OEQC and the proposing agency a letter of its determination of acceptance or nonacceptance (pursuant to Section 11-200-23, HAR) of the FEIS; no comment period ensues upon publication in the Notice.
FEIS Statutory Acceptance	Timely statutory acceptance of the FEIS under Section 343-5(c), HRS, is not applicable to agency actions.
Supplemental EIS Determination	The accepting authority simultaneously transmits its notice to both the proposing agency and the OEQC that it has reviewed (pursuant to Section 11-200-27, HAR) the previously accepted FEIS and determines that a supplemental EIS is or is not required; no EA is required and no comment period ensues upon publication in the Notice.
 Withdrawal	Identify the specific document(s) to withdraw and explain in the project summary section.
Other	Contact the OFOC if your action is not one of the above items

Agency Publication Form

Project Summary

Office of Environmental Quality Control

Provide a description of the proposed action and purpose and need in 200 words or less.

The State of Hawai'i, Department of Accounting and General Services (DAGS) proposes to develop a new, stand-alone (approximately 1,875 square foot) building at the rear of the existing Moloka'i Public Library in Kaunakakai on Moloka'i. The Moloka'i Public Library was developed in 1937 by the State of Hawai'i and located on Ala Malama Avenue on a portion of Tax Map Key (TMK) (2)5-3-005:012. The existing library building is listed in the Hawai'i State Register of Historic Places. The purpose of the project is to provide needed space while not adversely impacting the historic character of the library in order to enhance the overall level of service that is provided to users at the library.

Pursuant to the recommendations of a 2011 Development Plan, which was prepared to evaluate existing conditions and guide ongoing inprovements at the site, as well as consultation with library staff, the new building will accommodate a workroom, staff lounge, and a new community room that can be used for various library activities as well as by the public. Further, the existing carport for a mobile library vehicle will be rebuilt at 700 square foot in order to relocate and provide more square footage to the new building.

 $K: \DATA \setminus Fung \setminus Molokai \ Library \setminus Applications \setminus Draft \ EA \setminus Publication-Form-Chapter-343-Agency_Molokai \ Library. docx$

Draft Environmental Assessment

PROPOSED MOLOKA'I PUBLIC LIBRARY IMPROVEMENTS MOLOKA'I, HAWAI'I (TMK (2)5-3-005:012 (por.))

Prepared for:

State of Hawai'i, Department of Accounting and General Services

February 2018

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Draft Environmental Assessment

PROPOSED MOLOKA'I PUBLIC LIBRARY IMPROVEMENTS MOLOKA'I, HAWAI'I

(TMK (2)5-3-005:012 (por.))

Prepared for:

State of Hawai'i, Department of Accounting and General Services

February 2018

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List of Acronyms

AFONSI Anticipated Finding of No Significant Impact

ALISH Agricultural Lands of Importance to the State of Hawai'i

AMP Archaeological Monitoring Plan ATA Austin, Tsutsumi & Associates, Inc.

BMPs Best Management Practices
CIA Cultural Impact Assessment
CRC Cultural Resources Commission
CZM Coastal Zone Management

DAGS Department of Accounting and General Services

DWS Department of Water Supply EA Environmental Assessment

FEMA Federal Emergency Management Agency

FIRM Flood Insurance Rate Map
FONSI Finding of No Significant Impact

GPD Gallons Per Day

HAR Hawai'i Administrative Rules

HCZMP Hawai'i Coastal Zone Management Program

HDOH Hawai'i Department of Health HRS Hawai'i Revised Statutes

ITE Institute of Transportation Engineers

LCA Land Commission Awards

LSB Land Study Bureau
LUC Land Use Commission
MCC Maui County Code

MECO Maui Electric Company, Ltd

MIP Maui Island Plan MmA Mala Silty Clay MSL Mean Sea Level

NPDES National Pollutant Discharge Elimination System

OEQC Office of Environmental Quality Control

OHA Office of Hawaiian Affairs

PER Preliminary Engineering Report SHPD State Historic Preservation Division

SMA Special Management Area

TA Traffic Assessment

TMK Tax Map Key

Executive Summary

Project Name:	Proposed Moloka'i Public Library Improvements
Type of Document:	Draft Environmental Assessment
Legal Authority:	Chapter 343, Hawai'i Revised Statutes
Anticipated Determination:	Anticipated Finding of No Significant Impact (AFONSI)
Applicable Environmental Assessment review "Trigger":	Use of State Lands and Funds
Location:	Island of Molokaʻi 15 Ala Malama Avenue, off of Maunaloa Highway Kaunakakai, Molokaʻi, Hawaiʻi TMK No. (2)5-3-005:012 (por.)
Proposing and Determining Agency:	State of Hawai'i, Department of Accounting and General Services 1151 Punchbowl Street Honolulu, Hawai'i 96813 Phone: (808) 586-0400
Consultant:	Munekiyo Hiraga 305 High Street, Suite 104 Wailuku, Hawai`i 96793 Contact: Mark Alexander Roy, AICP Phone: (808) 244-2015
Project Summary:	The State of Hawai'i, Department of Accounting and General Services (DAGS) proposes improvements in the existing Moloka'i Public Library, north of Maunaloa Highway in Kaunakakai Malaka'i Hawai'i The subject

General Services (DAGS) proposes improvements in the existing Moloka'i Public Library, north of Maunaloa Highway in Kaunakakai, Moloka'i, Hawai'i. The subject property is the sole public library serving the island of Moloka'i and is located on a portion of Tax Map Key (TMK) (2)5-3-005:012.

The existing library is approximately 3,666 square feet and consists of seven sections: a Lobby Area, Adult Reading Area, Children's Reading Area, Young Adult Reading Area, two (2) restrooms, Workroom and Staff Lounge, and Storage. The existing library building is listed in the Hawai'i State Register of Historic Places.

The project proposes to develop a new, single-story (approximately 1,875 square foot) building and related improvements at the rear of the Moloka'i Public Library in order to enhance the overall level of service that is provided to users of the library. The goal of the project is to provide needed space while not adversely impacting the historic character of the library. The new building will accommodate a Workroom, Staff Lounge, and a new Community Room that can be used for various library activities as well as by the public. The new building will be connected to the existing building via a breezeway.

The project is located within the County of Maui's Special Management Area (SMA). As such, an SMA Use Permit application will be submitted to the County of Maui, Department of Planning for review and approval by the Moloka'i Planning Commission.

The use of State funds and lands are triggers for the preparation of an Environmental Assessment (EA) pursuant to Chapter 343, Hawai'i Revised Statutes (HRS) and Section 11-200-6 Hawai'i Administrative Rules (HAR). As such, an EA is being prepared to evaluate the technical characteristics, environmental impacts, and alternatives, as well as to advance findings relative to the significance of the proposed project. Upon completion, the EA will serve as the primary supporting technical document for the SMA Use Permit application. The Approving Agency for the EA is DAGS.

PROJECT OVERVIEW

I. PROJECT OVERVIEW

A. PROJECT LOCATION, EXISTING USE AND OWNERSHIP

The State of Hawai'i, Department of Accounting and General Services (DAGS) proposes to develop a new, single-story (approximately 1,875 square foot) building at the rear of the existing Moloka'i Public Library (hereinafter referred to as "subject property"). The Moloka'i Public Library is located in Kaunakakai on 15 Ala Malama Avenue, off of Maunaloa Highway on an approximately 1-acre portion of Tax Map Key (TMK) (2)5-3-005:012 (Parcel 12), on the island of Moloka'i, in Hawai'i. The Moloka'i Public Library is located inland of the Maunaloa Highway in Kaunakakai Town approximately 1,400 feet away from the closest area of shoreline. See **Figure 1** and **Figure 2**.

The Moloka'i Public Library was developed in 1937 by the State of Hawai'i and is the sole public library serving the Moloka'i Island. The existing library is approximately 3,329 square feet and consists of seven (7) sections: a Lobby Area, Adult Reading Area, Children's Reading Area, Young Adult Reading Area, two (2) restrooms, Workroom and Staff Lounge, and Storage. The existing library building is listed in the Hawai'i State Register of Historic Places.

The Moloka'i Public Library is an existing permitted use and is designated as "Urban" by the State Land Use Commission, "Public/Quasi-Public" by the Moloka'i Community Plan, and "Interim" by Maui County Zoning. The project site is located within the County of Maui's Special Management Area (SMA).

B. PROJECT NEED

The DAGS and the Hawai'i State Public Library System retained Anbe, Aruga & Ishizu, Architects, Inc. in 2011 to evaluate existing conditions at the Moloka'i Public Library and prepare a Project Development Report to guide ongoing improvements at the site. See **Appendix "A"**.

According to the Project Development Report, additional square footage is needed to accommodate more library materials and to create a designated space for programs such as children's story-telling activities. Currently, there is no clear delineation between the Young Adult and the Children's Reading Area and these areas comprise a small percentage of the total library square footage. Due to the lack of a dedicated room for programs, the Young Adult and Children's Reading Areas need to be cleared and/or reconfigured to accommodate such activities. There are only two (2) existing restrooms (one (1) for men and one (1) for women), and they are shared by the general public and the library staff. It is desirable that the existing restrooms be dedicated for the general public and that the library staff be provided with their own separate restrooms.

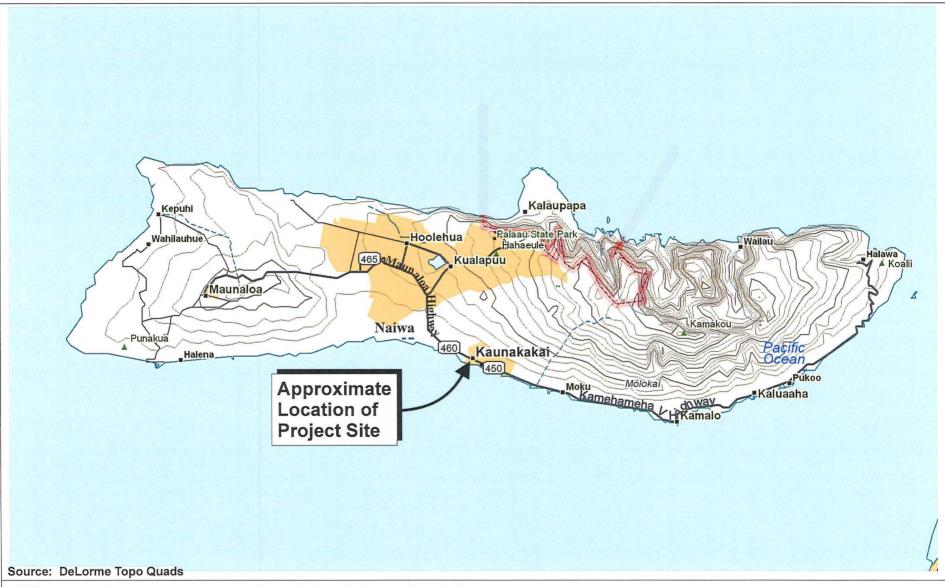


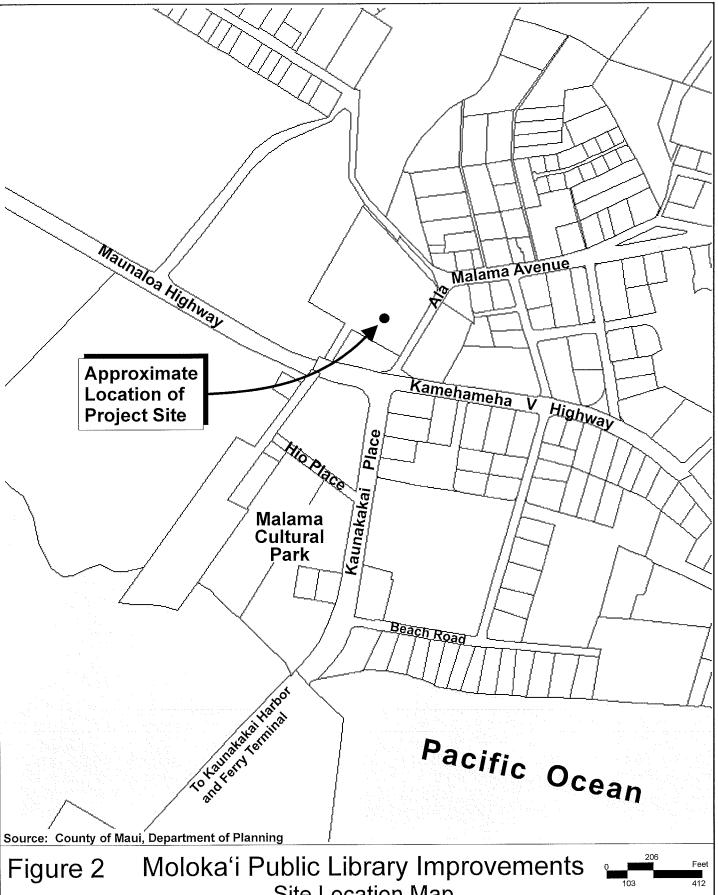
Figure 1

Moloka'i Public Library Improvements Regional Location Map

NOT TO SCALE







Site Location Map





C. PROPOSED ACTION

DAGS is proposing to develop a new, single-story (approximately 1.875 square foot) building at the rear of the existing building in order to enhance the overall level of service that is provided to users of the library (hereinafter referred to as "proposed project" or "proposed improvements"). See Figure 3. Pursuant to the recommendations of the 2011 Project Development Report, as well as consultation with library staff and Friends of the Moloka'i Public Library, a non-profit organization that supports the Moloka'i Public Library's various activities, the new building will accommodate a Workroom (Custodian Room), Staff Lounge, and a new Community Room that can be used for various library activities as well as by the public. The new building will be connected to the existing building via a breezeway. Two (2) Staff restrooms will be located in the new building. which can also be used by users of the Community Room. A new entrance with a ramp will be located at the breezeway connection between the existing and new buildings. Another ramp will be located on the north side of the new building to allow wheelchair access to the Community Room. The existing Carport for a mobile library vehicle will be rebuilt in order to relocate the structure and provide more square footage to the new library building. The new carport will be approximately 700 square foot. A grounds maintenance Storage Room and two (2) Storage Rooms for the Friends of the Moloka'i Public Library will also be provided in the new Carport. See Figure 4. In the existing building, the Children's Reading Area will be relocated to the space currently used as the Staff Workroom and Staff Lounge. The Young Adult Reading Area and the Adult Reading Area will also remain in the existing front portion of the library. The existing two (2) Restrooms will be dedicated for use by the library users. See **Appendix "B"**.

D. LAND USE ENTITLEMENTS AND REGULATORY APPROVALS

The proposed Moloka'i Public Library Improvements are located within the County of Maui's Special Management Area (SMA). As such, a SMA Use Permit application will be submitted for review and approval by the Moloka'i Planning Commission.

This proposed project will be funded by the State and will involve work on State lands. The use of State funds and lands is a trigger for the preparation of an EA pursuant to Chapter 343, HRS and Title 11, Chapter 200.

The EA will provide an analysis of potential environmental impacts associated with the library improvements. Upon completion, the EA will serve as the primary supporting technical document for the SMA Use Permit Application. The proposing and determining agency for the EA is DAGS.

The library improvements are permitted under the State Land Use District, County Zoning, and Community Plan designations. All project components will be located outside the County's maximum 150-foot shoreline setback area.

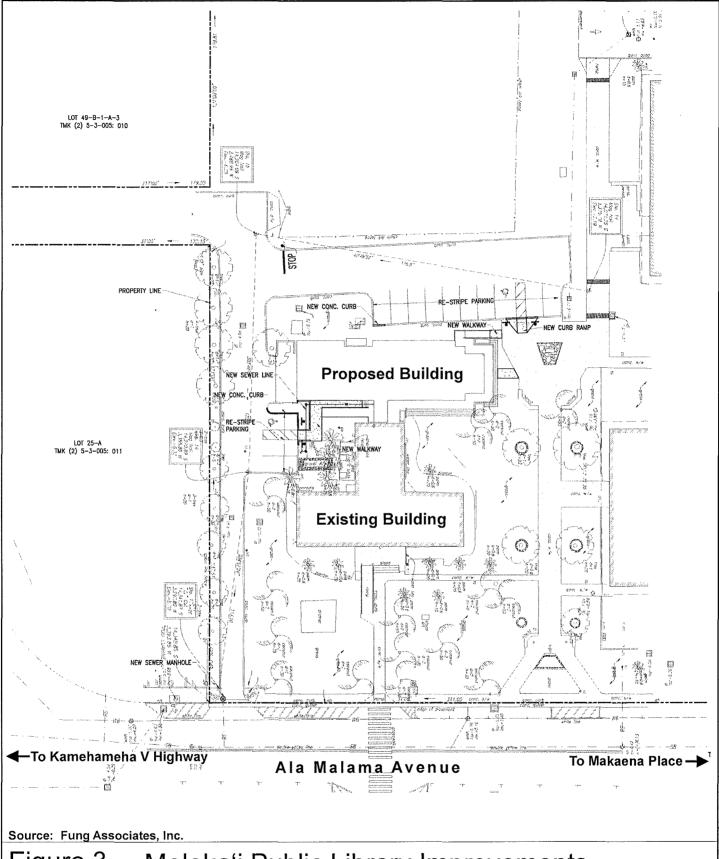


Figure 3 Moloka'i Public Library Improvements
Site Plan





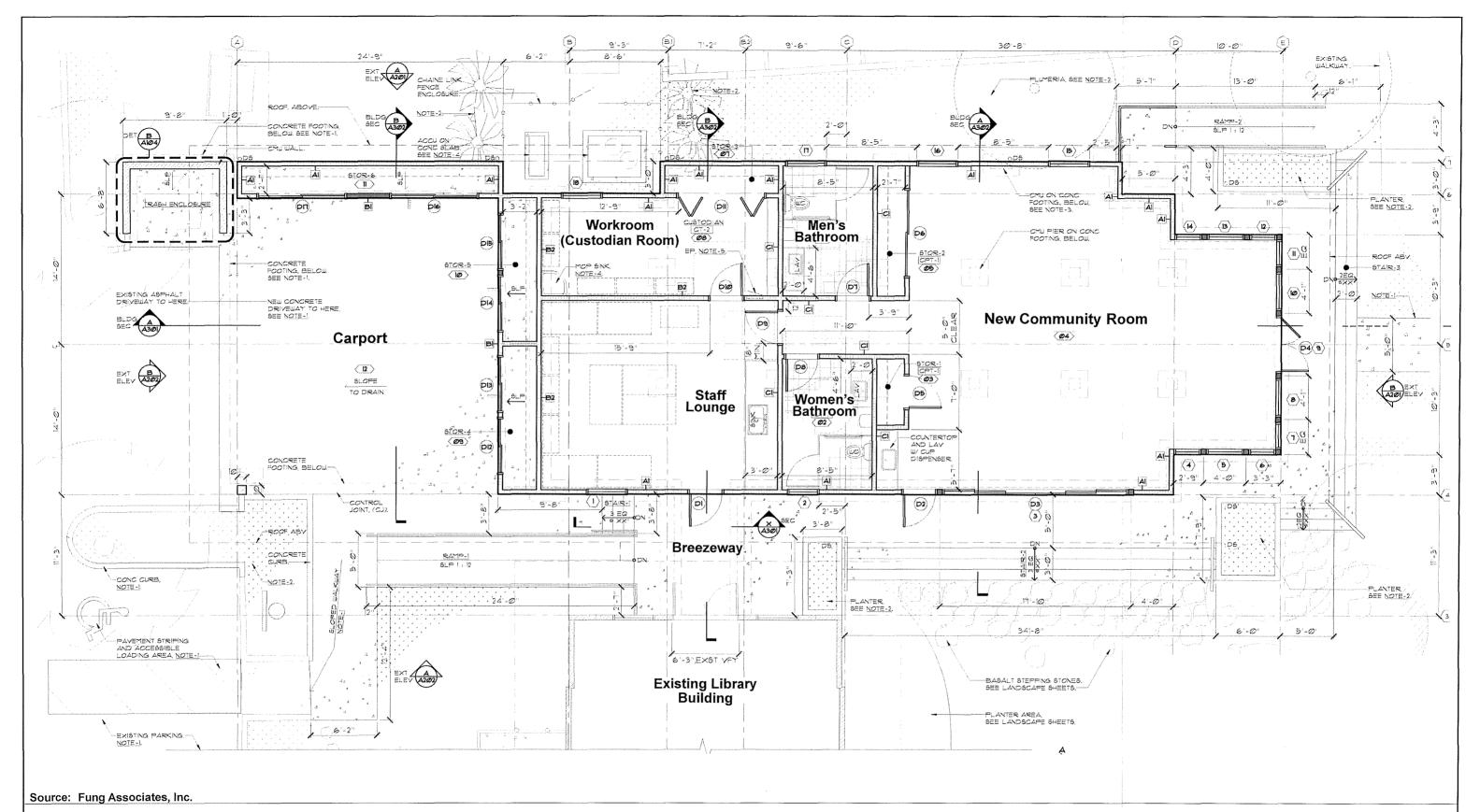


Figure 4

Proposed Moloka'i Public Library Improvements Preliminary Floor Plan

NOT TO SCALE





E. PROJECT FUNDING AND SCHEDULING

The total cost of the proposed project is approximately \$3,050,000.00, and construction is anticipated to take approximately 180 working days to complete. DAGS anticipates initiating construction of the project upon receipt of all necessary permits.

DESCRIPTION OF EXISTING ENVIRONMENT, POTENTIAL IMPACTS, AND PROPOSED MITIGATION MEASURES



II. DESCRIPTION OF THE EXISTING ENVIRONMENT, POTENTIAL IMPACTS AND PROPOSED MITIGATION MEASURES

A. PHYSICAL SETTING

1. Surrounding Land Uses

a. <u>Existing Conditions</u>

Kaunakakai is the largest town on the island of Moloka'i and serves as the center of population, commerce, and government. The main street of the town is centered on Ala Malama Avenue and contains a variety of small shops, restaurants, and public services, including the Moloka'i Public Library, Maui County offices, and the district court, of which are all located in Kaunakakai. Single-family residences surround the commercial core of the town. Kaunakakai Harbor, the island's main harbor, and Kaunakakai Ferry Terminal are located at the edge of the town.

The proposed project is located on Ala Malama Avenue, off of Maunaloa Highway near the Maunaloa Highway/Kamehameha V Highway. On Parcel 12, which is owned by the State of Hawai'i, there are various public buildings, including Moloka'i Public Library. These buildings on Parcel 12 are collectively referred to as the "Kaunakakai Civic Center".

A variety of industrial and commercial uses are in the vicinity of the project site, including a gas station, the County's sewer lift station, and a couple of banks. Several restaurants are located at the corner of Kaunakakai Place and Kamehameha V Highway. On the east side and northeast side of the project area, there are a few convenience stores, including Take's Variety Store, Misaki's Store, and Moloka'i Fish and Drive. Other miscellaneous commercial and industrial uses are also located in the vicinity.

b. Potential Impacts and Proposed Mitigation Measures

The proposed project involves improvements at the Moloka'i Public Library which include a construction of a new building at the rear of the existing library. The proposed action is limited to the construction of the new building and re-building of a carport within an approximately 1-acre portion of Parcel 12. Refer to **Figure 3**. The proposed improvements are not expected to present significant adverse impacts on the surrounding land use. In the long term, the improvements will provide benefits for the

community of Moloka'i by enhancing the overall level of service that is provided to users of the library.

The project will provide necessary improvements for the community at the Moloka'i Public Library in Kaunakakai, Moloka'i. As such, the proposed project is not anticipated to present any significant adverse impacts on surrounding land uses.

2. Climate, Topography, and Soils

a. Existing Conditions

Hawai'i's tropical location results in uniform weather conditions throughout the year. Climatic conditions on Moloka'i are characterized by mild and consistent year round temperatures, moderate humidity and steady northeasterly tradewinds. Variations in Moloka'i's weather are attributed to regional topographic and climatic conditions.

The proposed project is located in Kaunakakai, on the southern slopes of the island of Moloka'i. The project site generally slopes in a southwesterly direction with an average slope of approximately one (1) percent. Onsite elevations range from 5.7 to 7.0 feet mean sea level (MSL). Average annual rainfall in 2016 was approximately 14.96 inches in Kaunakakai as measured at Moloka'i Airport. The months of October through March are typically the wetter periods of the year, with April through September being typically the drier months. January is the wettest month with 4.44 inches and June the driest month with 0.52 inch of rainfall. Mean temperatures in the area range from a low of 63.1 degrees Fahrenheit in February and a high of 85.4 degrees Fahrenheit in September (Maui County Data Book, 2016).

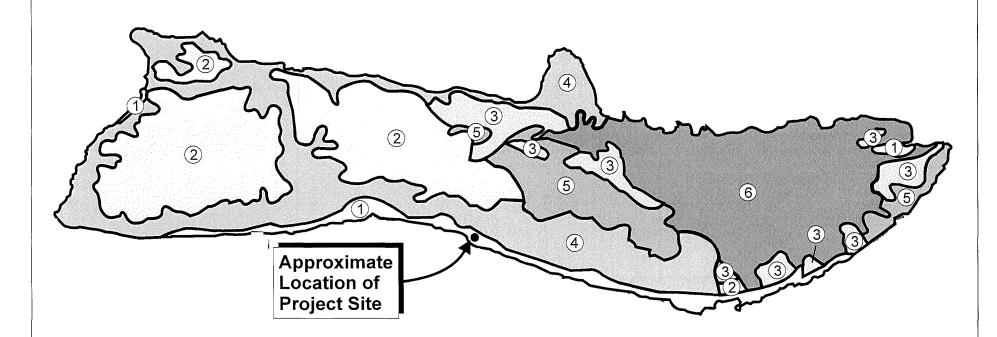
Wind conditions are predominantly characterized by northeasterly tradewinds. However, as these winds round the eastern tip of the island and veer west at the southern coast, they blow in an easterly direction.

Underlying the proposed project site are soils belonging to the Jaucas-Mala-Pulehu Association. See **Figure 5**. The Jaucas-Mala-Pulehu Association is characterized by deep, nearly level and gently sloping, excessively drained and well-drained soils that have course-textured to fine-textured underlying material. It consists of soils that formed in alluvium and coral sand and vary widely in texture and drainage.

LEGEND

- ① Jaucas-Mala-Pulehu Association
- 2 Molokai-Lahaina Association
- ③ Kahanui-Kalae-Kanepuu Association

- 4 Very stony land-Rock land Association
- Rough broken land-Oli Association
- 6 Rough mountainous land-Amalu-Olokui Association



Source: U.S. Department of Agriculture, Soil Conservation Service

Figure 5

Moloka'i Public Library Improvements Soil Association Map

NOT TO SCALE



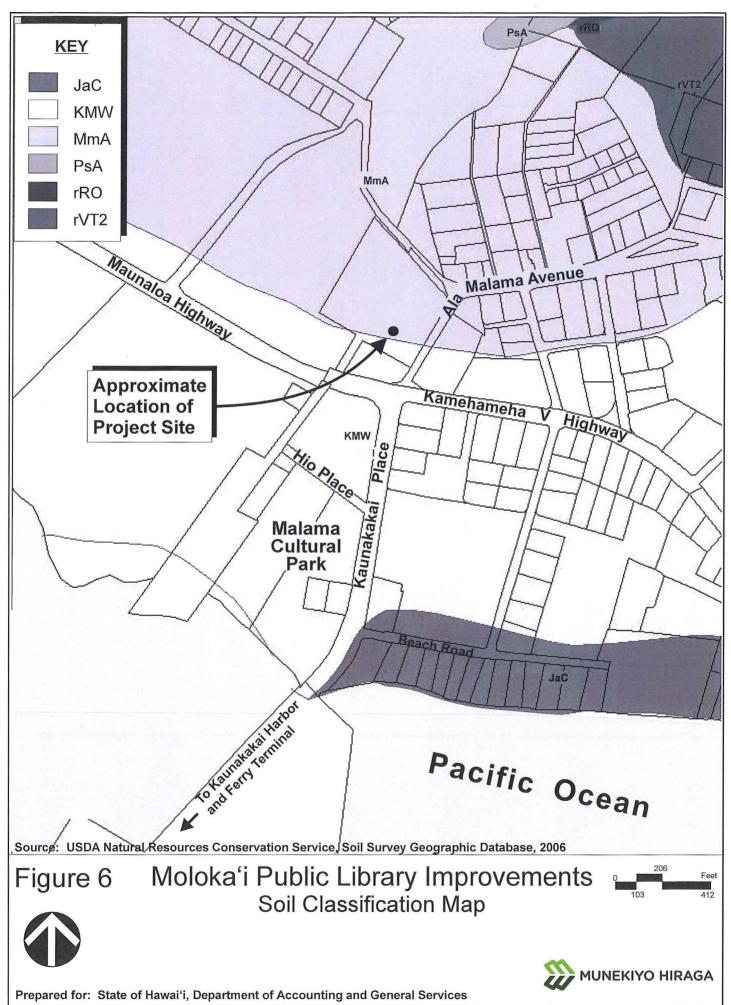


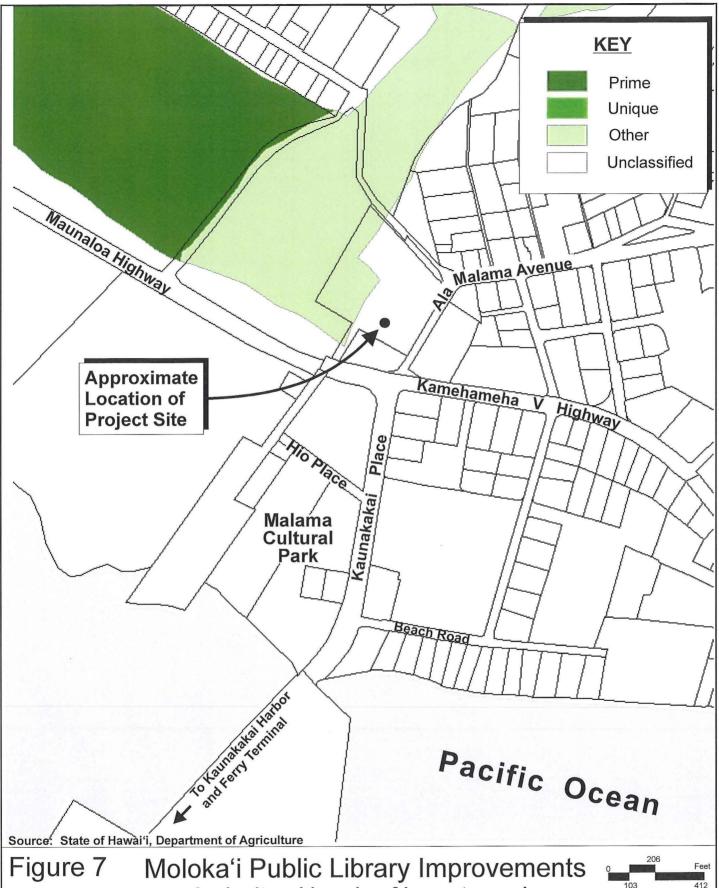
The specific soil types underlying the project site belong to Mala Silty Clay (MmA). See **Figure 6**. The Mala series consists of well-drained soil associated with drainageways and alluvial fans. Permeability is moderate, runoff is slow, and erosion hazard is slight. Slopes range from 0 to 3 percent. This soil is used for pasture, certain crops and orchards, and wildlife habitat (U.S. Department of Agriculture Soil Conservation Service, 1972).

The State Department of Agriculture has established three (3) categories of Agricultural Lands of Importance to the State of Hawai'i (ALISH). The ALISH system classifies lands into "Prime", "Unique", and "Other Important Agricultural Lands". The remaining lands are "Unclassified". Utilizing modern farming methods, "Prime" agricultural lands have the soil quality, growing season, and moisture supply needed to produce sustained crop yields economically, while "Unique" agricultural lands possess a combination of soil quality, location, growing season, and moisture supply currently used to produce sustained high yields of a specific crop. "Other Important Agricultural Lands" include those which have not been rated as "Prime" or "Unique". The proposed improvements are located on lands that are not classified within the ALISH rating system. See Figure 7. It is noted that the University of Hawai'i, Land Study Bureau classified the lands in the project area as "E", the lowest productivity rating for agricultural use (University of Hawai'i, 1967). See Figure 8.

b. <u>Potential Impacts and Proposed Mitigation Measures</u>

Adverse impacts to existing climatic conditions in the region, underlying soil conditions and topography are not anticipated to result from the proposed improvements to the Moloka'i Public Library. Temporary erosion control measures will be incorporated during construction to minimize soil loss and erosion hazards. Best Management Practices (BMPs) will include temporary sediment basins, temporary diversion berms and swales to intercept runoff, silt fences, dust fences, inlet protection, slope protection, stabilized construction entrances, and truck wash-down areas. Further, periodic water spraying of loose soils will be implemented to minimize air-borne dirt particles from reaching adjacent properties. See **Appendix "C"**.



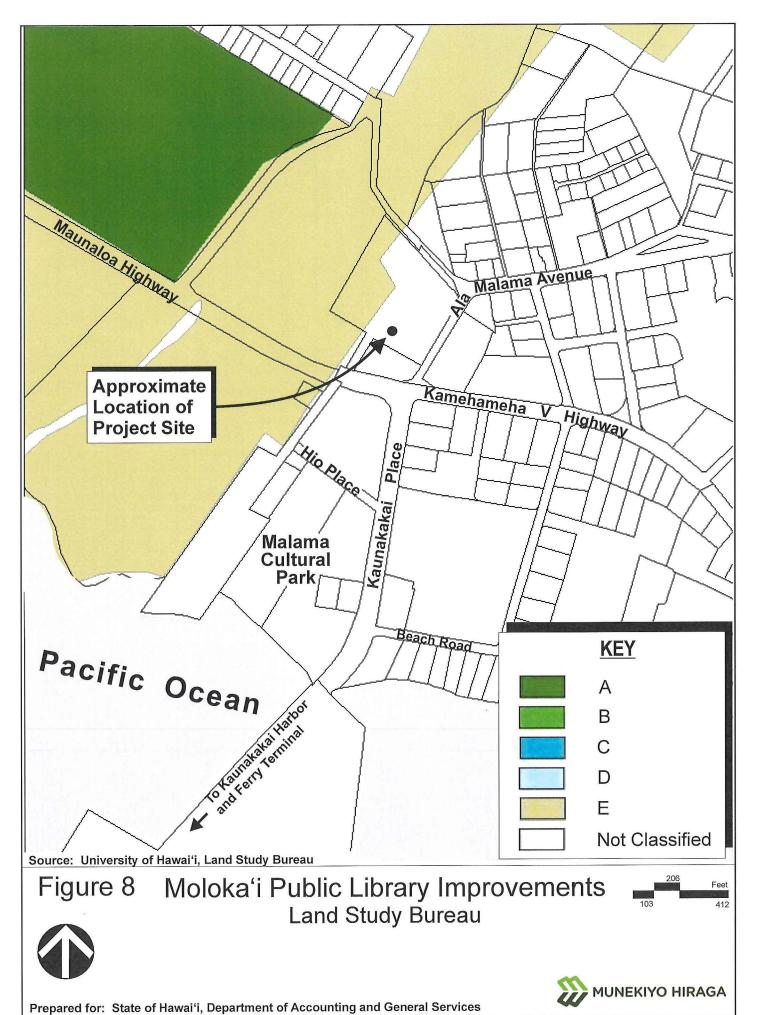


Agricultural Lands of Importance in the State of Hawai'i









3. Flood and Tsunami Hazards

a. Existing Conditions

According to a recent update to the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Maps (FIRM), the proposed improvements on a portion of Parcel 12 is located entirely in Flood Zone AE (Letter of Map Revision Determination for FIRM Map 1500030187F (November 4, 2015), October 28, 2017). Flood Zone AE in the vicinity of the project area represents a Special Flood Hazard Area that is subject to flooding by the 1-percent annual chance flood. The 1-percent annual chance flood (100-year flood) also known as the base flood is the flood that has a 1-percent chance of being equated or exceeded in any given year. See **Figure 9**. Flood conditions in vicinity of the project site are primarily due to stormwater runoff in an area with poorly drained soils in low-lying areas and flat terrain. Refer to **Appendix "A"**.

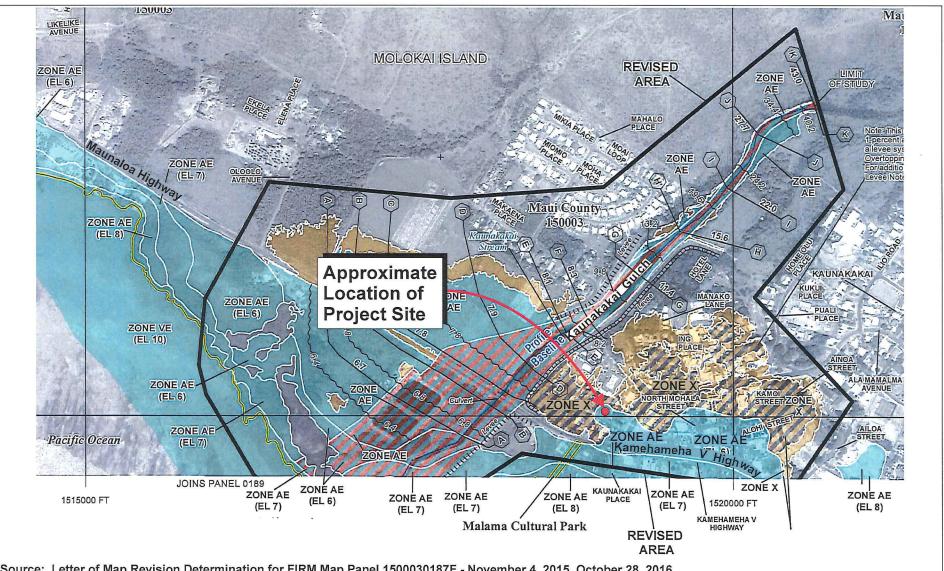
The proposed improvements are located within the tsunami evacuation zone. See **Figure 10**.

b. <u>Potential Impacts and Proposed Mitigation Measures</u>

As noted above, the proposed improvements will be located entirely within Flood Zone AE, an area subject to a 1-percent annual chance flood. The project area is within a Special Flood Hazard Area. As such, a Flood Development Permit application will be submitted to the Department of Planning for processing.

The proposed project is located within the Tsunami Evacuation Zone. The Tsunami Evacuation Zone includes areas that must be evacuated under a tsunami warning. Ala Malama Avenue provides mauka access out of the Tsunami Evacuation Zone into the Safe Zone, and can be used as an evacuation route in the event of a tsunami. Refer to **Figure 9**. As such, effects related to tsunami hazards are not anticipated with implementation of the proposed action.

No other effects to environmentally sensitive areas are anticipated with implementation of the proposed action.



Source: Letter of Map Revision Determination for FIRM Map Panel 1500030187F - November 4, 2015, October 28, 2016

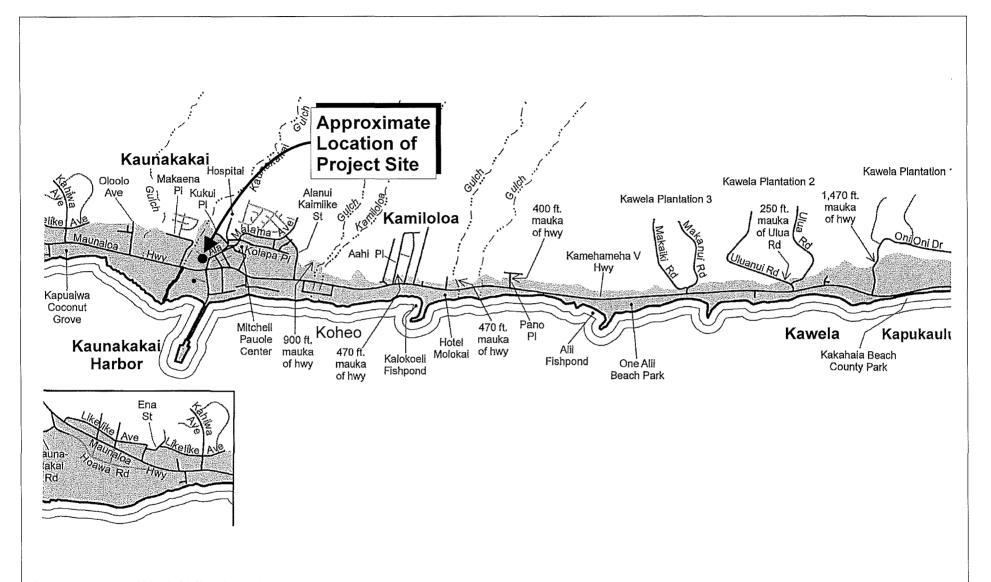
Figure 9



Moloka'i Public Library Improvements Flood Insurance Rate Map







Source: County of Maui, Civil Defense Agency

Figure 10

Moloka'i Public Library Improvements Tsunami Evacuation Map

NOT TO SCALE





4. Flora and Fauna

a. <u>Existing Conditions</u>

In November 2017, Robert Hobdy conducted a flora and fauna survey of the project area. See **Appendix "D"**. A total of 63 plant species were recorded during the survey and four (4) species were plant species native to Hawa'i, including the endemic 'akia (*Wikstroemia uva-ursi*) and three (3) indigenous species, kou (*Cordia subcordata*), kīpūkai (*Heliotropium curassavicum*) and 'uhaloa (*Waltheria indica*). The 'akia and kou were planted in the landscape as ornamentals while the kīpūkai and 'uhaloa were of natural occurrence.

Two (2) non-native mammal species were observed during the course of the survey. These were all domesticated animals including dogs (*Canis Damiliaris*) and cats (*Felis catus*). Other mammals one might expect to encounter on the property include the mongoose (*Herpestes auropunctatus*), rats (*Rattus spp.*), and mice (*Mus domesticus*).

A special effort was made to look for the native Hawaiian Hoary bat by conducting an evening survey of the area. No evidence of such activity was observed even though visibility was excellent. In addition, no bats were detected using the Batbox IIID device, an ultrasonic bat detector.

Bird life was sparse in species represented with six (6) non-native species being recorded. Common species were zebra dove (*Geopelia striata*), common mynah (*Acridotheres tristis*), house sparrow (*Passer domesticus*), house finch (*Carpodacus mexicanus*) and common chicken (*Gallus gallus*). The nutmeg mannikin (*Lonchura punctulata*) was uncommon. A few other non-native birds may occasionally occur in the project area, but the urban habitat is not suitable for Hawai'i's native forest birds and water birds.

Eight (8) species of non-native insects were recorded, including two (2) species of common occurrence, the long-tailed blue butterfly (*Lampides boeticus*) and the dung fly (*Musca sorbens*). Uncommon were the Southern house mosquito (*Culex quinquefasciatus Say*), honey bee (*Apis mellifera*), and Crazy Ant (*Paratrechina longicornis*). No native insects or important host plants of native insects were found during the survey.

The fauna survey of the project area did not encounter a single native mammal, bird or insect species, and no special habitat for any native animal species was found. Refer to **Appendix "D"**.

b. Potential Impacts and Proposed Mitigation Measures

The survey found that all the animals recorded, including two (2) mammals, six (6) birds, one (1) amphibian and eight (8) insects, are non-native in Hawai'i and no special conservation interest or concern is necessary. The four (4) native plant species recorded are all widespread and common in Hawai'i and also have no special protections.

No Federal or State listed threatened or endangered species of wildlife were recorded by the survey, nor were any found that are candidates for such status. Refer to **Appendix "D"**.

Populations of two (2) native seabirds, the Endangered 'ua'u or Hawaiian petrel (*Pterodroma sandwichensis*) and the Threatened a'o or Newell's shearwater (*Puffinus newelli*) are known to nest during the summer and fall months on wet summit ridges like those to the north of this project. As such, construction activities are expected to be limited to daylight hours. Should construction flood lights be required for night activities, these lights will be shielded and directed downward to minimize potential impacts to seabirds that may be confused by bright lights.

Except for the concern regarding native seabirds discussed above, adverse effects to rare, threatened, or endangered animals or plants are not anticipated from the proposed improvements to the Moloka'i Public Library. Refer to **Appendix "D"**.

5. Historical and Archaeological Resources

a. Existing Conditions

There are 32 historic properties within a one (1) mile radius of the proposed project site. See **Table 1** and **Figure 11**. Historic properties reflective of pre-contact dry-land agriculture with associated short-term and recurrent habitation, ceremonial features, petroglyph panels, lithic procurement, and possible burial features were identified on the surface of undeveloped lands mauka of the current project area and within undeveloped lands of adjacent ahupua'a. Subsurface deposits reflective of pre-contact to historic occupation and use of the coastline were also identified makai of the current project area, and centered on the area immediately adjacent to Kaunakakai Wharf and Harbor.

Table 1. Historic Properties Identified Within a One-Mile Radius of the Project Area

SIHP 50-60-03-	Formal Type	Function	Probable Age
00630	Cultural Deposit	Habitation	Historic
00631	Cultural Deposit	Possible Habitation	Late Pre-Contact
00632	Cultural Deposit	Habitation	Pre-Contact
00886	Complex	Agriculture	Pre-Contact
00887	Complex	Agriculture	Pre-Contact
00888	Complex	Agriculture	Pre-Contact
00890	Alignment	Pier	Historic
00895	Complex	Habitation	Historic
00896	Wall	Animal Husbandry	Historic
00996	Notched Enclosure	Ceremonial	Pre-Contact
00998	Complex	Agriculture/Habitation/Ceremonial	Pre-Contact
01030	Platform	Habitation	Early Historic
01600	Complex	Habitation/Burial	Pre-Contact to Historic
01660	Complex	Habitation/Quarry	Pre-Contact
01661	Complex	Education	Historic
01741	Complex	Shelters	Pre-Contact
01742	Complex	Ceremonial	Pre-Contact
01743	Modified Outcrop	Agriculture	Pre-Contact
01744	Mound	Agriculture	Pre-contact
01747	Complex	Agriculture/Habitation	Pre-Contact
01748	Enclosure	Habitation	Pre-Contact
02447	Petroglyphs	Ceremonial	Pre-Contact
02448	Complex	Field Shelter	Pre-Contact to Early Historic
02449	Enclosure	Field Shelter	Pre-Contact to Early Historic
02453	Complex	Permanent Habitation	Pre-Contact to Early Historic
02454	Enclosure	Field Shelter	Pre-Contact to Early Historic
02514	Wall	Commerce	Historic
02523	Wall	Wharf	Historic
02525	Railroad Bed	Transportation	Historic
02563	Walls	Levee	Historic
02573	Cultural Deposit	Refuse Disposal	Historic
Mounds	Linear Mounds	Indeterminate	Historic

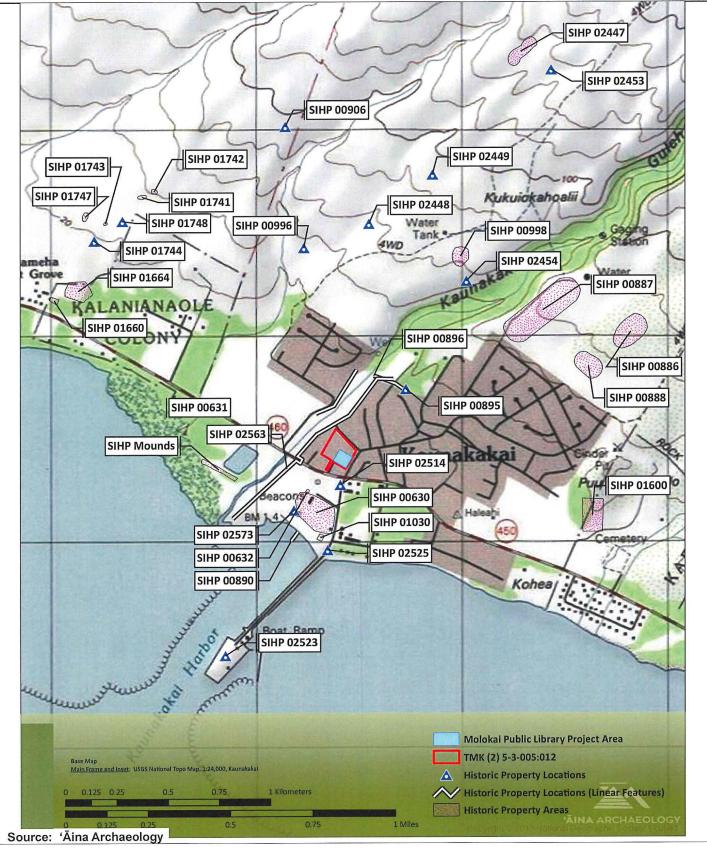


Figure 11 Moloka'i Public Library Improvements NOT TO SCALE
Historic Property Locations within a One-Mile
Radius of the Project Site





Further, historic properties reflective of historic era ranch activities and the early development of Kaunakakai Town (i.e. early flood control efforts and Kaunakakai Harbor improvements) were identified in the elevations above Kaunakakai Town, adjacent to Kaunakakai Gulch, and at Kaunakakai Wharf and Harbor.

The Moloka'i Public Library is listed in the Hawai'i Register of Historic Places as Moloka'i's only public library and as an intact example of early 20th century architecture in Hawai'i. The project site has been utilized for commercial and public buildings historically, including an old school house and church prior to the 1920s, the Cooke Hall community center from at least 1924 to 1936, and the Old Judiciary building from roughly 1935 to 2013. Therefore, while the possibility for encountering significant precontact deposits during excavation for pier and wall foundations for the proposed project is low, there is a higher probability for encountering historic deposits and remnants representative of the commercial and civic history of Kaunakakai within the current project area.

Archaeological monitoring was conducted in 2013 during the installation of subsurface telecommunication ducts for a new radio facility within the State of Hawai'i DAGS Moloka'i Baseyard facility within the subject parcel. Excavation to a depth of 1.68 m (5.5 ft.) was required to accommodate concrete vaults for the telecommunication line. Archaeological observation and documentation of the exposed sediments showed that the subsurface conditions of the monitored area consisted of modern and historic fill deposits over sterile alluvium. While isolated historic era artifacts were encountered within the fill, no intact cultural deposits or buried structures were identified during the DAGS telecommunications project (Sprouse et al. 2013). See **Appendix "E"**.

b. Potential Impacts and Proposed Mitigation Measures

As mentioned previously, the review of previous archaeological studies indicated that no intact cultural deposits or buried structures were identified within the subject parcel. Following an initial consultation meeting, during the EA preparation process, the State Historic Preservation Division (SHPD) requested that an assessment letter be submitted requesting a "no historic properties affected" determination based on archaeological monitoring being implemented during construction. Refer to **Appendix** "E".

As such, a AMP was prepared for the proposed project by 'Āina Archaeology and submitted to SHPD for review and approval. This plan

sets forth a monitoring program to serve as mitigation measures for proper documentation should historic properties be encountered during ground altering activities. See **Appendix "F"**.

In the event any iwi kupuna or Native Hawaiian cultural deposits are encountered during construction, activities will be halted in the immediate area of the find and SHPD and State Office of Hawaiian Affairs (OHA) will be contacted to determine appropriate mitigation measures.

As noted above, the existing Moloka'i Public Library is listed in the Hawai'i Register of Historic Places. As such, the proposed project will comply with applicable Secretary of the Interior's Standards for Rehabilitation. The Cultural Resources Commission (CRC) reviewed and indicated its support for the proposed project at its regular January 4, 2018 meeting. See **Appendix "G"**.

6. <u>Cultural Assessment</u>

a. Existing Conditions

i. Historical Overview

During the pre-contact era, Moloka'i's population base was primarily concentrated at the island's windward coasts. The area was rich in ocean resources and the deep valleys with perennial streams that supported a lifestyle based on subsistence agriculture, primarily associated with intensive taro production.

The 18th century saw great upheaval on Moloka'i as the island became subject to the ambitions of the rulers of neighboring islands. Political authority over Moloka'i passed back and forth between the chiefs of Maui and O'ahu throughout the century, only ceasing with the unification of all the islands under Kamehameha I.

With the onset of western contact, a western influence began to permeate through the island's social environment. The result was a reduced reliance on subsistence lifestyles and an increased dependence on a plantation and ranching-based economy. As a result, the island of Moloka'i experienced a westward population movement from the windward coast to the leeward side of the island.

Several important changes for Moloka'i occurred in the 19th century. Herd animals were introduced at this time: cattle in 1833,

followed by deer and sheep 30 years later. Cattle had profound socio-economic and, thus, cultural impacts through ranching activities. Sheep, on the other hand, had a notably adverse impact on the landscape because of their grazing activities (Wiesler and Kirch, 1982). The Moloka'i Ranch was founded at the end of the century, purchasing lands formerly owned by Kamehameha V.

During the westward movement, the island's political and commercial center developed in accordance with the population movement. The first western town was established at Pukoo, which included a County seat, a court house, a wharf, and several small stores. In 1925, Ualapue became the island's new major commercial center, where a new hospital was constructed. Finally in 1935, Kaunakakai was established as the political center and economic nucleus of the island.

In the 1920s, large pineapple plantations were established in the Maunaloa and Kualapu'u areas, further strengthening the westward movement. However, in the 1970's and 1980's, both plantations ceased operations and the island's economy became primarily dependent on diversified agriculture and ranching activities with an emerging visitor industry (County of Maui, Department of Planning, 2001).

ii. Geopolitical Organization

Prior to Western contact in Hawai'i, land was divided into moku, or districts. Each of these wereas further subdivided into units called ahupua'a. Ideally, each ahupua'a was self-sufficient, running from mauka, the mountain, to makai, the ocean (MacKenzie, 1991). These divisions served as both cultural and settlement systems as traditional Hawaiian life was tied intimately to the land. Hunting, gathering, cultivation, and habitation took place within the ahupua'a.

Moloka'i was traditionally divided into two (2) moku: Ko'olau district and Kona district, although there is some evidence of a third district having been used at some point (Wiesler and Kirch, 1982; Summers, 1971). The Ko'olau district was centered on the windward coast of the island, with the Kona district essentially comprising the remainder of Moloka'i. These moku were subdivided into ahupua'a which ranged in size from 79 to 46,500 acres (Summers 1971).

Western contact brought changes to the Hawaiian land system with the introduction of private ownership of land, a concept foreign to the native Hawaiians. A Board of Land Commissioners was established in 1845 to uphold or reject all private land claims of both foreigners and Hawaiians. The Commission adopted rules pertaining to the proof of claims, right of tenants, and commutation to the government in attempts to achieve the goal of totally partitioning undivided lands. All lands not claimed by February 1848 were to be forfeited to the government (MacKenzie, 1991).

Following the enactment of these rules, the Mahele division of 1848 divided all lands of Hawai'i between the king and chiefs. Two (2) years later the Kuleana act completed the Mahele process by authorizing the Land Commission to award fee simple titles to native tenants for their land. These kuleana parcels, also known as Land Commission Awards (LCA), were generally among the richest and most fertile in the islands and came from the king, government, or chief's land. All claims and awards were numbered and recorded in the Mahele Book (MacKenzie, 1991). In addition, government lands were sold as "Royal Patent Grants" or "Grants" in order to meet the increasing costs of government. These grants differed from LCAs, as it was not necessary for the recipients to obtain an award for their land from the Land Commission (Chinen, 1958).

In 1859, the traditional moku divisions were eliminated and the entire island made into one district, called the Moloka'i district. Fifty years later, the island was redivided, this time into the Kalawao district, which is comprised of those areas known as Kalaupapa, Kalawao, and Waikolu and is administratively distinct from Maui County, and the remainder of the island, which is still designated as the Moloka'i district.

iii. Stories and Traditions of Moloka'i

As is frequently the case with the islands, Moloka'i is the subject of multiple creation stories. Some say that all of the islands were born of the god Wakea and his wives; Moloka'i being the off-spring of that god and his third wife, Hina, after his previous wives had given birth to Hawai'i, Maui, Kaho'olawe, and Lāna'i. A separate tradition gives the formation of all the islands as having resulted from pieces of coral tossed back into the sea by the fisherman Kapuheeuanui (Fornander, 1916-17).

Past accounts refer to Kaunakakai as a preferred canoe landing for travelers given its favorable environmental conditions (e.g., landing, wind direction, natural channel, and central location). Based on these accounts, the Kaunakakai area was known throughout the islands as a safe resting place.

The traditional history of Moloka'i is only extant in fragmentary form. It begins with Kamauaua, reputedly the first ali'i-nui of the island, who is thought to have lived sometime in the 13th century. There are subsequently many stories which suggest that the island was repeatedly subject to domination by the rulers of Hawai'i and Maui, with lordship over Moloka'i passing back and forth between the kings of the other two (2) islands, as well as intervening periods of autonomy (Summers, 1971).

iv. Traditional and Customary Rights

The traditional and customary rights of Native Hawaiians can be broken down into access rights, gathering rights, burial rights, and religious rights.

Access

Native Hawaiians generally share the same access rights as the general public. However, they have the unique access rights to kuleana parcels and between ahupua'a. Access to kuleana parcels may involve access via ancient trails or expanded access not limited to any route. Additionally, the Kuleana Act granted unobstructed access within the ahupua'a to obtain items necessary to make the kuleana parcel productive. Access rights between ahupua'a involve access through ancient or well established trails (MacKenzie, 1991).

Gathering

In terms of gathering rights, the Hawai'i Supreme Court has upheld gathering rights within an ahupua'a for firewood, house-timber, aho cord, thatch, and ki-leaf under three (3) conditions. The tenant must physically reside within the ahupua'a, the right to gather can only be exercised upon undeveloped lands within the ahupua'a, and the right must be exercised only for the purpose of practicing Native Hawaiian customs and traditions (MacKenzie, 1991).

Burial

According to traditional Hawaiian burial beliefs, following death, the uhane, or spirit, must remain near na iwi, or bones. Burial sites are chosen by Hawaiians for symbolic purposes in places for safekeeping. Often, bones were hidden in caves, cliffs, sand dunes, or deposited in the ocean. Today, federal and state laws protect both unmarked and marked burial sites. Island Burial Councils assist SHPD with the inventorying and identification of unmarked Hawaiian burial sites and determine the preservation or relocation of native Hawaiian burial sites (MacKenzie, 1991).

<u>Religious</u>

Hawaiian religion and beliefs were intimately tied to the land. While some practices and traditions were lost over the years, basic Hawaiian religious concepts remain. The terms "aloha 'āina," love the land and "mālama 'āina," care for and protect the land, convey the unity of humans, nature, and the gods in Hawaiian philosophy (Minerbi, 1993). Furthermore, Hawaiians honored and worshiped aumakua, deities, and akua, gods. There were numerous akua of farming, fishing, tapa making, dancing, sports, and any other activity of Hawaiian life. The concept of mana or sacred attachment to places, people, or things also remains as a significant aspect of Hawaiian religion (MacKenzie, 1991).

v. Local History

In the vicinity of the project site is what is known as the Malama Cultural Park which was previously owned by Moloka'i Ranch and the County until ownership was transferred to the State. There are buildings and foundations that still exist on the site which go back to the era of King Kamehameha and subsequent periods of time. It was an area of post-contact economic activity with the arrival of pineapple companies such as Dolan Delmonte on the island, harvesting the pineapple crops which provided jobs and leased land income to the homesteaders in the area. Also, it was an area where cattle were held, cornfields existed and social gatherings took place that go back to the 1940's, including an outdoor theater.

The area is still used for parades as well as paniolo events that involve the entire community. There is also the Molokai Yacht Club and canoe clubs along the coastline which are utilized by the

community for events such as weddings, graduations and other events.

b. <u>Potential Impacts and Proposed Mitigation Measures</u>

A Cultural Impact Assessment (CIA) report was prepared by 'Āina Archaeology for the project to assess potential impacts that the proposed project may have on cultural resources and practices. The CIA involved a literature review and community outreach which consisted of informal, talkstory phone consultations. In order to identify individuals with knowledge of traditional cultural practices within and adjacent to the proposed project, contact was initiated with government agencies, advisory councils, local community organizations, and kūpuna with generational ties to the proposed project area. In total, 10 individuals and one (1) advisory council (CRC) were consulted in the outreach process. See **Appendix "H"**.

While those who responded and participated in the consultation process did not recall specific Hawaiian traditions in relation to the area of the Moloka'i Public Library, or note long-term traditional cultural practices that might be affected by the proposed project, individuals did note that the sculpture of Hina, Pu'ino Kolu O Hina (Three Winds of Hina), that sits at the entry to the Kaunakakai Civic Center, is important to the Moloka'i community. Some concerns were expressed about the potential effects of the new building on the visibility of the sculpture from Ala Malama Avenue.

Regarding these concerns, the construction footprint of the proposed project is located directly behind the existing library building and, therefore, a clear line of site to Ala Malama Avenue will be maintained. While the plaque and basalt plinth is located on the edge of the construction footprint, there are no plans to remove it, either temporarily or permanently, and it will stay in place throughout construction.

As such, the proposed project is not anticipated to present significant adverse impacts on cultural resources. Likewise, hindrance of access to these resources as a result of proposed project construction activities and build-out is not anticipated. Refer to **Appendix "H"**.

7. Air and Noise Quality

a. **Existing Conditions**

There are no major stationary sources of air pollution in the Kaunakakai area. With the small-town scale of residential and commercial uses in Kaunakakai and prevailing trade wind conditions, air quality is generally good in this area of Moloka'i. The primary source of emissions in the vicinity may be attributed to motor vehicles traveling in the area. However, these mobile sources have no adverse influence on air quality.

There are no significant noise generators in the vicinity of the project area. Noise generated in this locale may be attributed to traffic along Maunaloa Highway, Kamehameha V Highway, and other local roadways.

b. Potential Impacts and Proposed Mitigation Measures

Airborne particulates, including dust, may be generated during site preparation and construction activities. As with air quality, ambient noise conditions will be temporarily impacted by construction activities. Heavy construction equipment, such as bulldozers, front end loaders, dump trucks, and trailers will be the dominant source of noise during site construction. The contractor will coordinate with the State Department of Health (HDOH) to ensure that Community Noise Permit and Clean Air Branch Permits are obtained, as may be applicable to the project.

This proposed project is not expected to adversely impact local and regional air quality and ambient noise quality. Upon completion, the proposed project will not significantly adversely impact local or regional air quality or ambient noise quality.

8. Streams and Wetlands

a. Existing Conditions

Kaunakakai Gulch is located approximately 500 feet west of the project site. Kaunakakai Gulch is a non-perennial stream that empties into the Pacific Ocean. The stream is not listed as an impaired water by the HDOH.

b. Potential Impacts and Proposed Mitigation Measures

The proposed improvements involve the construction of a new, single-story building at the rear of the existing Moloka'i Public Library and the rebuilding of the existing carport. There are no streams and wetlands in the immediate vicinity of the project site and the proposed improvements are

not anticipated to impact environmentally sensitive areas, such as wetlands or streams.

As such, the proposed project is not anticipated to significantly adversely impact any of the region's riparian resources, wetlands, or streams.

9. Scenic and Open Space Resources

a. Existing Conditions

The project site is located westward of Kaunakakai Town, on Ala Malama Avenue, north of Maunaloa Highway. The project site is relatively flat and the new building will be constructed at the rear of the existing building.

b. Potential Impacts and Proposed Mitigation Measures

The proposed project involves the construction of a single-story building at the rear of the existing Moloka'i Public Library. As such, the proposed project will not have a substantial, adverse impact to existing views nor will it adversely impact open space resources in the region.

10. <u>Traditional Beach and Mountain Access</u>

a. Existing Conditions

The project site is located in the north (mauka) of Maunaloa Highway. Beach access is provided by Malama Cultural Park to the southwest of the project site. There are no traditional mountain access trails in the vicinity of the project site.

b. <u>Potential Impacts and Proposed Mitigation Measures</u>

The proposed project is limited to improvements at the existing public library. Beach access provided by Malama Cultural Park will not be impacted as a result of the proposed project. As there are no mountain access trails in the vicinity of the project, no adverse impacts to traditional beach or mountain access are anticipated as a result of the proposed project.

B. SOCIO-ECONOMIC ENVIRONMENT

1. **Population and Economy**

a. **Existing Conditions**

The resident population of the island of Moloka'i (excluding Kalawao), as determined by the 2010 Census, was 7,255. In the year 2000, the resident population was 7,257, representing no increase in population during the ten year period (U.S. Census 2010, Maui County Databook 2016). Moloka'i island population is projected to increase to 7,772 in 2020 and 8,395 in 2030 (Maui Planning Department, 2006).

On Moloka'i, the unemployment rate is higher than the rest of Maui County. In December 2017, the unemployment rate (not seasonally adjusted) was 1.8 percent for Maui County and 4.0 percent for Moloka'i Island. The unemployment rate decreased 0.9 percent for Maui County, and increased 1.3 percent for Moloka'i, respectively, since August 2016 when it was 2.7 percent for Maui County and 5.3 percent on the island of Moloka'i (State of Hawai'i, Department of Labor and Industrial Relations, January, 2018).

b. Potential Impacts and Proposed Mitigation Measures

In the short term, the proposed project will generate positive economic impacts associated with construction-related spending and employment. From a long-term perspective, the project will create additional space for people to accommodate more library materials and provide a Community Room for various activities. Adverse economic impacts are not anticipated with project implementation. There are also no long-term impacts on population parameters associated with the project.

C. PUBLIC SERVICES

1. Police and Fire Protection

a. Existing Conditions

Police services on Moloka'i are provided by the Maui County Police Department. The Moloka'i station is located in the Mitchell Pauole Center in Kaunakakai

Fire prevention, protection and suppression services are provided by the Maui County Department of Fire and Public Safety. The Fire Department

maintains stations in Kaunakakai and Hoolehua, with a substation in Pukoo.

b. <u>Potential Impacts and Proposed Mitigation Measures</u>

The proposed improvements are not anticipated to adversely impact existing police and fire protection services. The project site is located within Kaunakakai Town and is currently within the service area of police and fire protection.

2. Medical Facilities

a. Existing Conditions

Molokai General Hospital, which is operated by the Queen's Health Systems, is the only major medical facility on the island. Licensed for 13 beds, the hospital located in Kaunakakai provides acute, emergency, and obstetrics care services (County of Maui Data Book, 2016). The hospital also houses the Women's Health Center, which offers family planning services and prenatal care to local residents.

Other medical facilities include the Molokai Family Health Center in Kaunakakai.

b. Potential Impacts and Proposed Mitigation Measures

The proposed action is limited to improvements at the existing Moloka'i Public Library property and is not anticipated to have adverse impacts on existing medical facilities or services on Moloka'i.

3. Solid Waste

a. Existing Conditions

Except for remote areas, single family solid waste collection service is provided by the County of Maui once weekly.

Solid waste is collected by County refuse collection crews and disposed at the County's Moloka'i – Naiwa landfill. Commercial waste from private collection companies is also disposed of at the landfill. The landfill includes a recycling center and metals facilities for residents and businesses.

b. Potential Impacts and Proposed Mitigation Measures

The proposed improvements are not anticipated to adversely impact existing solid waste services on Moloka'i. Solid waste from construction work will be disposed at an approved solid waste facility. Upon completion, the proposed project will not generate additional solid waste.

4. Recreational Resources

a. Existing Conditions

The island of Moloka'i offers a wide range of recreational opportunities. Possible outdoor activities include bicycling, boating, canoeing, camping, diving, fishing, golfing, hiking, horseback riding, hunting, surfing, swimming, tennis, and windsurfing.

There is no recreational facility or park located in the immediate vicinity of the subject property. The closest recreational facilities are the Molokai Yacht Club and Malama Cultural Park, a 3.3-acre park with open fields and an amphitheater. Other recreational facilities within Kaunakakai include the Mitchell Pauole Community Center, Cook Memorial Pool, Duke Maliu Regional Park, Kakahaia Park, Kaunakakai Ball Park, Kilohana Community Center, One Alii Park, and Puu Hauole Park.

b. Potential Impacts and Proposed Mitigation Measures

As mentioned above, there is no recreational facility or park located in the close vicinity of the subject property. As such, the proposed improvements at the Moloka'i Public Library are not anticipated to adversely impact recreational resources on the island of Moloka'i.

5. Educational Facilities

a. Existing Conditions

There are five (5) public schools on Moloka'i. Four (4) are public elementary schools, Kaunakakai, Kilohana, Kualapu'u, and Maunaloa, providing elementary school education for children from Kindergarten through Grade 6. There is one (1) secondary school, Molokai High and Intermediate School, located in Ho'olehua. School capacity and enrollment over recent years are summarized in **Table 2**.

Table 2. Enrollment for Moloka'i Schools

School	Enrollment 2016- 2017 School Year	Enrollment 2017- 2018 School Year
Kaunakakai Elementary School (Grades K-6)	280	275
Kilohana Elementary School (Grades K-6)	82	83
Maunaloa Elementary School (Grades K-6)	51	41
Kualapuʻu Elementary School (Charter School – Grades K-6)	310	325
Molokai Intermediate School (Grades 7-8)	168	199
Molokai High School (Grades 9- 12)	335	343
Source: State of Hawai'i, Department of Ed	ducation, October 2017.	

Private schools include Molokai Christian Academy (Grades Kindergarten-12) and Molokai Mission School (Grades 1-8).

Molokai Education Center, a satellite facility of University of Hawai'i - Maui College, offers post-secondary, vocational and technical University of Hawai'i credit courses, and is located at the intersection of Alanui Ka Imi Ike and Kamehameha V Highway.

b. Potential Impacts and Proposed Mitigation Measures

The proposed project is not a population generator. As such, it is not anticipated to adversely impact existing education facilities or services on Moloka'i.

D. INFRASTRUCTURE

1. Roadways

a. Existing Conditions

The State of Hawai'i's Maunaloa Highway links Kaunakakai Town with the western portion of the island. Maunaloa Highway becomes Kamehameha V Highway at Kaunakakai Place and extends toward and along the shoreline, providing access to eastern portions of Moloka'i. Ala Malama Avenue, a State owned roadway, runs from its intersection with Maunaloa

Highway and Kamehameha V Highway to the north. South of Maunaloa Highway and Kamehameha V Highway, Ala Malama Avenue becomes Kaunakakai Place, which is the main roadway through the Kaunakakai Harbor and Ferry Terminal.

Pedestrian access to the Moloka'i Public Library is provided via Ala Malama Avenue. Vehicle access is available from Mauna Loa Highway. There is no vehicular access off of Ala Malama Avenue.

b. Potential Impacts and Proposed Mitigation Measures

A Traffic Assessment (TA) was prepared by Austin, Tsutsumi & Associates, Inc. (ATA) to assess the trip generating potential of the proposed project to determine whether it meets the minimum trip generation criteria recommended by Institute of Transportation Engineers (ITE). The proposed project is estimated to generate 0 additional trips during AM peak hours and 35 trips during PM peak hours of traffic. The proposed project does not meet the minimum trip generation criteria of 100 new trips in the peak direction which is recommended by ITE regarding the preparation of a Traffic Impact Analysis Report. See **Appendix "I"**.

As such, the proposed improvements are not expected to present significant impacts on roadways in the vicinity, including Maunaloa Highway.

2. Water System

a. Existing Conditions

The County of Maui operates four (4) water systems at 'Ualapu'e, Kaunakakai, Kala'e, and Hālawa on the island of Moloka'i. Moloka'i Ranch also operates water systems serving households in West Moloka'i. The project site currently has existing domestic service (Kaunakakai Water System) and landscape irrigation connected to a 1-inch water meter at the east end of the site near the concrete walkway which connects to an existing 6-inch water main.

b. Potential Impacts and Proposed Mitigation Measures

The proposed project is limited to improvements to the Moloka'i Public Library, involving construction of a new single-story building at the rear of the existing library building. Onsite water system improvements will include a new 1.5-inch water meter, backflow preventer, and a type "K" copper waterline to service the library. The new water meter will connect to the

existing 6-inch water main within Ala Malama Avenue. After completion, total water use at the new building is estimated to be 1,114 gallons per day (GPD). As such, significant adverse impacts to the island water supply and water systems are not anticipated as a result of the proposed project. As may be feasible and available, non-potable water use during construction (e.g., dust control) will be from the County of Maui's wastewater reclamation facility located in Kaunakakai.

3. Wastewater System

a. Existing Conditions

Most regions of Moloka'i are not served by a wastewater treatment system. Residents situated beyond the Kaunakakai service area utilize either cesspools or septic systems. Within Kaunakakai, the County operates a single wastewater treatment plant located west of the project site. Moloka'i Ranch also operates a wastewater treatment system serving households in West Moloka'i. The existing library connects to an 8-inch sewer line running along Ala Malama Avenue owned and operated by the County of Maui. Sewage from the project will be treated at Molokai Wastewater Treatment Facility.

b. Potential Impacts and Proposed Mitigation Measures

The proposed project is limited to improvements to the Moloka'i Public Library, involving construction of a new single-story building at the rear of the existing library building. The proposed sewer flow generated from the project will be collected by a proposed 4-inch sewerline that will connect to the existing onsite sewer system through an 8-inch sewer lateral and then to the 8-inch sewer main within Ala Malama Avenue. The proposed project is estimated to generate approximately 413 GPD in wastewater. As such, significant adverse impacts to the wastewater systems are not anticipated as a result of the proposed project.

4. <u>Drainage</u>

a. Existing Conditions

Stormwater runoff generated from the existing property generally sheet flows in a southwesterly direction and is collected in onsite drain inlets. The onsite drainage system ties into the county drainage system within Ala Malama Avenue.

b. Potential Impacts and Proposed Mitigation Measures

The proposed project is limited to improvements to the Moloka'i Public Library, involving construction of a new single-story building at the rear of the existing library building. According to the Preliminary Engineering Report (PER) prepared by Austin, Tsutsumi & Associates in December 2017, only minimal site improvements will be implemented for the proposed project and drainage patterns will not be altered. As such, there are no adverse effects from storm runoff to adjacent and downstream areas expected with implementation of the proposed project. Refer to **Exhibit** "C".

5. <u>Electrical, Telephone, Cable Television, and Navigation Services</u>

a. Existing Conditions

Electrical and telephone services in Kaunakakai are provided by Maui Electric (MECO) and Hawaiian Telcom. Cable television is provided by Oceanic Time Warner Cable, currently known as Spectrum. Two (2) beacon towers are located to the southwest of the subject property which provide a range line to aid navigation to and from Kaunakakai Harbor.

b. Potential Impacts and Proposed Mitigation Measures

The proposed project is limited to improvements to the Moloka'i Public Library, incuding construction of a new stand-alone building at the rear of the existing library building. It is anticipated that electrical and telephone services will be utilized in the new building to a limited extent. The proposed project will not impact the regional transmission lines for power and telephone service, nor will it require infrastructural improvements to the existing distribution lines. As such, the proposed project is not anticipated to have significant adverse impacts on utility services.

E. CUMULATIVE AND SECONDARY IMPACTS

Pursuant to Section 11-200-2 of the Hawai'i Administrative Rules, Chapter 200, entitled Environmental Impact Statement Rules, a cumulative impact means:

The impact on the environment which results from the incremental impact of the action when added to other past, present, and reasonably foreseeable future actions regardless of what agency or person undertakes such other actions. Cumulative impacts can result from individually minor but collectively significant actions taking place over a period of time.

The proposed project is located within the urban area of Kaunakakai Town and would service the existing Moloka'i Community. The cumulative impact of the library improvements in this context is anticipated to be positive. Significant adverse cumulative impacts are, therefore, not anticipated as a result of the proposed project.

Secondary impacts are those which have the potential to occur later in time or farther in distance, but are still reasonably foreseeable. They can be viewed as actions of others that are taken because of the presence of a project. Secondary impacts from highway projects, for example, can occur because they can induce development by removing one of the impediments to growth. With the proposed mitigation measures in place during construction, the project is not anticipated to have a significant adverse secondary impacts on the environment. The project site is located within an existing developed area of Kaunakakai Town. The proposed project will provide needed additional space for the Moloka'i Public Library while not adversely impacting the historic character of the existing library building.

In summary, the proposed action is not anticipated to result in significant adverse cumulative or secondary impacts.

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RELATIONSHIP TO GOVERNMENTAL PLANS, POLICIES, AND CONTROLS



III. RELATIONSHIP TO GOVERNMENTAL PLANS, POLICIES, AND CONTROLS

A. STATE LAND USE DISTRICTS

Chapter 205, Hawai'i Revised Statutes (HRS), relating to the Land Use Commission (LUC), establishes the four (4) major land use districts in which lands in the State are placed. These districts are "Urban", "Agricultural", "Rural", and "Conservation".

The existing Moloka'i Public Library and proposed improvements are located within the State "Urban" district. See **Figure 12**. The proposed improvements on the subject properties are permitted uses in the "Urban" district pursuant to Chapter 205, HRS.

B. CHAPTER 226, HRS, HAWAI'I STATE PLAN

Chapter 226, HRS, also known as the Hawai'i State Plan, is a long-range comprehensive plan which serves as a guide for the future long-term development of the State by identifying goals, objectives, policies, and priorities, as well as implementation mechanisms. The Plan consists of three (3) parts. Part I includes the Overall Theme, Goals, Objectives, and Policies; Part II includes Planning, Coordination, and Implementation; and Part III establishes Priority Guidelines. Inasmuch as Part II of the State Plan covers its administrative structure and implementation process, discussion of the proposed project's applicability to Part II is not appropriate. Below is an analysis of the project's applicability to Part I and Part III of the Hawai'i State Plan.

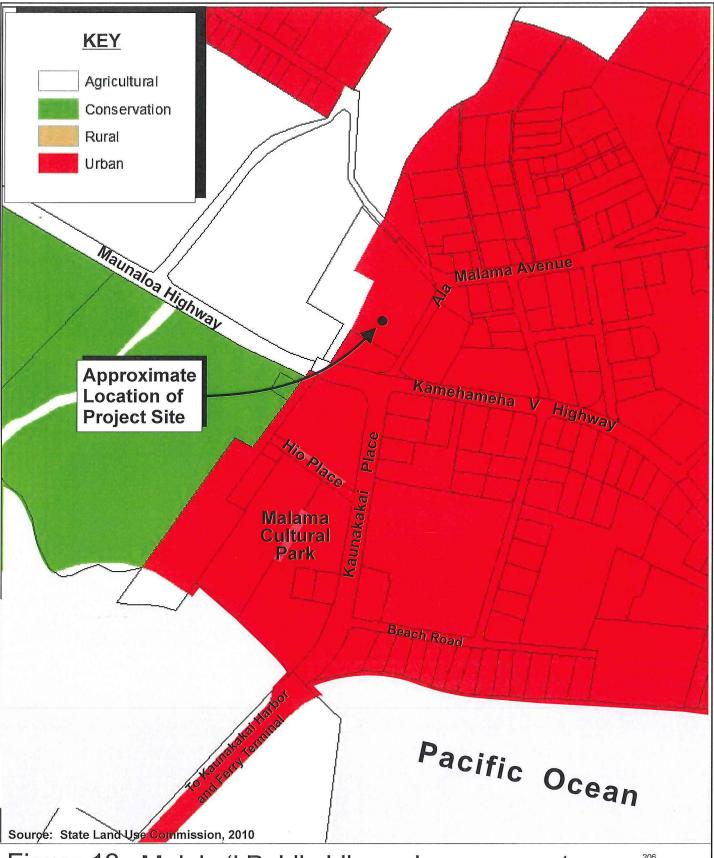


Figure 12 Moloka'i Public Library Improvements
State Land Use District Designations







Olo	waiʻi State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, jectives and Policies y: S = Supportive, N/S = Not Supportive, N/A = Not Applicable	S	N/S N/A
and Mark Street	S 226-1: Findings and Purpose		
	S 226-2: Definitions		The second second
7	S 226-3: Overall Theme		· ·
ele lev (1) (2) (3)	S 226-4: State Goals. In order to guarantee, for the present and future germents of choice and mobility that insure that individuals and groups may approals of self-reliance and self determination, it shall be the goal of the State to an A strong, viable economy, characterized by stability, diversity, and growth, the fulfillment of the needs and expectations of Hawaii's present and future general A desired physical environment, characterized by beauty, cleanliness, quies systems, and uniqueness, that enhances the mental and physical well-being Physical, social, and economic well-being, for individuals and families nourishes a sense of community responsibility, of caring, and of participatic life.	ach the chiever at ena eration t, stal of the in Ha	neir desired e: ables the ns. ble natura e people. awaii, tha community
Pu	ealysis: The proposed project is to provide additional space to the ex blic Library in order to enhance the overall level of service that is provide be library while not adversely impacting the historic character of the library	ded to	
Chap	oter 226-5 Objective and Policies for Population		
guide	ctive: It shall be the objective in planning for the State's population to be population growth to be consistent with the achievement of physical, omic and social objectives contained in this chapter.	✓	
Polic	cies:		
(1)	Manage population growth statewide in a manner that provides increased opportunities for Hawaii's people to pursue their physical, social, and economic aspirations while recognizing the unique needs of each county.	✓	
(2)	Encourage an increase in economic activities and employment opportunities on the neighbor islands consistent with community needs and desires.		✓
(3)	Promote increased opportunities for Hawaii's people to pursue their socio- economic aspirations throughout the islands.		✓
(4)	Encourage research activities and public awareness programs to foster an understanding of Hawaii's limited capacity to accommodate population needs and to address concerns resulting from an increase in Hawaii's population.		✓
(5)	Encourage federal actions and coordination among major governmental agencies to promote a more balanced distribution of immigrants among the states, provided that such actions do not prevent the reunion of immediate family members.		✓
(6)	Pursue an increase in federal assistance for states with a greater proportion of foreign immigrants relative to their state's population.		✓
(7)	Plan the development and availability of land and water resources in a coordinated manner so as to provide for the desired levels of growth in each geographic area.		✓
Pu	alysis: The proposed project is to provide additional space to the exiblic Library in order to enhance the overall level of service that is provide library and support the future population growth on the island of Molok	led to	

Ob Ke	wai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, jectives and Policies y: S = Supportive, N/S = Not Supportive, N/A = Not Applicable oter 226-6 Objectives and policies for the economy – – in general	S N/S	N/A
	ctives: Planning for the State's economy in general shall be directed toward following objectives:	ard achiever	ment
(1)	Increased and diversified employment opportunities to achieve full employment, increased income and job choice, and improved living standards for Hawaii's people, while at the same time stimulating the development and expansion of economic activities capitalizing on defense, dual-use, and science and technology assets, particularly on the neighbor islands where employment opportunities may be limited.		√
(2)	A steadily growing and diversified economic base that is not overly dependent on a few industries, and includes the development and expansion of industries on the neighbor islands.		✓
Pol	icies:		
(1)	Promote and encourage entrepreneurship within Hawaii by residents and nonresidents of the State.		✓
(2)	Expand Hawaii's national and international marketing, communication, and organizational ties, to increase the State's capacity to adjust to and capitalize upon economic changes and opportunities occurring outside the State.		✓
(3)	Promote Hawaii as an attractive market for environmentally and socially sound investment activities that benefit Hawaii's people.		✓
(4)	Transform and maintain Hawaii as a place that welcomes and facilitates innovative activity that may lead to commercial opportunities.		✓
(5)	Promote innovative activity that may pose initial risks, but ultimately contribute to the economy of Hawaii.		✓
(6)	Seek broader outlets for new or expanded Hawaii business investments.		✓
(7)	Expand existing markets and penetrate new markets for Hawaii's products and services.		✓
(8)	Assure that the basic economic needs of Hawaii's people are maintained in the event of disruptions in overseas transportation.		✓
(9)	Strive to achieve a level of construction activity responsive to, and consistent with, state growth objectives.		✓
(10)	Encourage the formation of cooperatives and other favorable marketing arrangements at the local or regional level to assist Hawaii's small scale producers, manufacturers, and distributors.		✓
(11)	Encourage labor-intensive activities that are economically satisfying and which offer opportunities for upward mobility.		✓
(12)	Encourage innovative activities that may not be labor-intensive, but may otherwise contribute to the economy of Hawaii.		✓
(13)	Foster greater cooperation and coordination between the government and private sectors in developing Hawaii's employment and economic growth		✓

Hawai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, Objectives and Policies Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable opportunities.	S N/S	N/A
(14) Stimulate the development and expansion of economic activities which will benefit areas with substantial or expected employment problems.		✓
(15) Maintain acceptable working conditions and standards for Hawaii's workers.		✓
(16) Provide equal employment opportunities for all segments of Hawaii's population through affirmative action and nondiscrimination measures.		✓
(17) Stimulate the development and expansion of economic activities capitalizing on defense, dual-use, and science and technology assets, particularly on the neighbor islands where employment opportunities may be limited.		✓
(18) Encourage businesses that have favorable financial multiplier effects within Hawaii's economy, particularly with respect to emerging industries in science and technology.		✓
(19) Promote and protect intangible resources in Hawaii, such as scenic beauty and the aloha spirit, which are vital to a healthy economy.		✓
(20) Increase effective communication between the educational community and the private sector to develop relevant curricula and training programs to meet future employment needs in general, and requirements of new or innovative potential growth industries in particular.		✓
(21) Foster a business climate in Hawaiiincluding attitudes, tax and regulatory policies, and financial and technical assistance programs that is conducive to the expansion of existing enterprises and the creation and attraction of new business and industry.		✓
Analysis: Not Applicable.		
Chapter 226-7 Objectives and policies for the economy – – agriculture.		
<u>Objectives</u> : Planning for the State's economy with regard to agriculture shall be dachievement of the following objectives:	lirected tow	ards
(1) Viability of Hawaii's sugar and pineapple industries.		✓
(2) Growth and development of diversified agriculture throughout the State.		✓
(3) An agriculture industry that continues to constitute a dynamic and essential component of Hawaii's strategic, economic, and social well-being.		✓
Policies:		
(1) Establish a clear direction for Hawaii's agriculture through stakeholder commitment and advocacy.		✓
(2) Encourage agriculture by making the best use of natural resources.		✓
(3) Provide the governor and the legislature with information and options needed for prudent decision-making for the development of agriculture.		✓

Ana	lysis: Not Applicable.			
(18)	Increase and develop small-scale farms.			✓
(17)	Perpetuate, promote, and increase use of traditional Hawaiian farming systems, such as the use of loko i'a, māla, and irrigated lo'i, and growth of traditional Hawaiian crops, such as kalo, 'uala, and 'ulu.			✓
(16)	Facilitate the transition of agricultural lands in economically nonfeasible agricultural production to economically viable agricultural uses.			✓
(15)	Institute and support programs and activities to assist the entry of displaced agricultural workers into alternative agricultural or other employment.			√
(14)	Promote and assist in the establishment of sound financial programs for diversified agriculture.			✓
(13)	Promote economically competitive activities that increase Hawaii's agricultural self-sufficiency, including the increased purchase and use of Hawaii-grown food and food products by residents, businesses, and governmental bodies as defined under section 103D-104.			✓
(12)	In addition to the State's priority on food, expand Hawaii's agricultural base by promoting growth and development of flowers, tropical fruits and plants, livestock, feed grains, forestry, food crops, aquaculture, and other potential enterprises.			✓
(11)	Increase the attractiveness and opportunities for an agricultural education and livelihood.			✓
(10)	Assure the availability of agriculturally suitable lands with adequate water to accommodate present and future needs.			✓
	Enhance agricultural growth by providing public incentives and encouraging private initiatives.			✓
, í	Support research and development activities that strengthen economic productivity in agriculture, stimulate greater efficiency, and enhance the development of new products and agricultural by-products.			√
	Strengthen diversified agriculture by developing an effective promotion, marketing, and distribution system between Hawaii's food producers and consumers in the State, nation, and world.			✓
	Seek the enactment and retention of federal and state legislation that benefits Hawaii's agricultural industries.			✓
	Foster increased public awareness and understanding of the contributions and benefits of agriculture as a major sector of Hawaii's economy.			✓
	Establish strong relationships between the agricultural and visitor industries for mutual marketing benefits.			✓
Obj	vai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, ectives and Policies : S∕= Supportive, N/S = Not Supportive, N/A = Not Applicable	S	N/S	N/A

Ob Ke	wai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, jectives and Policies y: S = Supportive, N/S = Not Supportive, N/A = Not Applicable oter 226-8 Objective and policies for the economy — visitor industry.	S	N/S N	I/A
indus	ctive: Planning for the State's economy with regard to the visitor stry shall be directed towards the achievement of the objective of a visitor stry that constitutes a major component of steady growth for Hawaii's omy.		•	_
Polic	cies:			
(1)	Support and assist in the promotion of Hawaii's visitor attractions and facilities.		•	/
(2)	Ensure that visitor industry activities are in keeping with the social, economic, and physical needs and aspirations of Hawaii's people.		•	/
(3)	Improve the quality of existing visitor destination areas by utilizing Hawaii's strengths in science and technology.		•	/
(4)	Encourage cooperation and coordination between the government and private sectors in developing and maintaining well-designed, adequately serviced visitor industry and related developments which are sensitive to neighboring communities and activities.		•	/
(5)	Develop the industry in a manner that will continue to provide new job opportunities and steady employment for Hawaii's people.		•	/
(6)	Provide opportunities for Hawaii's people to obtain job training and education that will allow for upward mobility within the visitor industry.		•	/
(7)	Foster a recognition of the contribution of the visitor industry to Hawaii's economy and the need to perpetuate the aloha spirit.		v	/
(8)	Foster an understanding by visitors of the aloha spirit and of the unique and sensitive character of Hawaii's cultures and values.		٧	/
An	alysis: Not Applicable.			
Chap	oter 226-9 Objective and policies for the economy – – federal expenditure	s.		
expe	ctive: Planning for the State's economy with regard to federal nditures shall be directed towards achievement of the objective of a stable al investment base as an integral component of Hawaii's economy.		~	/
Polic	cies:	···		
(1)	Encourage the sustained flow of federal expenditures in Hawaii that generates long-term government civilian employment;		•	/
(2)	Promote Hawaii's supportive role in national defense, in a manner consistent with Hawaii's social, environmental, and cultural goals by building upon dual-use and defense applications to develop thriving ocean engineering, aerospace research and development, and related dual-use technology sectors in Hawaii's economy;		V	/
(3)	Promote the development of federally supported activities in Hawaii that respect statewide economic concerns, are sensitive to community needs, and minimize adverse impacts on Hawaii's environment;			/
(4)	Increase opportunities for entry and advancement of Hawaii's people into federal government service;		v	/

Obj Key	wai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, jectives and Policies y: S = Supportive, N/S = Not Supportive, N/A = Not Applicable	S	N/S	N/A
(5)	Promote federal use of local commodities, services, and facilities available in Hawaii;			✓
(6)	Strengthen federal-state-county communication and coordination in all federal activities that affect Hawaii; and			✓
(7)	Pursue the return of federally controlled lands in Hawaii that are not required for either the defense of the nation or for other purposes of national importance, and promote the mutually beneficial exchanges of land between federal agencies, the State, and the counties.			✓
Ana	alysis: Not Applicable.			
	oter 226-10 Objective and policies for the economy – – potential growth arities.	nd inr	ovativ	е
and i	ctive: Planning for the State's economy with regard to potential growth nnovative activities shall be directed towards achievement of the objective of lopment and expansion of potential growth and innovative activities that to increase and diversify Hawaii's economic base.			✓
Polic	ies:			
(1)	Facilitate investment and employment growth in economic activities that have the potential to expand and diversify Hawaii's economy, including but not limited to diversified agriculture, aquaculture, renewable energy development, creative media, health care, and science and technology-based sectors;			✓
(2)	Facilitate investment in innovative activity that may pose risks or be less labor-intensive than other traditional business activity, but if successful, will generate revenue in Hawaii through the export of services or products or substitution of imported services or products;			✓
(3)	Encourage entrepreneurship in innovative activity by academic researchers and instructors who may not have the background, skill, or initial inclination to commercially exploit their discoveries or achievements;			✓
(4)	Recognize that innovative activity is not exclusively dependent upon individuals with advanced formal education, but that many self-taught, motivated individuals are able, willing, sufficiently knowledgeable, and equipped with the attitude necessary to undertake innovative activity;			✓
(5)	Increase the opportunities for investors in innovative activity and talent engaged in innovative activity to personally meet and interact at cultural, art, entertainment, culinary, athletic, or visitor-oriented events without a business focus;			✓
(6)	Expand Hawaii's capacity to attract and service international programs and activities that generate employment for Hawaii's people;			✓
(7)	Enhance and promote Hawaii's role as a center for international relations, trade, finance, services, technology, education, culture, and the arts;			✓
(8)	Accelerate research and development of new energy-related industries based on wind, solar, ocean, underground resources, and solid waste;			✓

Hawai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, Objectives and Policies Key: S = Supportive, N/S ≈ Not Supportive, N/A = Not Applicable (9) Promote Hawaii's geographic, environmental, social, and technological	S	N/S	N/A
advantages to attract new or innovative economic activities into the State; (10) Provide public incentives and encourage private initiative to attract new or innovative industries that best support Hawaii's social, economic, physical, and environmental objectives;			✓
(11) Increase research and the development of ocean-related economic activities such as mining, food production, and scientific research;			✓
(12) Develop, promote, and support research and educational and training programs that will enhance Hawaii's ability to attract and develop economic activities of benefit to Hawaii;			✓
(13) Foster a broader public recognition and understanding of the potential benefits of new or innovative growth-oriented industry in Hawaii;			✓
(14) Encourage the development and implementation of joint federal and state initiatives to attract federal programs and projects that will support Hawaii's social, economic, physical, and environmental objectives;			✓
(15) Increase research and development of businesses and services in the telecommunications and information industries;			✓
(16) Foster the research and development of nonfossil fuel and energy efficient modes of transportation; and			✓
(17) Recognize and promote health care and health care information technology as growth industries.			✓
Analysis: Not Applicable.	1	I	
Chapter 226-10.5 Objectives and policies for the economy information ind	ustry	•	
Objective: Planning for the State's economy with regard to telecommunications and information technology shall be directed toward recognizing that broadband and wireless communication capability and infrastructure are foundations for an innovative economy and positioning Hawaii as a leader in broadband and wireless communications and applications in the Pacific Region.			✓
Policies:	•		
(1) Promote efforts to attain the highest speeds of electronic and wireless communication within Hawaii and between Hawaii and the world, and make high speed communication available to all residents and businesses in Hawaii;			✓
(2) Encourage the continued development and expansion of the telecommunications infrastructure serving Hawaii to accommodate future growth and innovation in Hawaii's economy;			✓
(3) Facilitate the development of new or innovative business and service ventures in the information industry which will provide employment opportunities for the people of Hawaii;			✓

	waiʻi State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, jectives and Policies y: S = Supportive, N/S = Not Supportive, N/A = Not Applicable		N/S	N/A
(4)	Encourage mainland- and foreign-based companies of all sizes, whether information technology-focused or not, to allow their principals, employees, or contractors to live in and work from Hawaii, using technology to communicate with their headquarters, offices, or customers located out-of-state;			✓
(5)	Encourage greater cooperation between the public and private sectors in developing and maintaining a well-designed information industry;			✓
(6)	Ensure that the development of new businesses and services in the industry are in keeping with the social, economic, and physical needs and aspirations of Hawaii's people;			✓
(7)	Provide opportunities for Hawaii's people to obtain job training and education that will allow for upward mobility within the information industry;			✓
(8)	Foster a recognition of the contribution of the information industry to Hawaii's economy; and			✓
(9)	Assist in the promotion of Hawaii as a broker, creator, and processor of information in the Pacific.			✓
An	alysis: Not Applicable.			
	oter 226-11 Objectives and policies for the physical environment – eline, and marine resources.	– laı	nd ba	sed,
	sjectives: Planning for the State's physical environment with regard preline, and marine resources shall be directed towards achievement of the follo			
(1)	Prudent use of Hawaii's land-based, shoreline, and marine resources.			✓
(2)				v
	Effective protection of Hawaii's unique and fragile environmental resources.			▼
Polic	resources.			▼
	resources.	✓		✓
(1)	resources. Eies: Exercise an overall conservation ethic in the use of Hawaii's natural	✓		✓
(1)	resources. Exercise an overall conservation ethic in the use of Hawaii's natural resources. Ensure compatibility between land-based and water-based activities and	✓		∀
(1) (2) (3)	resources. Exercise an overall conservation ethic in the use of Hawaii's natural resources. Ensure compatibility between land-based and water-based activities and natural resources and ecological systems. Take into account the physical attributes of areas when planning and			✓✓
(1) (2) (3) (4)	Exercise an overall conservation ethic in the use of Hawaii's natural resources. Ensure compatibility between land-based and water-based activities and natural resources and ecological systems. Take into account the physical attributes of areas when planning and designing activities and facilities. Manage natural resources and environs to encourage their beneficial and			✓✓✓
(1) (2) (3) (4) (5)	Exercise an overall conservation ethic in the use of Hawaii's natural resources. Ensure compatibility between land-based and water-based activities and natural resources and ecological systems. Take into account the physical attributes of areas when planning and designing activities and facilities. Manage natural resources and environs to encourage their beneficial and multiple use without generating costly or irreparable environmental damage. Consider multiple uses in watershed areas, provided such uses do not			* *
(1) (2) (3) (4) (5) (6)	Exercise an overall conservation ethic in the use of Hawaii's natural resources. Ensure compatibility between land-based and water-based activities and natural resources and ecological systems. Take into account the physical attributes of areas when planning and designing activities and facilities. Manage natural resources and environs to encourage their beneficial and multiple use without generating costly or irreparable environmental damage. Consider multiple uses in watershed areas, provided such uses do not detrimentally affect water quality and recharge functions. Encourage the protection of rare or endangered plant and animal species			✓✓✓✓

Hawai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, Objectives and Policies Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable	S	N/S	N/A
(9) Promote increased accessibility and prudent use of inland and shoreline areas for public recreational, educational, and scientific purposes.			√
Analysis: The proposed project is to provide additional space to the ex Public Library by constructing a new, single-story building at the rear of building. The historic character of the existing library building will not impacted by the proposed project. BMPs will be implemented as part of ensure protection of Hawai'i's natural resources.	of the	e exis	ting sely
Chapter 226-12 Objective and policies for the physical environment $$ s beauty, and historic resources.	sceni	c, nal	ural
Objective: Planning for the State's physical environment shall be directed towards achievement of the objective of enhancement of Hawaii's scenic assets, natural beauty, and multi-cultural/historical resources.	✓		
Policies:			
(1) Promote the preservation and restoration of significant natural and historic resources.	✓		
(2) Provide incentives to maintain and enhance historic, cultural, and scenic amenities.			✓
(3) Promote the preservation of views and vistas to enhance the visual and aesthetic enjoyment of mountains, ocean, scenic landscapes, and other natural features.	✓	:	
(4) Protect those special areas, structures, and elements that are an integral and functional part of Hawaii's ethnic and cultural heritage.	✓		
(5) Encourage the design of developments and activities that complement the natural beauty of the islands.	✓		
Analysis: The proposed project is to provide additional space to the existence of the proposed project is to provide additional space to the existing Library building at the rear continuous. The historic character of the existing library building will not impacted by the proposed project.	of the	exist	ting
Chapter 226-13 Objectives and policies for the physical environment — land quality.	l, air,	and w	ater
Objectives: Planning for the State's physical environment with regard to land, a quality shall be directed towards achievement of the following objectives.	air, ar	nd wat	er
(1) Maintenance and pursuit of improved quality in Hawaii's land, air, and water resources.			✓
(2) Greater public awareness and appreciation of Hawaii's environmental resources.			✓
Policies:			
(1) Foster educational activities that promote a better understanding of Hawaii's limited environmental resources.			✓
(2) Promote the proper management of Hawaii's land and water resources.			✓

Hawai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals Objectives and Policies Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable	5	N/S	N/A
(3) Promote effective measures to achieve desired quality in Hawaii's surface, ground, and coastal waters.			✓
(4) Encourage actions to maintain or improve aural and air quality levels to enhance the health and well-being of Hawaii's people.			✓
(5) Reduce the threat to life and property from erosion, flooding, tsunamis, hurricanes, earthquakes, volcanic eruptions, and other natural or man- induced hazards and disasters.			✓
(6) Encourage design and construction practices that enhance the physical qualities of Hawaii's communities.	✓		
(7) Encourage urban developments in close proximity to existing services and facilities.	✓		
(8) Foster recognition of the importance and value of the land, air, and water resources to Hawaii's people, their cultures and visitors.			✓
Analysis: The proposed project is to provide additional space to the expublic Library by constructing a new, single-story building at the rear building. The historic character of the existing library building will no impacted by the proposed project. The subject property is located in closexisting services and facilities in Kaunakakai Town.	of the	exisely	ting be
Chapter 226-14 Objective and policies for facility systems – – in general.			
Objective: Planning for the State's facility systems in general shall be directed towards achievement of the objective of water, transportation, waste disposal; and energy and telecommunication systems that support statewide social, economic, and physical objectives.			✓
Policies:			
(1) Accommodate the needs of Hawaii's people through coordination of facility systems and capital improvement priorities in consonance with state and county plans.			✓
(2) Encourage flexibility in the design and development of facility systems to promote prudent use of resources and accommodate changing public demands and priorities.			✓
(3) Ensure that required facility systems can be supported within resource capacities and at reasonable cost to the user.			✓
(4) Pursue alternative methods of financing programs and projects and cost- saving techniques in the planning, construction, and maintenance of facility systems.			✓
Analysis: Not Applicable.			
Chapter 226-15 Objectives and policies for facility systems – – solid and liq	uid w	aste.	
Objectives: Planning for the State's facility systems with regard to solid and lice be directed towards the achievement of the following objectives:	luid w	astes s	shall
(1) Maintenance of basic public health and sanitation standards relating to treatment and disposal of solid and liquid wastes.			✓
(2) Provision of adequate sewerage facilities for physical and economic activities that alleviate problems in housing, employment, mobility, and			✓

Hawai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, Objectives and Policies Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable other areas.	N/S N/A
Policies:	
(1) Encourage the adequate development of sewerage facilities that complement planned growth.	✓
(2) Promote re-use and recycling to reduce solid and liquid wastes and employ a conservation ethic.	✓
(3) Promote research to develop more efficient and economical treatment and disposal of solid and liquid wastes.	✓
Analysis: Not Applicable.	
Chapter 226-16 Objective and policies for facility systems – – water.	
Objective: Planning for the State's facility systems with regard to water shall be directed towards achievement of the objective of the provision of water to adequately accommodate domestic, agricultural, commercial, industrial, recreational, and other needs within resource capacities.	1
Policies:	
(1) Coordinate development of land use activities with existing and potential water supply.	✓
(2) Support research and development of alternative methods to meet future water requirements well in advance of anticipated needs.	✓
(3) Reclaim and encourage the productive use of runoff water and wastewater discharges.	✓
(4) Assist in improving the quality, efficiency, service, and storage capabilities of water systems for domestic and agricultural use.	✓
(5) Support water supply services to areas experiencing critical water problems.	✓
(6) Promote water conservation programs and practices in government, private industry, and the general public to help ensure adequate water to meet long-term needs.	✓
Analysis: Not Applicable.	
Chapter 226-17 Objectives and policies for facility systems – – transportation.	
Objectives: Planning for the State's facility systems with regard to transportation directed towards the achievement of the following objectives:	shall be
(1) An integrated multi-modal transportation system that services statewide needs and promotes the efficient, economical, safe, and convenient movement of people and goods.	✓
(2) A statewide transportation system that is consistent with and will accommodate planned growth objectives throughout the State.	✓
Policies:	
(1) Design, program, and develop a multi-modal system in conformance with desired growth and physical development as stated in this chapter;	✓
(2) Coordinate state, county, federal, and private transportation activities and programs toward the achievement of statewide objectives;	✓

Hawai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, Objectives and Policies Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable	S	N/S	N/A
(3) Encourage a reasonable distribution of financial responsibilities for transportation among participating governmental and private parties;			√
(4) Provide for improved accessibility to shipping, docking, and storage facilities;			✓
(5) Promote a reasonable level and variety of mass transportation services that adequately meet statewide and community needs;			✓
(6) Encourage transportation systems that serve to accommodate present and future development needs of communities;			✓
(7) Encourage a variety of carriers to offer increased opportunities and advantages to interisland movement of people and goods;			✓
(8) Increase the capacities of airport and harbor systems and support facilities to effectively accommodate transshipment and storage needs;			✓
(9) Encourage the development of transportation systems and programs which would assist statewide economic growth and diversification;			✓
(10) Encourage the design and development of transportation systems sensitive to the needs of affected communities and the quality of Hawaii's natural environment;			✓
(11) Encourage safe and convenient use of low-cost, energy-efficient, non-polluting means of transportation;			✓
(12) Coordinate intergovernmental land use and transportation planning activities to ensure the timely delivery of supporting transportation infrastructure in order to accommodate planned growth objectives; and			✓
(13) Encourage diversification of transportation modes and infrastructure to promote alternate fuels and energy efficiency.			✓
Analysis: Not Applicable.			
Chapter 226-18 Objectives and policies for facility systems – – energy.			
Objectives: Planning for the State's facility systems with regard to energy s toward the achievement of the following objectives, giving due consideration to all:	hall b	e dire	cted
 Dependable, efficient, and economical statewide energy systems capable of supporting the needs of the people; 			√
(2) Increased energy security and self-sufficiency through the reduction and ultimate elimination of Hawaii's dependence on imported fuels for electrical generation and ground transportation.			✓
(3) Greater diversification of energy generation in the face of threats to Hawaii's energy supplies and systems;			✓
(4) Reduction, avoidance, or sequestration of greenhouse gas emissions from energy supply and use; and			✓
(5) Utility models that make the social and financial interests of Hawaii's utility customers a priority.			✓
(b) To achieve the energy objectives, it shall be the policy of this State to ensure the short- and long-term provision of adequate, reasonably prices, and dependable energy services to accommodate demand.			✓

Hawai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals Objectives and Policies Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable Policies:	S	N/S N/A
 Support research and development as well as promote the use of renewable energy sources; 		✓
(2) Ensure that the combination of energy supplies and energy-saving systems is sufficient to support the demands of growth;		✓
(3) Base decisions of least-cost supply-side and demand-side energy resource options on a comparison of their total costs and benefits when a least-cost is determined by a reasonably comprehensive, quantitative, and qualitative accounting of their long-term, direct and indirect economic, environmental, social, cultural, and public health costs and benefits;		✓
(4) Promote all cost-effective conservation of power and fuel supplies through measures, including:		✓
(A) Development of cost-effective demand-side management programs;		✓
(B) Education;		✓
(C) Adoption of energy-efficient practices and technologies; and		✓
(D) Increasing energy efficiency and decreasing energy use in public infrastructure		✓
(5) Ensure, to the extent that new supply-side resources are needed, that the development or expansion of energy systems uses the least-cost energy supply option and maximizes efficient technologies; and		✓
(6) Support research, development, demonstration, and use of energy efficiency, load management, and other demand-side management programs, practices, and technologies;		✓
(7) Promote alternate fuels and transportation energy efficiency;		✓
(8) Support actions that reduce, avoid, or sequester greenhouse gases in utility, transportation, and industrial sector applications;		✓
(9) Support actions that reduce, avoid, or sequester Hawaii's greenhouse gas emissions through agriculture and forestry initiatives;		✓
(10) Provide priority handling and processing for all state and county permits required for renewable energy projects;		✓
(11) Ensure that liquefied natural gas is used only as a cost-effective transitional, limited-term replacement of petroleum for electricity generation and does not impede the development and use of other cost-effective renewable energy sources; and		✓
(12) Promote the development of indigenous geothermal energy resources that are located on public trust land as an affordable and reliable source of firm power for Hawaii.		√
Analysis: Not Applicable.		
Chapter 226-18.5 Objectives and policies for facility systems – – telecommun	icatio	ns.
Objectives:		
(a) Planning for the State's telecommunications facility systems shall be		✓

Ob	wai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, jectives and Policies y: S = Supportive, N/S = Not Supportive, N/A = Not Applicable directed towards the achievement of dependable, efficient, and	S	N/S	N/A
	economical statewide telecommunications systems capable of supporting the needs of the people.			
(b)	To achieve the telecommunications objective, it shall be the policy of this State to ensure the provision of adequate, reasonably priced, and dependable telecommunications services to accommodate demand.			✓
Polic	cies:			
(1)	Facilitate research and development of telecommunications systems and resources;			✓
(2)	Encourage public and private sector efforts to develop means for adequate, ongoing telecommunications planning;			✓
(3)	Promote efficient management and use of existing telecommunications systems and services; and			✓
(4)	Facilitate the development of education and training of telecommunications personnel.			✓
An	alysis: Not Applicable.			
Chap	oter 226-19 Objectives and policies for socio-cultural advancement – – ho	using	j.	
	ctives: Planning for the State's socio-cultural advancement with regard be directed toward the achievement of the following objectives:	to h	ousing	J
(1)	Greater opportunities for Hawaii's people to secure reasonably priced, safe, sanitary, and livable homes, located in suitable environments that satisfactorily accommodate the needs and desires of families and individuals, through collaboration and cooperation between government and nonprofit and for-profit developers to ensure that more affordable housing is made available to very low-, low- and moderate-income segments of Hawaii's population.			✓
(2)	The orderly development of residential areas sensitive to community needs and other land uses.			✓
(3)	The development and provision of affordable rental housing by the State to meet the housing needs of Hawaii's people.			✓
Polic	iles:			
(1)	Effectively accommodate the housing needs of Hawaii's people.			✓
(2)	Stimulate and promote feasible approaches that increase housing choices for low-income, moderate-income, and gap-group households.			✓
(3)	Increase homeownership and rental opportunities and choices in terms of quality, location, cost, densities, style, and size of housing.			✓
(4)	Promote appropriate improvement, rehabilitation, and maintenance of existing housing units and residential areas.			✓
	Promote design and location of housing developments taking into account the physical setting, accessibility to public facilities and services, and other concerns of existing communities and surrounding areas.			✓
(6)	Facilitate the use of available vacant, developable, and underutilized urban lands for housing.			✓

Hawai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, Objectives and Policies Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable S N/S	N/A
(7) Foster a variety of lifestyles traditional to Hawaii through the design and maintenance of neighborhoods that reflect the culture and values of the community.	✓
(8) Promote research and development of methods to reduce the cost of housing construction in Hawaii.	✓
Analysis: Not Applicable.	
Chapter 226-20 Objectives and policies for socio-cultural advancement — health.	
Objectives: Planning for the State's socio-cultural advancement with regard to health sha directed towards achievement of the following objectives:	ll be
(1) Fulfillment of basic individual health needs of the general public.	✓
(2) Maintenance of sanitary and environmentally healthful conditions in Hawaii's communities.	✓
(3) Elimination of health disparities by identifying and addressing social determinants of health.	✓
Policies:	
(1) Provide adequate and accessible services and facilities for prevention and treatment of physical and mental health problems, including substance abuse.	✓
(2) Encourage improved cooperation among public and private sectors in the provision of health care to accommodate the total health needs of individuals throughout the State.	✓
(3) Encourage public and private efforts to develop and promote statewide and local strategies to reduce health care and related insurance costs.	✓
(4) Foster an awareness of the need for personal health maintenance and preventive health care through education and other measures.	✓
(5) Provide programs, services, and activities that ensure environmentally healthful and sanitary conditions.	✓
(6) Improve the State's capabilities in preventing contamination by pesticides and other potentially hazardous substances through increased coordination, education, monitoring, and enforcement.	✓
(7) Prioritize programs, services, interventions, and activities that address identified social determinants of health to improve native Hawaiian health and well-being consistent with the United States Congress' declaration of policy as codified in title 42 United States Code section 11702, and to reduce health disparities of disproportionately affected demographics, including native Hawaiians, other Pacific Islanders, and Filipinos. The prioritization of affected demographic groups other than native Hawaiians may be reviewed every ten years and revised based on the best available epidemiological and public health data.	✓
Analysis: Not Applicable.	

Ob Ke	waiʻi State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, jectives and Policjes y: S = Supportive, N/S = Not Supportive, N/A = Not Applicable oter 226-21 Objectives and policies for Socio-cultural advancement – – ed	s	1	N/A
Obje to e provi	ctive: Planning for the State's socio-cultural advancement with regard ducation shall be directed towards achievement of the objective of the sion of a variety of educational opportunities to enable individuals to fulfill their s, responsibilities, and aspirations.	✓		
Polic	cies:			
(1)	Support educational programs and activities that enhance personal development, physical fitness, recreation, and cultural pursuits of all groups.	1		
(2)	Ensure the provision of adequate and accessible educational services and facilities that are designed to meet individual and community needs.	✓		
(3)	Provide appropriate educational opportunities for groups with special needs.	1		
(4)	Promote educational programs which enhance understanding of Hawaii's cultural heritage.			1
(5)	Provide higher educational opportunities that enable Hawaii's people to adapt to changing employment demands.			✓
(6)	Assist individuals, especially those experiencing critical employment problems or barriers, or undergoing employment transitions, by providing appropriate employment training programs and other related educational opportunities.			✓
(7)	Promote programs and activities that facilitate the acquisition of basic skills, such as reading, writing, computing, listening, speaking, and reasoning.			✓
(8)	Emphasize quality educational programs in Hawaii's institutions to promote academic excellence.			✓
(9)	Support research programs and activities that enhance the education programs of the State.			✓
Pu bui for AD op	alysis: The proposed project is to provide additional space to the exiblic Library by constructing a new, single-story building at the rear cilding. The new building will accommodate a new Community Room that various library activities including educational programs. The new be A compliant and, therefore, it will be able to provide appropriat portunities for groups with special needs.	of the at car uildir e ed	e exis n be u ng wil ucatio	ting sed I be onal
Chap	oter 226-22 Objective and policies for socio-cultural advancement – – soc	ial s	ervice	s.
to so impro famili	ctive: Planning for the State's socio-cultural advancement with regard cial services shall be directed towards the achievement of the objective of oved public and private social services and activities that enable individuals, es, and groups to become more self-reliant and confident to improve their being.			✓
Polic	ies:			
(1)	Assist individuals, especially those in need of attaining a minimally adequate standard of living and those confronted by social and economic hardship conditions, through social services and activities within the State's fiscal capacities.			✓
(2)	Promote coordination and integrative approaches among public and private agencies and programs to jointly address social problems that will enable			✓

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Ob	wai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, jectives and Policies y: S = Supportive, N/S = Not Supportive, N/A = Not Applicable	S	N/S	N/A
	individuals, families, and groups to deal effectively with social problems and to enhance their participation in society.			
(3)	Facilitate the adjustment of new residents, especially recently arrived immigrants, into Hawaii's communities.			✓
(4)	Promote alternatives to institutional care in the provision of long-term care for elder and disabled populations.			✓
(5)	Support public and private efforts to prevent domestic abuse and child molestation, and assist victims of abuse and neglect.			✓
(6)	Promote programs which assist people in need of family planning services to enable them to meet their needs.			✓
An	alysis: Not Applicable.	L		
1274100000000000000000000000000000000000	oter 226-23 Objective and policies for socio-cultural advancement – – leisu	re.		
Obje to le adeq	ctive: Planning for the State's socio-cultural advancement with regard isure shall be directed towards the achievement of the objective of the uate provision of resources to accommodate diverse cultural, artistic, and eational needs for present and future generations.	✓		
Polic	cies:		J.,	
(1)	Foster and preserve Hawaii's multi-cultural heritage through supportive cultural, artistic, recreational, and humanities-oriented programs and activities.	✓		
(2)	Provide a wide range of activities and facilities to fulfill the cultural, artistic, and recreational needs of all diverse and special groups effectively and efficiently.	✓		
(3)	Enhance the enjoyment of recreational experiences through safety and security measures, educational opportunities, and improved facility design and maintenance.	✓		
(4)	Promote the recreational and educational potential of natural resources having scenic, open space, cultural, historical, geological, or biological values while ensuring that their inherent values are preserved.			✓
(5)	Ensure opportunities for everyone to use and enjoy Hawaii's recreational resources.			✓
(6)	Assure the availability of sufficient resources to provide for future cultural, artistic, and recreational needs.			✓
(7)	Provide adequate and accessible physical fitness programs to promote the physical and mental well-being of Hawaii's people.			✓
(8)	Increase opportunities for appreciation and participation in the creative arts, including the literary, theatrical, visual, musical, folk, and traditional art forms.			✓
(9)	Encourage the development of creative expression in the artistic disciplines to enable all segments of Hawaii's population to participate in the creative arts.			✓

Hawai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals. Objectives and Policies Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable	S	N/S	N/A
(10) Assure adequate access to significant natural and cultural resources in public ownership.			✓
Analysis: The proposed project is to provide additional space to the expublic Library in order to enhance the overall level of service that is provide the library. The improvements include a new Community Room that cavarious activities, including cultural, artistic, and recreational programs.	ded to	user	s of
Chapter 226-24 Objective and policies for socio-cultural advancement $\mathbf{-}$ - in and personal well-being.	ıdivic	lual ri	ghts
Objective: Planning for the State's socio-cultural advancement with regard to individual rights and personal well-being shall be directed towards achievement of the objective of increased opportunities and protection of individual rights to enable individuals to fulfill their socio-economic needs and aspirations.			✓
Policies:			
(1) Provide effective services and activities that protect individuals from criminal acts and unfair practices and that alleviate the consequences of criminal acts in order to foster a safe and secure environment.			✓
(2) Uphold and protect the national and state constitutional rights of every individual.			✓
(3) Assure access to, and availability of, legal assistance, consumer protection, and other public services which strive to attain social justice.			✓
(4) Ensure equal opportunities for individual participation in society.	<u></u>		✓
Analysis: Not Applicable.			
Chapter 226-25 Objective and policies for socio-cultural advancement — – cultu	ıre.		
Objective: Planning for the State's socio-cultural advancement with regard to culture shall be directed toward the achievement of the objective of enhancement of cultural identities, traditions, values, customs, and arts of Hawaii's people.	✓		
Policies:			
(1) Foster increased knowledge and understanding of Hawaii's ethnic and cultural heritages and the history of Hawaii.			✓
(2) Support activities and conditions that promote cultural values, customs, and arts that enrich the lifestyles of Hawaii's people and which are sensitive and responsive to family and community needs.	✓		
(3) Encourage increased awareness of the effects of proposed public and private actions on the integrity and quality of cultural and community lifestyles in Hawaii.			✓
(4) Encourage the essence of the aloha spirit in people's daily activities to promote harmonious relationships among Hawaii's people and visitors.			✓
Analysis: The proposed project is to provide additional space to the ex Public Library in order to enhance the overall level of service that is provide the library. The improvements include a new Community Room that ca various activities, including programs related to Hawaiian culture, customs	ded to an be	user: used	s of

Ob	waiʻi State Plan, Chapter 226, HRS Part I. Overall Themes, Goals, jectives and Policies y: S = Supportive, N/S = Not Supportive, N/A = Not Applicable	S	N/S	N/A
Cha	pter 226-26 Objectives and policies for socio-cultural advancement – – pu	ıblic s	afety	
	pjective: Planning for the State's socio-cultural advancement with regard to directed towards the achievement of the following objectives:	oublic	safety	/ shall
(1)	Assurance of public safety and adequate protection of life and property for all people.			✓
(2)	Optimum organizational readiness and capability in all phases of emergency management to maintain the strength, resources, and social and economic well-being of the community in the event of civil disruptions, wars, natural disasters, and other major disturbances.			√
(3)	Promotion of a sense of community responsibility for the welfare and safety of Hawaii's people.			✓
Po	licies (Public Safety):			
(1)	Ensure that public safety programs are effective and responsive to community needs.			✓
(2)	Encourage increased community awareness and participation in public safety programs.		_	✓
Pol	licies (Public Safety-Criminal Justice):			
(1)	Support criminal justice programs aimed at preventing and curtailing criminal activities.			✓
(2)	Develop a coordinated, systematic approach to criminal justice administration among all criminal justice agencies.			✓
(3)	Provide a range of correctional resources which may include facilities and alternatives to traditional incarceration in order to address the varied security needs of the community and successfully reintegrate offenders into the community.			✓
Pol	licies (Public Safety – Emergency Management):			
(1)	Ensure that responsible organizations are in a proper state of readiness to respond to major war-related, natural, or technological disasters and civil disturbances at all times.			✓
(2)	Enhance the coordination between emergency management programs throughout the State.			✓
An	alysis: Not Applicable.			
Chap	oter 226-27 Objectives and policies for socio-cultural advancement – – go	verni	nent.	
	be directed towards the achievement of the following objectives:	to go	vernn	nent
(1)	Efficient, effective, and responsive government services at all levels in the State.	✓		
(2)	Fiscal integrity, responsibility, and efficiency in the state government and county governments.			✓
Pol	licies:			
(1)	Provide for necessary public goods and services not assumed by the private sector.	✓		

	timulate the responsibility in citizens to productively participate in overnment for a better Hawaii.		✓		
	ssure that government attitudes, actions, and services are sensitive to ommunity needs and concerns.		✓		
(6) Provide for a balanced fiscal budget.					
(7) Im	nprove the fiscal budgeting and management system of the State.		✓		
ind	romote the consolidation of state and county governmental functions to crease the effective and efficient delivery of government programs and ervices and to eliminate duplicative services wherever feasible.		✓		
	i State Plan, Chapter 226, HRS Part III, Priority Guidelines 5 = Supportive, N/S = Not Supportive, N/A = Not Applicable)	s N/s	N/A		
(Key: S Chapte					
(Key: S Chapte address Chapte present areas or and lan	s = Supportive, N/S = Not Supportive, N/A = Not Applicable) er 226-101: Purpose. The purpose of this part is to establish overall priority	guideline life for H in seven	s to awaii's major growth		
Chapte address Chapte present areas o and lan principle	er 226-101: Purpose. The purpose of this part is to establish overall priority is areas of statewide concern. er 226-102: Overall direction. The State shall strive to improve the quality of and future population through the pursuit of desirable courses of action if statewide concern which merit priority attention: economic development, pour resource management, affordable housing, crime and criminal justice, qui	guideline life for H in seven	s to awaii's major growth		
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Hawai'i State Plan, Chapter 226, HRS Part I. Overall Themes, Goals,

(2) Pursue an openness and responsiveness in government that permits the

S

N/S

N/A

Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable

(3) Minimize the size of government to that necessary to be effective.

flow of public information, interaction, and response.

Objectives and Policies

Hawai'i State Plan, Chapter 226, HRS Part III, Priority Guidelines (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	G.	N/S	N/A
(B) Encourage investments in innovative activities that have a nexus to the State, such as:			✓
(i) Present or former residents acting as entrepreneurs or principals;	<u></u>		✓
(ii) Academic support from an institution of higher education in Hawaii;			✓
(iii) Investment interest from Hawaii residents;			✓
(iv) Resources unique to Hawaii that are required for innovative activity; and			✓
(v) Complementary or supportive industries or government programs or projects.			✓
(2) Encourage the expansion of technological research to assist industry development and support the development and commercialization of technological advancements.			✓
(3) Improve the quality, accessibility, and range of services provided by government to business, including data and reference services and assistance in complying with governmental regulations.			✓
(4) Seek to ensure that state business tax and labor laws and administrative policies are equitable, rational, and predictable.			✓
(5) Streamline the processes for building and development permit and review, and telecommunication infrastructure installation approval and eliminate or consolidate other burdensome or duplicative governmental requirements imposed on business, where scientific evidence indicates that public health, safety and welfare would not be adversely affected.			✓
(6) Encourage the formation of cooperatives and other favorable marketing or distribution arrangements at the regional or local level to assist Hawaii's small-scale producers, manufacturers, and distributors.			✓
(7) Continue to seek legislation to protect Hawaii from transportation interruptions between Hawaii and the continental United States.			✓
(8) Provide public incentives and encourage private initiative to develop and attract industries which promise long-term growth potentials and which have the following characteristics:			✓
(A) An industry that can take advantage of Hawaii's unique location and available physical and human resources.			✓
(B) A clean industry that would have minimal adverse effects on Hawaii's environment.			✓
(C) An industry that is willing to hire and train Hawaii's people to meet the industry's labor needs at all levels of employment.			✓
(D) An industry that would provide reasonable income and steady employment.			√
(9) Support and encourage, through educational and technical assistance programs and other means, expanded opportunities for employee ownership and participation in Hawaii business.			✓
(10) Enhance the quality of Hawaii's labor force and develop and maintain career opportunities for Hawaii's people through the following actions:			✓
(A) Expand vocational training in diversified agriculture, aquaculture, information industry, and other areas where growth is desired and feasible.			✓
(B) Encourage more effective career counseling and guidance in high schools and post-secondary institutions to inform students of present and future career opportunities.			✓

Hawaiʻi State Plan, Chapter 226, HRS Part III, Priority Guidelines (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)			
(C) Allocate educational resources to career areas where his		N/S I	N/A ✓
employment is expected and where growth of new industries desired.			
(D) Promote career opportunities in all industries for Hawaii's people encouraging firms doing business in the State to hire residents.	by		√
 (E) Promote greater public and private sector cooperation in determini industrial training needs and in developing relevant curricula and c the-job training opportunities. 			✓
(F) Provide retraining programs and other support services to ass entry of displaced workers into alternative employment.	ist		✓
(b) Priority guidelines to promote the economic health and quality of the	visitor	industry	/ :
(1) Promote visitor satisfaction by fostering an environment which enhanc the Aloha Spirit and minimizes inconveniences to Hawaii's residents a visitors.			✓
(2) Encourage the development and maintenance of well-designed adequately serviced hotels and resort destination areas which a sensitive to neighboring communities and activities and which provide the adequate shoreline setbacks and beach access.	are		✓
(3) Support appropriate capital improvements to enhance the quality existing resort destination areas and provide incentives to encoura- investment in upgrading, repair, and maintenance of visitor facilities.			✓
(4) Encourage visitor industry practices and activities which respe- preserve, and enhance Hawaii's significant natural, scenic, historic, a cultural resources.			✓
(5) Develop and maintain career opportunities in the visitor industry f Hawaii's people, with emphasis on managerial positions.			✓
(6) Support and coordinate tourism promotion abroad to enhance Hawai share of existing and potential visitor markets.			✓
(7) Maintain and encourage a more favorable resort investment clima consistent with the objectives of this chapter.			✓
(8) Support law enforcement activities that provide a safer environment to both visitors and residents alike.			✓
(9) Coordinate visitor industry activities and promotions to business visitor through the state network of advanced data communication techniques			√
(c) Priority guidelines to promote the continued viability of the sug	ar and	pineap	ple
industries: (1) Provide adequate agricultural lands to support the economic viability	of		√
the sugar and pineapple industries. (2) Continue efforts to maintain federal support to provide stable sugar price high one ugh to allow profitable apporations in Hayroii	es		✓
high enough to allow profitable operations in Hawaii. (3) Support research and development, as appropriate, to improve the state of th	he		√
quality and production of sugar and pineapple crops. (d) Priority guidelines to promote the growth and development of diversifi aquaculture:	ied agric	culture a	and
(1) Identify, conserve, and protect agricultural and aquacultural lands	of		√
importance and initiate affirmative and comprehensive programs promote economically productive agricultural and aquacultural uses such lands.	to		•
(2) Assist in providing adequate, reasonably priced water for agricultur activities.	ral		✓

	State Plan, Chapter 226, HRS Part III, Priority Guidelines = Supportive, N/S = Not Supportive, N/A = Not Applicable)	65	N/S	N/A
(3)	Encourage public and private investment to increase water supply and to improve transmission, storage, and irrigation facilities in support of diversified agriculture and aquaculture.			✓
(4)	Assist in the formation and operation of production and marketing associations and cooperatives to reduce production and marketing costs.			✓
(5)	Encourage and assist with the development of a waterborne and airborne freight and cargo system capable of meeting the needs of Hawaii's agricultural community.			✓
(6)	Seek favorable freight rates for Hawaii's agricultural products from interisland and overseas transportation operators.			✓
	Encourage the development and expansion of agricultural and aquacultural activities which offer long-term economic growth potential and employment opportunities.			✓
(8)	Continue the development of agricultural parks and other programs to assist small independent farmers in securing agricultural lands and loans.			√
	Require agricultural uses in agricultural subdivisions and closely monitor the uses in these subdivisions.			✓
	Support the continuation of land currently in use for diversified agriculture.			√
(11)	Encourage residents and visitors to support Hawaii's farmers by purchasing locally grown food and food products.			✓
	ority guidelines for water use and development:			
(1)	Maintain and improve water conservation programs to reduce the overall water consumption rate.			✓
(2)	Encourage the improvement of irrigation technology and promote the use of nonpotable water for agricultural and landscaping purposes.			✓
(3)	Increase the support for research and development of economically feasible alternative water sources.			✓
(4)	Explore alternative funding sources and approaches to support future water development programs and water system improvements.			✓
(f) Pric	ority guidelines for energy use and development:			
	Encourage the development, demonstration, and commercialization of renewable energy sources.			✓
(2)	Initiate, maintain, and improve energy conservation programs aimed at reducing energy waste and increasing public awareness of the need to conserve energy.			✓
(3)	Provide incentives to encourage the use of energy conserving technology in residential, industrial, and other buildings.			✓
(4)	Encourage the development and use of energy conserving and cost- efficient transportation systems.			✓
(g) Pric	ority guidelines to promote the development of the information indus	try:		
(1)	Establish an information network, with an emphasis on broadband and wireless infrastructure and capability, that will serve as the foundation of and catalyst for overall economic growth and diversification in Hawaii.			✓
(2)	Encourage the development of services such as financial data processing, a products and services exchange, foreign language translations, telemarketing, teleconferencing, a twenty-four-hour international stock exchange, international banking, and a Pacific Rim management center.			✓

	State Plan, Chapter 226, HRS Part III, Priority Guidelines = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
(3)	Encourage the development of small businesses in the information field such as software development; the development of new information systems, peripherals, and applications; data conversion and data entry services; and home or cottage services such as computer programming, secretarial, and accounting services.			✓
(4)	Encourage the development or expansion of educational and training opportunities for residents in the information and telecommunications fields.			✓
(5)	Encourage research activities, including legal research in the information and telecommunications fields.			√
(6)	Support promotional activities to market Hawaii's information industry services.			✓
(7)	Encourage the location or co-location of telecommunication or wireless information relay facilities in the community, including public areas, where scientific evidence indicates that the public health, safety, and welfare would not be adversely affected.			✓
Analys	is: Not Applicable.			
	r 226-104: Population growth and land resources priority guidelines.			
	prity guidelines to effect desired statewide growth and distribution:			
(1)	Encourage planning and resource management to insure that population growth rates throughout the State are consistent with available and planned resource capacities and reflect the needs and desires of Hawaii's people.	✓		
	Manage a growth rate for Hawaii's economy that will parallel future employment needs for Hawaii's people.			✓
(3)	Ensure that adequate support services and facilities are provided to accommodate the desired distribution of future growth throughout the State.	✓		
(4)	Encourage major state and federal investments and services to promote economic development and private investment to the neighbor islands, as appropriate.			√
(5)	Explore the possibility of making available urban land, low-interest loans, and housing subsidies to encourage the provision of housing to support selective economic and population growth on the neighbor islands.			✓
(6)	Seek federal funds and other funding sources outside the State for research, program development, and training to provide future employment opportunities on the neighbor islands.			✓
(7)	Support the development of high technology parks on the neighbor islands.			✓
(b) Pric	ority guidelines for regional growth distribution and land resource uti	lizati	on:	
(1)	Encourage urban growth primarily to existing urban areas where adequate public facilities are already available or can be provided with reasonable public expenditures, and away from areas where other important benefits are present, such as protection of important agricultural land or preservation of lifestyles.			✓
(2)	Make available marginal or nonessential agricultural lands for appropriate urban uses while maintaining agricultural lands of importance in the agricultural district.			✓

	State Plan, Chapter 226, HRS Part III, Priority Guidelines = Supportive, N/S = Not Supportive, N/A = Not Applicable)	45	N/S	N/A
(3)	Restrict development when drafting of water would result in exceeding the sustainable yield or in significantly diminishing the recharge capacity of any groundwater area.			✓
(4)	Encourage restriction of new urban development in areas where water is insufficient from any source for both agricultural and domestic use.			✓
(5)	In order to preserve green belts, give priority to state capital-improvement funds which encourage location of urban development within existing urban areas except where compelling public interest dictates development of a noncontiguous new urban core.	and the second		✓
(6)	Seek participation from the private sector for the cost of building infrastructure and utilities, and maintaining open spaces.			✓
(7)	Pursue rehabilitation of appropriate urban areas.			\checkmark
(8)	Support the redevelopment of Kakaako into a viable residential, industrial, and commercial community.			✓
(9)	Direct future urban development away from critical environmental areas or impose mitigating measures so that negative impacts on the environment would be minimized.			✓
(10)	Identify critical environmental areas in Hawaii to include but not be limited to the following: watershed and recharge areas; wildlife habitats (on land and in the ocean); areas with endangered species of plants and wildlife; natural streams and water bodies; scenic and recreational shoreline resources; open space and natural areas; historic and cultural sites; areas particularly sensitive to reduction in water and air quality; and scenic resources.			✓
(11)	Identify all areas where priority should be given to preserving rural character and lifestyle.			√
(12)	Utilize Hawaii's limited land resources wisely, providing adequate land to accommodate projected population and economic growth needs while ensuring the protection of the environment and the availability of the shoreline, conservation lands, and other limited resources for future generations.	✓		
(13)	Protect and enhance Hawaii's shoreline, open spaces, and scenic resources.			✓
	sis: The proposed project involves improvements to an existing re intended to provide additional space to the existing library in orderall level of service that is provided to users of the library.			
Chapte	r 226-105: Crime and criminal justice.			
Priority	guidelines in the area of crime and criminal justice:			
L	Support law enforcement activities and other criminal justice efforts that are directed to provide a safer environment.			✓
(2)	Target state and local resources on efforts to reduce the incidence of violent crime and on programs relating to the apprehension and prosecution of repeat offenders.			✓
(3)	Support community and neighborhood program initiatives that enable residents to assist law enforcement agencies in preventing criminal activities.			✓

	State Plan, Chapter 226, HRS Part III, Priority Guidelines = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
(4)	Reduce overcrowding or substandard conditions in correctional facilities through a comprehensive approach among all criminal justice agencies which may include sentencing law revisions and use of alternative sanctions other than incarceration for persons who pose no danger to their community.			√
(5)	Provide a range of appropriate sanctions for juvenile offenders, including community-based programs and other alternative sanctions.			✓
(6)	Increase public and private efforts to assist witnesses and victims of crimes and to minimize the costs of victimization.			1
Analys	is: Not Applicable.	J	l	
Chapte	r 226-106: Affordable housing.			
	guidelines for the provision of affordable housing:			
(1)	Seek to use marginal or nonessential agricultural land and public land to meet housing needs of low- and moderate-income and gap-group households.			√
	Encourage the use of alternative construction and development methods as a means of reducing production costs.			√
(3)	Improve information and analysis relative to land availability and suitability for housing.			✓
(4)	Create incentives for development which would increase home ownership and rental opportunities for Hawaii's low- and moderate-income households, gap-group households, and residents with special needs.			√
(5)	Encourage continued support for government or private housing programs that provide low interest mortgages to Hawaii's people for the purchase of initial owner-occupied housing.			✓
(6)	Encourage public and private sector cooperation in the development of rental housing alternatives.			√
(7)	Encourage improved coordination between various agencies and levels of government to deal with housing policies and regulations.			✓
(8)	Give higher priority to the provision of quality housing that is affordable for Hawaii's residents and less priority to development of housing intended primarily for individuals outside of Hawaii.			1
Analys	is: Not Applicable.			
Control of Control	r 226-107: Quality education.		and the second	
Priority	guidelines to promote quality education:			
	Pursue effective programs which reflect the varied district, school, and student needs to strengthen basic skills achievement;			✓
	Continue emphasis on general education "core" requirements to provide common background to students and essential support to other university programs;			✓
(3)	Initiate efforts to improve the quality of education by improving the capabilities of the education work force;			✓

	State Plan, Chapter 226, HRS Part III, Priority Guidelines = Supportive, N/S = Not Supportive, N/A = Not Applicable)			
	Promote increased opportunities for greater autonomy and flexibility of	S	N/S	N/A
	educational institutions in their decision making responsibilities;			
(5)	Increase and improve the use of information technology in education by			✓
	the availability of telecommunications equipment for:			
	(A) The electronic exchange of information; (B) Statewide electronic mail; and			✓ ✓ ✓
	(C) Access to the Internet.		,	
(6)	Encourage programs that increase the public's awareness and understanding of the impact of information technologies on our lives;			✓
(7)	Pursue the establishment of Hawaii's public and private universities and colleges as research and training centers of the Pacific;			✓
(8)	Develop resources and programs for early childhood education;			✓
	Explore alternatives for funding and delivery of educational services to improve the overall quality of education; and		_	✓
(10	Strengthen and expand educational programs and services for students with special needs.			✓
Analys	is: Not Applicable.			
CHAPT	ER 226-108: Sustainability			
Priority	guidelines and principles to promote sustainability shall include:			
(1)	Encouraging balanced economic, social, community, and environmental priorities;			✓
(2)	Encouraging planning that respects and promotes living within the natural resources and limits of the State;			✓
	Promoting a diversified and dynamic economy;			✓
	Encouraging respect for the host culture;			√
(5)	Promoting decisions based on meeting the needs of the present without compromising the needs of future generations;			✓
(6)	Considering the principles of the ahupuaa system; and			1
(7)	Emphasizing that everyone, including individuals, families, communities, businesses, and government, has the responsibility for achieving a sustainable Hawaii.			✓
Analys	is: Not Applicable.			
CHAPT	ER 226-109: Climate change adaptation			
Priority	guidelines and principles to promote climate change adaptation sha	ll inc	lude:	
	Ensure that Hawaii's people are educated, informed, and aware of the impacts climate change may have on their communities;			✓
(2)	Encourage community stewardship groups and local stakeholders to participate in planning and implementation of climate change policies;			✓
(3)	Invest in continued monitoring and research of Hawaii's climate and the impacts of climate change on the State;			✓
(4)	Consider native Hawaiian traditional knowledge and practices in planning for the impacts of climate change;			✓
(5)	Encourage the preservation and restoration of natural landscape features, such as coral reefs, beaches and dunes, forests, streams, floodplains, and wetlands, that have the inherent capacity to avoid, minimize, or mitigate the impacts of climate change;			✓

Hawai'i State Plan, Chapter 226, HRS Part III, Priority Guidelines (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
(6) Explore adaptation strategies that moderate harm or exploit beneficia opportunities in response to actual or expected climate change impacts to the natural and built environments;			√
(7) Promote sector resilience in areas such as water, roads, airports, and public health, by encouraging the identification of climate change threats assessment of potential consequences, and evaluation of adaptation options;			✓
(8) Foster cross-jurisdictional collaboration between county, state, and federal agencies and partnerships between government and private entities and other nongovernmental entities, including nonprofit entities;			✓
(9) Use management and implementation approaches that encourage the continual collection, evaluation, and integration of new information and strategies into new and existing practices, policies, and plans; and			√
(10) Encourage planning and management of the natural and built environments that effectively integrate climate change policy. Analysis: Not Applicable.			✓

C. STATE FUNCTIONAL PLANS

A key element of the Statewide Planning System is the Functional Plans which set forth the policies, statewide guidelines, and priorities within a specific field of activity. There are 13 Functional Plans which have been developed by the State agency primarily responsible for a given functional area. Together with the County General Plans, the State Functional Plans establish more specific strategies for implementation. In particular, State Functional Plans provide for the following:

- Identify major Statewide priority concerns
- Define current strategies for each functional area
- Identify major relationships among functional areas
- Provide direction and strategies for departmental policies, programs, and priorities
- Provide a guide for the allocation of resources
- Coordinate State and County roles and responsibilities in the implementation of the Hawaii State Plan

Thirteen (13) Functional Plans have been prepared by State agencies. **Table 3** provides an assessment of the relationship between the proposed action and each of the 13 Functional Plans.

 Table 3.
 Relationship Between the Proposed Project and the State Functional Plans

	State Functional Plan	State Coordinating Agency	Purpose	Analysis
1	Agriculture Functional Plan (1991)	Department of Agriculture	Continued viability of agriculture throughout the State	Not Applicable.
2	Conservation Lands State Functional Plan (1991)	Department of Land and Natural Resources	Addresses issues of population and economic growth and its strain on current natural resources; broadening public use of natural resources while protecting lands and shorelines from overuse; additionally, promotes the aquaculture industry	Not Applicable.
3	Education State Functional Plan (1989)	Department of Education	Improvements to Hawai'i's educational curriculum, quality of educational staff, and access to adequate facilities	The proposed improvements at the existing Moloka'i Public Library provide additional space, including a new Community Room that can be utilized for various educational activities. As such, the proposed project is consistent with the purpose of the Education State Functional Plan.
4	Employment State Functional Plan (1990)	Department of Labor and Industrial Relations	Improve the qualifications, productivity, and effectiveness of the State's workforce through better education and training of workers as well as efficient planning of economic development, employment opportunities, and training activities	Not Applicable.
5	Energy State Functional Plan (1991)	Department of Business, Economic Development and Tourism	Lessen the reliance on petroleum and other fossil fuels in favor of alternative sources of energy so as to keep up with the State's increasing energy demands while also becoming a more sustainable island state; achieving dependable, efficient, and economical statewide energy systems	Not Applicable.

	State Functional Plan	State Coordinating Agency	Purpose	Analysis
6	Health State Functional Plan (1989)	Department of Health .	Improve health care system by providing for those who don't have access to private health care providers; increasing preventative health measures; addressing 'quality of care' elements in private and public sectors to cut increasing costs	Not Applicable.
7	Higher Education Functional Plan (1984)	University of Hawaii	Prepare Hawai'i's citizens for the demands of an increasingly complex world through providing technical and intellectual tools	Not Applicable.
8	Historic Preservation State Functional Plan (1991)	Department of Land and Natural Resources	Preservation of historic properties, records, artifacts and oral histories; provide public with information/ education on the ethnic and cultural heritages and history of Hawai'i	The existing library is listed in the Hawai'i State Register of Historic Places. The proposed improvements will comply with the Secretary of Interior Standards for the Rehabilitation of Historic Property. As such, the proposed project is consistent with the purpose of Historic Preservation State Functional Plan.
9	Housing State Functional Plan (1989)	Hawaii Housing Finance and Development Corporation	Provide affordable rental and for-sale housing; increase homeownership and amount of rental housing units; acquiring public and privately-owned lands for future residential development; maintain a statewide housing data system	Not Applicable.
10	Human Services State Functional Plan (1989)	Department of Human Services	Refining support systems for families and individuals by improving elderly care, increasing preventative measures to combat child/spousal abuse and neglect; providing means for 'self-sufficiency'	Not Applicable.

	State Functional Plan	State Coordinating Agency	Purpose	Analysis
11	Recreation State Functional Plan (1991)	Department of Land and Natural Resources	Manage the use of recreational resources via addressing issues: (1) ocean and shoreline recreation, (2) mauka, urban, and other recreation opportunities, (3) public access to shoreline and upland recreation areas, (4) resource conservation and management, (5) management of recreation programs/facilities/areas, and (6) wetlands protection and management	Not Applicable.
12	Tourism State Functional Plan (1991)	Department of Business, Economic Development and Tourism	Balance tourism/economic growth with environmental and community concerns; development that is cognizant of the limited land and water resources of the islands; maintaining friendly relations between tourists and community members; development of a productive workforce and enhancement of career and employment opportunities in the visitor industry	Not Applicable.
13	Transportation State Functional Plan (1991)	Department of Transportation	Development of a safer, more efficient transportation system that also is consistent with planned physical and economic growth of the state; construction of facility and infrastructure improvements; develop a transportation system balanced with new alternatives; pursue land use initiatives which help reduce travel demand	Not Applicable.

D. GENERAL PLAN OF THE COUNTY OF MAUI

The Maui County General Plan (1990 Update) sets forth broad objectives and policies to help guide the long-range development of the County. As stated in the Maui County Charter:

The general plan shall indicate desired population and physical development patterns for each island and region within the county; shall address the unique problems and needs of each island and region; shall explain the opportunities and the social, economic, and environmental consequences related to potential developments; and shall set forth the desired sequence, patterns, and characteristics of future developments. The general plan shall identify objectives to be achieved, and priorities, policies, and implementing actions to be pursued with respect to population density, land use maps, land use regulations, transportation systems, public and community facility locations, water and sewage systems, visitor destinations, urban design, and other matters related to development.

Chapter 2.80B of the Maui County Code (MCC), relating to the General Plan and Community Plans, implements the foregoing Charter provision through enabling legislation which calls for a Countywide Policy Plan and a Maui Island Plan (MIP). The Countywide Policy Plan was adopted as Ordinance No. 3732 on March 24, 2010. The MIP was adopted as Ordinance No. 4004 on December 28, 2012 and does not apply to the island of Moloka'i.

With regard to the Countywide Policy Plan, which does apply to Moloka'i, Section 2.80B.030 of the MCC states the following:

The countywide policy plan shall provide broad policies and objectives which portray the desired direction of the County's future. The countywide policy plan shall include:

- 1. A vision for the County;
- 2. A statement of core themes or principles for the County; and
- 3. A list of countywide objectives and policies for population, land use, the environment, the economy, and housing.

Core principles set forth in the Countywide Policy Plan are listed as follows:

- 1. Excellence in the stewardship of the natural environment and cultural resources:
- 2. Compassion for and understanding of others;
- 3. Respect for diversity;
- 4. Engagement and empowerment of Maui County residents;

- 5. Honor for all cultural traditions and histories;
- 6. Consideration of the contributions of past generations as well as the needs of future generations;
- 7. Commitment to self-sufficiency;
- 8. Wisdom and balance in decision making;
- 9. Thoughtful, island appropriate innovation; and
- 10. Nurturance of the health and we/l-being of our families and our communities.

In accordance with these core principles, the Countywide Policy Plan identifies goals objectives, policies and implementing actions for pertinent functional planning categories, which are identified as follows:

- 1. Natural environment
- 2. Local cultures and traditions
- 3. Education
- 4. Social and healthcare services
- 5. Housing opportunities for residents
- 6. Local economy
- 7. Parks and public facilities
- 8. Transportation options
- 9. Physical infrastructure
- 10. Sustainable land use and growth management
- 11. Good governance

With respect to the proposed action, the following goals, objectives, policies, and implementing actions are illustrative of the project's compliance with the Countywide Policy Plan:

PRESERVE LOCAL CULTURES AND TRADITIONS

Goal:

Maui County will foster a spirit of pono and protect, perpetuate, and reinvigorate its residents' multi-cultural values and traditions to ensure that current and future generations will enjoy the benefits of their rich island heritage.

Objective:

Preserve for present and future generations the opportunity to know and experience the arts, culture, and history of Maui County.

Policies:

Foster teaching opportunities for cultural practitioners to share their knowledge and skills.

Broaden opportunities for public art and the display of local artwork.

IMPROVE EDUCATION

Goal:

Residents will have access to lifelong formal and informal educational options enabling them to realize their ambitions.

Objective:

Maximize community-based educational opportunities.

Policies:

Support the development of a wide range of informal educational and cultural programs for all residents.

Support community facilities such as museums, libraries, nature centers, and open spaces that provide interactive-learning opportunities for all ages.

The proposed project involves improvements at the existing Moloka'i Public Library to provide additional space and enhance the overall level of service that is provided to users of the library. The improvements include a new Community Room that can be used for various cultural activities, including programs to provide opportunities to learn and experience the arts, culture, and history of Maui County.

In summary, the proposed project is consistent with the themes and principles of the Countywide Policy Plan as noted above.

E. MOLOKA'I COMMUNITY PLAN

Within Maui County, there are nine (9) community plan regions. From a General Plan implementation standpoint, each region is governed by a Community Plan which sets forth desired land use patterns, as well as goals, objectives, policies, and implementing actions for a number of functional areas, including infrastructure-related parameters.

The project site is located within the Moloka'i Community Plan region within "P, Public/Quasi-Public" land use designation. Areas surrounding the project area are designated as "B, Business Commercial", "SF, Single Family", and "OS, Open Space".

See **Figure 13**. The ten-year update of the Moloka'i Community Plan was initiated in 2010 by the Maui Planning Department and is currently in process.

The proposed project is consistent with the following goals, policies, and objectives of the 2001 Moloka'i Community Plan:

DESIGN

Goal:

Harmony between the natural and man-made environments to ensure that the natural beauty and character of Molokai is preserved.

Objectives and Policies:

- 1. Encourage the provision of coco palms and other trees which exceed building heights in close proximity to all buildings except along existing facades in downtown Kaunakakai.
- 2. Require compliance with Country Town Business design standards for all new commercial development and renovations and for government and private infrastructure improvements, landscaping, park projects and multifamily projects.
- 3. Encourage building, infrastructure and landscaping designs which respect the scale, beauty and scenic qualities of Molokai.
- 4. Encourage the planting of additional trees as well as the preservation of existing trees in the Country Town areas of Kaunakakai, Maunaloa, Kualapu'u, and East End.

SOCIAL INFRASTRUCTURE

Goal:

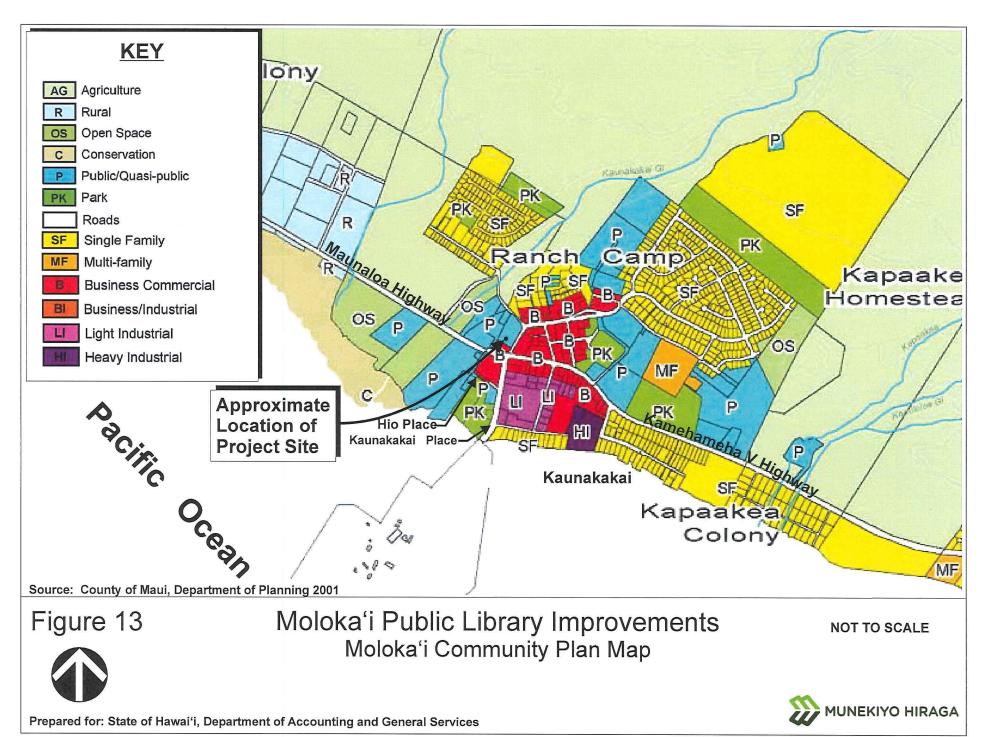
An efficient and responsive system of people-oriented public services which enable residents to live a safe, healthy and enjoyable lifestyle.

<u>Recreation</u>

Objective and Policies:

Provide and maintain recreational opportunities which address the needs of residents while respecting the rural character of Moloka'i.

Provide additional recreation and educational programs for youths.



Education

Objective and Policies:

Develop and maintain an educational system and facilities which will offer the youth and adults of the region opportunities and choices for self- and community improvement.

Implementing Action

Expand the library facility on its current site in Kaunakakai. Expand hours of operation to include Saturdays. Establish a small cultural center and library in the East End, possibly at the site of Kaluaaha Church. Establish a small library in the West End, possibly in Maunaloa.

The proposed project involves improvements at the existing Moloka'i Public Library to provide additional space and enhance the overall level of service that is provided to users of the library. The design of the new building will comply with Country Town Business design standards and will have compatible massing, size, scale, and architectural features to protect the historic integrity of the existing Moloka'i Public Library, which is listed in the Hawai'i Register of Historic Places, and its environment. Further, additional trees will be planted and most of the existing trees, including coconut palms, will be preserved as part of the project. Refer to **Appendix "B"**.

The proposed improvements include a new, single-story building that will accommodate a Community Room that can be used for various cultural and educational activities. The Staff Work Room and Staff Lounge will be relocated to the new building, which will enable the existing library building to accommodate more library materials and space for Reading Areas.

As such, the proposed project is consistent with the themes and principles of the Moloka'i Communiy Plan.

F. ZONING

The location of the proposed project is zoned "Interim" by the County of Maui. The "Interim" zoning ordinance provides temporary regulations over areas pending the formal adoption of a comprehensive zoning ordinance and map which are deemed as necessary in order:

- 1. To encourage the most appropriate use of land;
- 2. To conserve and stabilize the value of property;
- 3. To prevent certain uses that will be detrimental to existing uses; and
- 4. To promote the health, safety, and general welfare of the respective districts.

Permitted uses in the "Interim" zoning district allow for the construction of new or the expansion of existing parks, playgrounds, community centers or public/quasi-public facilities that are owned or operated by private or governmental agencies. As such, the proposed project is permitted use within the "Interim" zoning.

G. HAWAI'I COASTAL ZONE MANAGEMENT PROGRAM – OBJECTIVES AND ENFORCEABLE POLICIES

This section addresses the project's relationship to applicable Coastal Zone Management considerations, as set forth in HRS, Chapter 205A.

The Hawai'i Coastal Zone Management Program (HCZMP), as formalized in Chapter 205A, HRS, establishes objectives and policies for the preservation, protection, and restoration of natural resources of Hawai'i's coastal zone. As noted above, the proposed project is located within the County of Maui's SMA. See **Figure 14**. This section addresses the project's relationship to coastal zone management considerations, set forth in Chapter 205A, HRS.

1. Recreational Resources

Objective:

Provide coastal recreational opportunities accessible to the public.

Policies:

- a. Improve coordination and funding of coastal recreational planning and management; and
- b. Provide adequate, accessible, and diverse recreational opportunities in the coastal zone management area by:
 - i. Protecting coastal resources uniquely suited for recreational activities that cannot be provided in other areas;
 - ii. Requiring replacement of coastal resources having significant recreational value, including but not limited to surfing sites, fishponds, and sand beaches, when such resources will be unavoidably damaged by development; or requiring reasonable monetary compensation to the State for recreation when replacement is not feasible or desirable;
 - iii. Providing and managing adequate public access, consistent with conservation of natural resources, to and a shorelines with recreational value:

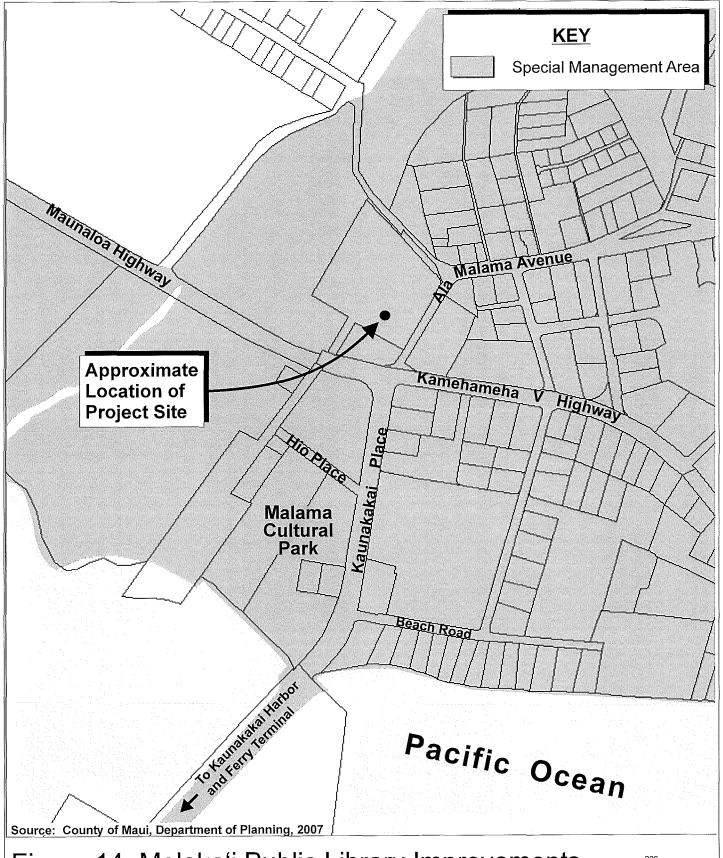


Figure 14 Moloka'i Public Library Improvements
Special Management Area Map







- iv. Providing an adequate supply of shoreline parks and other recreational facilities suitable for public recreation;
- Ensuring public recreational uses of county, state, and federally owned or controlled shoreline lands and waters having recreational value consistent with public safety standards and conservation of natural resources;
- vi. Adopting water quality standards and regulating point and non-point sources of pollution to protect, and where feasible, restore the recreational value of coastal waters;
- vii. Developing new shoreline recreational opportunities, where appropriate, such as artificial lagoons, artificial beaches, and artificial reefs for surfing and fishing; and
- viii. Encouraging reasonable dedication of shoreline areas with recreational value for public use as part of discretionary approvals or permits by the land use commission, board of land and natural resources, and county authorities; and crediting such dedication against the requirements of Section 46-6.

<u>Response</u>: Limited construction-related impacts are anticipated. Appropriate Best Management Practices (BMPs) will be implemented to mitigate construction related impacts. Refer to **Appendix "C".** As such, the proposed project is not anticipated to result in significant adverse impacts to existing coastal recreational resources.

2. Historic Resources

Objective:

Protect, preserve and, where desirable, restore those natural and manmade historic and prehistoric resources in the coastal zone management area that are significant in Hawaiian and American history and culture.

Policies:

- a. Identify and analyze significant archeological resources;
- b. Maximize information retention through preservation of remains and artifacts or salvage operations; and
- c. Support state goals for protection, restoration, interpretation, and display of historic resources.

<u>Response</u>: The review of previous archaeological studies indicated that no intact cultural deposits or buried structures were identified within the subject parcel. SHPD was consulted during the EA process and an Archaeological Monitoring

Plan (AMP) has been prepared for the proposed project. Refer to **Appendix "E"** and **Appendix "F"**.

Further, consultations with individuals knowledgeable about the Kaunakakai area, and, the CRC were conducted as part of a Cultural Impact Assessment for the project. As discussed previously, those who responded and participated in the consultation did not recall specific Hawaiian traditions in relation to the area of the Moloka'i Public Library, or note long-term traditional cultural practices that might be affected by the proposed project. Although some concerns were expressed about the potential effects of the new building on the visibility of the sculpture of Hina, Pu'ino Kolu O Hina (Three Winds of Hina) from Ala Malama Avenue, the construction of the proposed project is located directly behind the existing library building and a clear line of site to Ala Malama Avenue will be maintained. Refer to **Appendix "H"**.

The existing Moloka'i Public Library is listed in the Hawai'i Register of Historic Places. As such, the proposed project will comply with applicable Secretary of the Interior's Standards for Rehabilitation. Further, the CRC reviewed and indicated its support for the proposed project at its regular January 4, 2018 meeting. Refer to **Appendix "G"**.

Therefore, the proposed project is not anticipated to present significant adverse impacts on cultural or historic resources.

3. Scenic and Open Space Resources

Objective:

Protect, preserve and, where desirable, restore or improve the quality of coastal scenic and open space resources.

Policies:

- a. Identify valued scenic resources in the coastal zone management area;
- b. Ensure that new developments are compatible with their visual environment by designing and locating such developments to minimize the alteration of natural landforms and existing public views to and along the shoreline;
- c. Preserve, maintain, and, where desirable, improve and restore shoreline open space and scenic resources; and
- d. Encourage those developments that are not coastal dependent to locate in inland areas.

Response: The proposed project involves improvements to an existing public library that are intended to enhance the overall level of service that is provided to users of the library. The new structure will be constructed at the rear of the existing library building in order not to adversely impact the historic character of the existing building. Further, the subject property is located within existing developed area of Kaunakakai Town.

As such, the proposed improvements are not anticipated to have a substantial adverse impact to existing views nor will it adversely impact open space resources in the region.

4. Coastal Ecosystems

Objective

Protect valuable coastal ecosystems, including reefs, from disruption and minimize adverse impacts on all coastal ecosystems.

Policies:

- a. Exercise an overall conservation ethic, and practice stewardship in the protection, use, and development of marine and coastal resources;
- b. Improve the technical basis for natural resource management;
- c. Preserve valuable coastal ecosystems, including reefs, of significant biological or economic importance;
- d. Minimize disruption or degradation of coastal water ecosystems by effective regulation of stream diversions, channelization, and similar land and water uses, recognizing competing water needs; and
- e. Promote water quantity and quality planning and management practices that reflect the tolerance of fresh water and marine ecosystems and maintain and enhance water quality through the development and implementation of point and nonpoint source water pollution control measures.

Response: The proposed project involves improvements at the existing Moloka'i Public Library to enhance the overall level of service that is provided to users of the library. The subject property is located approximately 1,400 feet inland from the closest area of shoreline and is not anticipated to have significant adverse impacts to the nearshore area.

The project plans will include temporary erosion control measures during construction to minimize erosion hazards and BMPs, such as temporary sediment

basins, temporary diversion berms and swales to intercept runoff, silt fences, dust fences, inlet protection, slope protection, stabilized construction entrances, and truck wash-down areas.

Given the foregoing, the proposed project is not anticipated to adversely impact any coastal ecosystems.

5. Economic Uses

Objective:

Provide public or private facilities and improvements important to the State's economy in suitable locations.

Policies:

- a. Concentrate coastal dependent development in appropriate areas;
- b. Ensure that coastal dependent development such as harbors and ports, and coastal related development such as visitor industry facilities and energy generating facilities, are located, designed, and constructed to minimize adverse social, visual, and environmental impacts in the coastal zone management area; and
- c. Direct the location and expansion of coastal dependent developments to areas presently designated and used for such developments and permit reasonable long-term growth at such areas, and permit coastal dependent development outside of presently designated areas when:
 - i. Use of presently designated locations is not feasible;
 - ii. Adverse environmental effects are minimized; and
 - iii. The development is important to the State's economy.

Response: The proposed project will have short-term positive economic impact from the generation of construction-related employment and services. There will also be long-term economic benefits from the project by creating a Community Room that can be used by the public. There are no significant adverse economic impacts anticipated from the proposed project.

6. Coastal Hazards

Objective:

Reduce hazard to life and property from tsunami, storm waves, stream flooding, erosion, subsidence, and pollution.

Policies:

- a. Develop and communicate adequate information about storm wave, tsunami, flood, erosion, subsidence, and point and nonpoint source pollution hazards;
- b. Control development in areas subject to storm wave, tsunami, flood, erosion, hurricane, wind, subsidence, and point and nonpoint pollution hazards;
- c. Ensure that developments comply with requirements of the Federal Flood Insurance Program; and
- d. Prevent coastal flooding from inland projects.

Response: The proposed improvements will be located entirely within Flood Zone AE, an area subject to a 1-percent annual chance flood. As Zone AE is a Special Flood Hazard Area, a Special Flood Hazard and Development Permit application will be submitted to the Department of Planning for processing, as applicable.

The proposed project is located entirely within the Tsunami Evacuation Zone. The Tsunami Evacuation Zone includes areas that must be evacuated under a tsunami warning; Ala Malama Avenue provides mauka access out of the Tsunami Evacuation Zone in to the Safe Zone, and can be used as an evacuation route in the event of a tsunami.

Temporary erosion control measures will be incorporated during construction to minimize soil loss and erosion hazards. BMPs will include temporary sediment basins, temporary diversion berms and swales to intercept runoff, silt fences, dust fences, inlet protection, slope protection, stabilized construction entrances, and truck wash-down areas. Further, periodic water spraying of loose soils will be implemented to minimize air-borne dirt particles from reaching adjacent properties.

There are no significant adverse impacts relative to coastal hazards anticipated from the proposed project.

7. Managing Development

Objective:

Improve the development review process, communication, and public participation in the management of coastal resources and hazards.

Policies:

- a. Use, implement, and enforce existing law effectively to the maximum extent possible in managing present and future coastal zone development;
- b. Facilitate timely processing of applications for development permits and resolve overlapping of conflicting permit requirements; and
- c. Communicate the potential short and long-term impacts of proposed significant coastal developments early in their life-cycle and in terms understandable to the public to facilitate public participation in the planning and review process.

Response: The proposed project will undergo agency and public review during the Chapter 343 HRS EA review as well as a public hearing during the SMA Use Permit application process. All aspects of the proposed project will be conducted in accordance with applicable Federal, State, and County standards. Early consultation was conducted for formulation of this Draft EA. Copies of early consultation letters received and responses to those letters are provided as part of this document.

A copy of the Draft EA will be provided to the Moloka'i Planning Commission for review and comment.

8. Public Participation

Objective:

Stimulate public awareness, education, and participation in coastal management.

Policies:

- a. Promote public involvement in coastal zone management processes;
- b. Disseminate information on coastal management issues by means of educational materials, published reports, staff contact, and public workshops for persons and organizations concerned with coastal issues, developments, and government activities; and
- c. Organize workshops, policy dialogues, and site-specific mediations to respond to coastal issues and conflicts.

Response: As previously mentioned, public awareness and participation are being facilitated through the EA and SMA review processes. The proposed project is being processed in accordance with the objectives of public awareness, education, and participation.

Further, a meeting with the library was conducted as part of the 80th Anniversary Celebration of the Moloka'i Public Library that was held in May 27, 2017.

9. Beach Protection

Objective:

Protect beaches for public use and recreation

Policies:

- a. Locate new structures inland from the shoreline setback to conserve open space, minimize interference with natural shoreline processes, and minimize loss of improvements due to erosion;
- b. Prohibit construction of private erosion-protection structures seaward of the shoreline, except when they result in improved aesthetic and engineering solutions to erosion at the sites and do not interfere with existing recreational and waterline activities:
- c. Minimize the construction of public erosion-protection structures seaward of the shoreline:
- d. Prohibit private property owners from creating a public nuisance by inducing or cultivating the private property owner's vegetation in a beach transit corridor; and
- e. Prohibit private property owners from creating a public nuisance by allowing the private property owner's unmaintained vegetation or encroach upon a beach transit corridor.

Response: The proposed project is located inland a considerable distance from the shoreline. During construction appropriate BMPs will be implemented to ensure that stormwater runoff is properly contained during construction. A National Pollutant Discharge Elimination System (NPDES) permit, if required, will be obtained prior to the initiation of construction. As such, the proposed project is not anticipated to have significant adverse impact, on beaches for public use and recreation.

10. Marine Resources

Objective:

Promote the protection, use, and development of marine and coastal resources to assure their sustainability.

Policies:

- a. Ensure that the use and development of marine and coastal resources are ecologically and environmentally sound and economically beneficial;
- b. Coordinate the management of marine and coastal resources and activities to improve effectiveness and efficiency;
- c. Assert and articulate the interests of the State as a partner with federal agencies in the sound management of ocean resources within the United States exclusive economic zone:
- d. Promote research, study, and understanding of ocean processes, marine life, and other ocean resources in order to acquire and inventory information necessary to understand how ocean development activities relate to and impact upon ocean and coastal resources; and
- e. Encourage research and development of new, innovative technologies for exploring, using, or protecting marine and coastal resources.

Response: The subject property is located inland, approximately 1,400 feet from the nearest area of the shoreline. As a result, there are no anticipated adverse impacts to marine resources.

In addition to the foregoing objectives and policies, HRS Section 205A-30.5, Prohibitions, provides that:

- (a) No Special Management Area Use Permit or Special Management Area Minor Permit shall be granted for structures that allow artificial light from floodlights, uplights, or spotlights used for decorative or aesthetic purposes when the light:
 - (1) Directly illuminates the shoreline and ocean waters; or
 - (2) Is directed to travel across property boundaries toward the shoreline and ocean waters.
- (b) Subsection (a) shall not apply to Special Management Area use permits for structures with:
 - (1) Artificial lighting provided by a government agency or its authorized users for government operations, security, public safety, or navigational needs; provided that a government agency or its authorized users shall make reasonable efforts to properly position or shield lights to minimize adverse impacts.

Response: Construction activities are expected to be limited to daylight hours. However, should construction flood lights be required for night activities, these lights will be shielded and directed downward to minimize potential impacts to seabirds that may be

confused by bright lights. Should large flood/work lights be used, they will be placed on poles high enough to allow the lights to be pointed directly downward at the ground.

H. MOLOKA'I PLANNING COMMISSION SPECIAL MANAGEMENT AREA RULES AND REGULATIONS

The project site is located within the County of Maui's SMA. Refer to **Figure 14**. As such, a SMA Use Permit will be required for the project pursuant to Chapter 205A, HRS and the Rules and Regulations of the Moloka'i Planning Commission.

The Rules and Regulations of the Moloka'i Planning Commission, Chapter 302 were established in order to implement HRS, Chapter 205A relating to Coastal Zone Management (CZM) and SMA. In addition to establishing procedures for processing of SMA applications and procurement of related permits, the rules assist the Commission in giving consideration to State policy regarding coastal zones.

This section addresses the project's relationship to applicable coastal zone management considerations as set forth in the Moloka'i Planning Commission Rules and Regulations, Chapter 302, "Special Management Area Rules," which are provided for considering the significance of potential environmental and ecological effects of a proposed action. The criteria have been reviewed and analyzed with respect to the proposed project as follows:

1. <u>Involves an irrevocable commitment to loss or destruction of any natural or cultural resources.</u>

As previously discussed, the proposed project will include onsite archaeological monitoring during construction-related ground disturbing work within the project site as recommended by SHPD.

As such, no adverse impacts to natural or cultural resources are anticipated as a result of the proposed project. In accordance with HRS Section 6E-43.6 and Chapter 13-300, HAR, if any significant cultural deposits or human skeletal remains are encountered, work will stop in the immediate vicinity of the find and SHPD and OHA will be contacted to establish the appropriate protocols and level of mitigation. Refer to **Appendices "E"** and "F".

No rare, threatened, or endangered species of plants or wildlife were recorded in the Flora and Fauna Survey. Populations of two (2) native seabirds, the Endangered 'ua'u or Hawaiian petrel (Pterodroma sandwichensis) and the Threatened a'o or Newell's shearwater (Puffinus newelli) are known to nest during the summer and fall months on wet summit ridges like those to the north of this project. Appropriate BMPs will be implemented during project construction. Refer to **Appendix "D"**.

2. <u>Conflicts with the county's or the state's long-term environmental policies or goals.</u>

The proposed project does not conflict with the State's Environmental Policy and Guidelines as set forth in HRS Chapter 344 as the project is intended to benefit its community by providing an additional space to the existing Moloka'i Public Library. The proposed action is consistent with the underlying land use designations of the project site.

3. <u>Substantially and detrimentally affects the economic or social welfare of the community, county, or state.</u>

On a short-term basis, the project will support construction and construction-related employment and have a beneficial impact on the local economy during the period of construction. From a long-term perspective, the proposed library improvements are intended to create more space in the library to enhance the overall level of service that is provided to users of the library.

4. <u>Involves substantial impacts to public facilities, such as increased demand on drainage, sewage, and water systems, pedestrian walkways, beach access, and recreational opportunities.</u>

The proposed project is not anticipated to result in substantial adverse impacts to population or public services, facilities, or beach access and recreational opportunities. The project is intended to enhance the overall level of service that is provided to users of the library.

5. <u>Substantially affects a rare, threatened, or endangered species of animal or plant, or its habitat.</u>

There are no rare, threatened, or endangered species of fauna, flora, or their habitat on the project site. Refer to **Appendix "D"**, Flora and Fauna Survey. Therefore, significant adverse impacts to these environmental resources are not anticipated from the project.

Populations of two (2) native seabirds, the Endangered 'ua'u or Hawaiian petrel (*Pterodroma sandwichensis*) and the Threatened a'o or Newell's shearwater (*Puffinus newelli*) are known to nest during the summer and fall months on wet summit ridges like those to the north of this project. As such, construction activities are expected to be limited to daylight hours, and, should construction flood lights be required for night activities, these lights will be shielded and directed downward to minimize potential impacts to seabirds that may be confused by bright lights.

6. <u>Is contrary to the state plan, county's general plan, appropriate community</u> plans, zoning and subdivision ordinances.

The proposed action is in accordance with applicable State, County, and the Moloka'i Community Plan land use policies and plans.

7. Detrimentally affects air or water quality or ambient noise levels.

Short-term air quality and noise impacts caused by construction activity will be mitigated through the implementation of BMPs. Refer to **Appendix "C"**. There are no long-term detrimental effects on air, water quality, or noise expected as a result of the proposed project.

8. <u>Affects an environmentally sensitive area, such as flood plain, shoreline, tsunami zone, erosion-prone area, geologically hazardous land, estuary, fresh waters, or coastal waters.</u>

The proposed improvements are located entirely in Flood Zone AE. Refer to **Figure 9**. Flood Zone AE in the vicinity of the project area is a Special Flood Hazard Area that is subject to flooding by the 1-percent annual chance flood. The 1-percent annual chance flood (100-year flood) also known as the base flood is the flood that has a 1-percent chance of being equaled or exceeded in any given year. Applicable Special Flood Hazard Area Development Permit requirements will be addressed for the project.

The proposed library improvements are located within the Tsunami Evacuation Zone. The Tsunami Evacuation Zone in the vicinity of the project site generally extends from the coast to the makai side of Maunaloa Highway and Kamehameha V Highway. Refer to **Figure 10**.

The proposed improvements are being implemented to enhance the overall level of service that is provided to users of the library and are not anticipated to present significant adverse impacts on environmentally sensitive resources.

9. Substantially alters natural land forms and existing public views to and along the shoreline.

The proposed project involves improvements to an existing public library that are intended to provide additional space to the existing Moloka'i Public Library. The new building will be constructed at the rear of the existing library building in order not to adversely impact the historic character of the building. Further, the subject property is located within an existing developed area of Kaunakakai Town.

As such, the proposed improvements are not anticipated to have a substantial adverse impact to alter natural land forms and existing public views to and along the shoreline.

10. Is contrary to the objectives and policies of chapter 205A, HRS.

A review of the objectives and policies of Chapter 205A, HRS, is provided in its entirety in the previous part of this section and addresses the project's relationship to the CZM considerations. Based on the foregoing analysis, the project will appropriately and adequately mitigate impacts to SMA-relevant areas of interest. Accordingly, there are no anticipated significant environmental and ecological effects attributed to the proposed project.

SUMMARY OF ADVERSE ENVIRONMENTAL EFFECTS WHICH CANNOT BE AVOIDED



IV. SUMMARY OF ADVERSE ENVIRONMENTAL EFFECTS WHICH CANNOT BE AVOIDED

The proposed project will result in certain unavoidable construction-related environmental impacts, such as temporary air and noise quality impacts, as outlined in Chapter II.

In the short term, site preparation, construction equipment, and construction activities associated with the proposed action will generate temporary noise impacts. Unavoidable air quality impacts due to the generation of dust and other airborne pollutants will also arise as a consequence of construction. The contractor will coordinate with the HDOH to ensure that a Community Noise Permit and a Clean Air Branch Permit are obtained, as may be applicable. Further, appropriate BMPs, such as frequent watering of exposed surfaces and regular maintenance of construction equipment, will be implemented during construction to mitigate potential adverse impacts on the surrounding environment.

In the long term, the proposed project is not anticipated to result in any significant adverse environmental impacts or impacts to the surrounding land uses, infrastructure systems, or public services. The proposed improvements to the Moloka'i Public Library is intended to enhance the overall level of service that is provided to users of the library.

The proposed action will involve a commitment of fuel, labor, funding, and material resources. However, the commitment of resources necessary to implement the proposed project will be justified, given the eventual benefits to be realized through the completion of the project. The proposed project is expected to have a positive impact as it will enhance the overall level of services that are provided at this important community facility.

ALTERNATIVES TO THE PROPOSED ACTION



V. ALTERNATIVES TO THE PROPOSED ACTION

A. PREFERRED ALTERNATIVE

The proposed improvements to the Moloka'i Public Library outlined in Chapter I represent the preferred alternative. This alternative will involve constructing a new single-story building at the rear of the existing library building to provide additional space and enhance the overall level of service that is provided to users of the library. Pursuit of this alternative is consistent with the recommendations of the 2011 Project Development Report prepared by Anbe, Aruga & Ishizu Architects, Inc.

B. NO ACTION ALTERNATIVE

The "no action" alternative would result in the continued operation of the Moloka'i Public Library without expansion and would limit the ability to provide enhancements to the services currently provided at the library due to the lack of space dedicated as a Community Room. As such, this alternative is not being pursued by DAGS.

C. <u>DEFERRED ACTIVE ALTERNATIVE</u>

The "deferred action" alternative would have similar consequences to the "no action" alternative, in that the Moloka'i Public Library would continue to operate without expansion. Deferring action on the proposed project would not allow DAGS to complete the proposed improvements in a timely manner. Accordingly, the "deferred action" alternative is not considered viable particularly due to the timing of available funds for this project.

IRREVERSIBLE AND IRRETRIEVABLE COMMITMENTS OF RESOURCES

VI. IRREVERSIBLE AND IRRETRIEVABLE COMMITMENTS OF RESOURCES

The implementation of the proposed project is anticipated to result in the irreversible and irretrievable commitment of fiscal resources. Other resource commitments include energy, labor, and material resources required for project construction. The commitment of these resources, however, is considered appropriate when accounting for the community benefits that will result from providing additional space at the existing Moloka'i Public Library.

SIGNIFICANCE CRITERIA ASSESSMENT

VII. SIGNIFICANCE CRITERIA ASSESSMENT

The "Significance Criteria", Section 12, of the Administrative Rules, Title 11, Chapter 200, "Environmental Impact Statement Rules", were reviewed and analyzed to determine whether the proposed project will have significant adverse impacts on the environment. The following analysis is provided:

1. <u>Involves an irrevocable commitment to loss or destruction of any natural or</u> cultural resource

As previously discussed, the review of previous archaeological studies indicated that no intact cultural deposits or buried structures were identified within the subject parcel. SHPD was consulted during the EA process and an AMP will be implemented during construction of the proposed project. Refer to **Appendices** "E" and "F".

A CIA was also carried out for the proposed project. Consultations with individuals familiar with cultural history and practices and the CIA were conducted as part of the CIA. Those who responded and participated in the consultation did not recall specific Hawaiian traditions in relation to the area of the Moloka'i Public Library, or note long-term traditional cultural practices that might be affected by the proposed project. Although some concerns were expressed about the potential effects of the new building on the visibility of the sculpture of Hina, Pu'ino Kolu O Hina (Three Winds of Hina) from Ala Malama Avenue, the construction of the proposed project is located directly behind the existing library building and a clear line of site to Ala Malama Avenue will be maintained. As such, adverse impacts to cultural resources or practices are not expected to result from implementation of the proposed project. Refer to **Appendix "H"**.

No irrevocable commitment to loss or destruction of any natural or cultural resources are anticipated as a result of the proposed project. In accordance with HRS Section 6E-43.6 and Chapter 13-300, HAR, if any significant cultural deposits or human skeletal remains are encountered, work will stop in the immediate vicinity of the find and SHPD and OHA will be contacted to establish the appropriate protocols and level of mitigation.

2. Curtails the range of beneficial uses of the environment

The proposed project and the commitment of limited land resources are not anticipated to curtail the range of beneficial uses of the environment. The proposed public library improvements are intended to provide additional space to enhance the overall level of service that is provided to users of the library. The proposed project is located within a developed area of Kaunakakai Town and is

•

not expected to result in significant adverse effects on beneficial uses of the environment.

3. Conflicts with the State's long-term environmental policies or goals and guidelines as expressed in Chapter 344, HRS, and any revisions thereof and amendments thereto, court decisions, or executive orders

The State's Environmental Policy and Guidelines are set forth in Chapter 344, HRS. The proposed action does not conflict with provisions of Chapter 344, HRS, court decisions, or executive orders.

4. <u>Substantially affects the economic welfare, social welfare, and cultural</u> practices of the community or State

The proposed action would provide a direct, short-term economic benefit to the community during the construction phase. The construction of the proposed improvements to the Moloka'i Public Library will provide a social benefit, as it will serve the Moloka'i residents by providing additional space to enhance the overall level of service that is provided at the library. As previously noted, based on the CIA, there are no significant adverse long-term cultural impacts anticipated to result from the proposed action.

5. Substantially affects public health

No significant adverse impacts to public health are anticipated to result from the proposed action.

6. <u>Involves substantial secondary impacts, such as population changes or effects on public facilities</u>

The proposed action involves the construction of the proposed Moloka'i Public Library improvements. It will not result in population changes or impacts to public services or facilities. The project site is located within existing developed areas of Kaunakakai Town. The improvements will be at the rear of the existing library building. Existing service limits for a public library and other public facilities and services will not be affected by project implementation. As such, there are no anticipated adverse effects upon public services, such as police, fire, medical, educational, or waste collection services.

7. Involves a substantial degradation of environmental quality

During project construction and operations, temporary erosion control measures and appropriate BMPs, including temporary sediment basins, temporary diversion berms and swales to intercept runoff, silt fences, dust fences, inlet protection, slope

protection, stabilized construction entrances, and truck wash-down areas, will be utilized to mitigate potential environmental impacts associated with the proposed action. As such, no substantial degradation of the environment is anticipated as a result of project implementation.

8. <u>Is individually limited but cumulatively has considerable effect upon the</u> environment or involves a commitment for larger actions

The proposed action involves the construction of a new, single-story building and related improvements at the rear of the existing library building to provide additional space to the Moloka'i Public Library. As such, the project is not anticipated to result in significant adverse cumulative impacts and does not involve a commitment for larger actions. It is anticipated that implementation of the project would result in positive benefits to the Moloka'i community by providing additional space to enhance level of service that is provided to users of the library.

9. Substantially affects rare, threatened or endangered species or its habitat

No rare, threatened, or endangered species of fauna, flora, or their habitat have been identified within the project site. Refer to **Appendix "D"**. Therefore, significant adverse impacts to biological resources are not anticipated as a result of the proposed project.

Populations of two (2) native seabirds, the Endangered 'ua'u or Hawaiian petrel (*Pterodroma sandwichensis*) and the Threatened a'o or Newell's shearwater (*Puffinus newelli*) are known to nest during the summer and fall months on wet summit ridges like those to the north of this project. As such, construction activities are expected to be limited to daylight hours and should construction flood lights be required for night activities, these lights will be shielded and directed downward to minimize potential impacts to seabirds that may be confused by bright lights.

10. Detrimentally affects air or water quality or ambient noise levels

During the construction of the proposed improvements, there may be short-term impacts to air and noise quality. Appropriate BMPs will be implemented to minimize these short-term impacts which will not extend into the long-term. As may apply, appropriate permits will be obtained, such as an NPDES Permit and Community Noise Permit, as well as Clean Air Branch Permit, to ensure appropriate mitigation measures are implemented during construction.

Given the foregoing, the proposed project is not expected to present significant adverse impacts on air/water quality or ambient noise levels.

11. Affects or is likely to suffer damage by being located in an environmentally sensitive area such as a floodplain, tsunami zone, beach, erosion prone area, geological hazardous land, estuary, fresh water or coastal waters

As the proposed improvements are located entirely within Flood Zone AE, which is a Special Flood Hazard Area, a Special Flood Hazard Area Development Permit application will be submitted to the Planning Department for processing, as applicable. The proposed project is located within the Tsunami Evacuation Area. Ala Malama Avenue provides mauka access of the Tsunami Evacuation Zone into the Safe Zone, and can be used as an evacuation route in the event of a tsunami. The project area is located outside (inland of) the County's maximum 150-foot shoreline setback area. Stormwater flow generated from the existing property generally sheet flows in a south westerly direction and is collected in onsite drain inlets, and these drainage patterns will not be altered by the proposed project.

As such, this project is not anticipated to result in an adverse effect on environmentally sensitive areas.

12. <u>Substantially affects scenic vistas and viewplanes identified in County or</u> State plans or studies

The proposed action is limited to construction of a new single-story building at the rear of the existing public library. Further, the subject property is located within the developed area of Kaunakakai. As such, the proposed project is not anticipated to result in substantive adverse impacts to identified scenic vistas or viewplanes.

13. Requires substantial energy consumption

The proposed action will involve the short-term commitment of fuel for equipment, vehicles, and machinery during construction activities. Upon completion of construction, the project will not involve substantial energy consumption.

In summary, the proposed project is intended to provide additional space and enhance the overall level of service that is provided to users of the Moloka'i Public Library. The improvements are limited to construction of a new single-story building at the rear of the existing Moloka'i Public Library and a new Carport adjacent to the new building, as well as related improvements, and are not anticipated to have a significant adverse impact on the environment.

Based on the foregoing findings, the Department of Accounting and General Services anticipates that the proposed action will result in a Finding of No Significant Impact (FONSI) determination.

LIST OF PERMITS AND APPROVALS



VIII. LIST OF PERMITS AND APPROVALS

The following permits and approvals will be required prior to the implementation of the project:

State of Hawai'i

- 1. National Pollutant Discharge Elimination System (NPDES) Permit, as applicable
- 2. Community Noise Permit, as applicable
- 3. Clean Air Branch Permit, as applicable

County of Maui

- 1. Special Management Area Use Permit
- 2. Country Town Design Review Approval
- 3. Construction Permits (i.e. Grubbing/Grading, and Building Permits, as applicable)
- 4. Special Flood Development Hazard Area Permit, as applicable
- 5. Landscaping Parking Plan Approval, as applicable

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AGENCIES, ORGANIZATIONS, AND PERSONS CONSULTED DURING THE PREPARATION OF THE DRAFT ENVIRONMENTAL ASSESSMENT; LETTERS RECEIVED AND RESPONSES TO SUBSTANTIVE COMMENTS



IX. AGENCIES, ORGANIZATIONS, AND PERSONS CONSULTED DURING THE PREPARATION OF THE DRAFT ENVIRONMENTAL ASSESSMENT; LETTERS RECEIVED AND RESPONSES TO SUBSTANTIVE COMMENTS

The following agencies, organizations, and persons were consulted during the preparation of the Draft Environmental Assessment (EA). Agency comments and responses to substantive comments are included herein.

FEDERAL AGENCIES

- Wally Jennings
 U.S. Department of Agriculture
 Natural Resources
 Conservation Service
 P.O. Box 396
 Hoolehua, Hawai'i 96729
- Tunis W. McElwain, Acting Chief
 U.S. Department of the Army
 U.S. Army Engineer District,
 Honolulu
 Regulatory Branch, Building 230
 Fort Shafter, Hawai'i 96858-5440
- Michelle Bogardus, Island Team Leader
 U.S. Fish and Wildlife Service
 300 Ala Moana Blvd., Rm. 3-122 Honolulu, Hawai'i 96850
- Alexis Strauss, Acting Regional Administrator
 U.S. Environmental Protection Agency Region 9
 75 Hawthorne Street San Francisco, California 94105

STATE AGENCIES

5. Scott Enright, Chair
State of Hawai'i
Department of Agriculture
1428 South King Street
Honolulu, Hawai'i 96814-2512

- 6. Luis P. Salaveria, Director
 State of Hawai'i
 Department of Business,
 Economic Development &
 Tourism
 P.O. Box 2359
 Honolulu, Hawai'i 96804
- 7. Christina Kishimoto,
 Superintendent
 State of Hawai'i
 Department of Education
 P.O. Box 2360
 Honolulu, Hawai'i 96804
- Virginia "Ginny" Pressler, MD, MBA, FACS, Director
 State of Hawai'i
 Department of Health
 919 Ala Moana Blvd., Room 300
 Honolulu. Hawai'i 96814
- 9. Lene Ichinotsubo
 State of Hawai'i
 Department of Health
 919 Ala Moana Blvd., Room 212
 Honolulu, Hawai'i 96814
- 10. Alec Wong, P.E., Chief
 State of Hawai'i
 Department of Health
 Clean Water Branch
 919 Ala Moana Blvd., Room 300
 Honolulu, Hawai'i 96814

- 11. Laura McIntyre, AICP
 State of Hawai'i
 Department of Health
 Environmental Planning Office
 919 Ala Moana Blvd., Suite 312
 Honolulu. Hawai'i 96814
- 12. Patti Kitkowski
 State of Hawai'i
 Department of Health
 Maui Sanitation Branch
 54 South High Street, Room 300
 Wailuku, Hawai'i 96793
- 13. Suzanne Case, Chairperson State of Hawai'i Department of Land and Natural Resources
 P. O. Box 621
 Honolulu, Hawai'i 96809
- 14. Alan Downer, Administrator
 State of Hawai'i
 Department of Land and
 Natural Resources
 State Historic Preservation
 Division
 601 Kamokila Blvd., Room 555
 Kapolei, Hawai'i 96707
- Matthew Barker Farris, PhD.
 State of Hawai'i
 Department of Land and
 Natural Resources
 State Historic Preservation
 Division
 130 Mahalani Street
 Wailuku, Hawai'i 96793
- Ford Fuchigami, Director
 State of Hawai'i
 Department of Transportation
 869 Punchbowl Street
 Honolulu, Hawai'i 96813
- 17. Brigadier General Arthur "Joe"
 Logan, Adjutant General
 Hawai'i State Civil Defense
 3949 Diamond Head Road
 Honolulu, Hawai'i 96813-4495

- 18. Jobie Masagatani, Chair State of Hawai'i Hawaiian Home Lands Commission
 P.O. Box 1879
 Honolulu, Hawai'i 96805
- Scott Glenn, Director
 State of Hawai'i
 Office of Environmental Quality
 Control
 235 S. Beretania Street, Suite
 702
 Honolulu, Hawai'i 96813
- Dr. Kamana`opono Crabbe, Chief Executive Officer
 State of Hawai'i
 Office of Hawaiian Affairs
 560 N. Nimitz Highway, Suite 200 Honolulu, Hawai'i 96817
- 21. Leo R. Asuncion, Jr., AICP,
 Director
 State of Hawai'i
 Office of Planning
 P. O. Box 2359
 Honolulu, Hawai'i 96804
- Dan Orodenker, Executive Officer
 State of Hawai'i
 State Land Use Commission
 P.O. Box 2359
 Honolulu, Hawai'i 96804
- 23. Senator J. Kalani English
 Senate
 Hawai'i State Capitol, Room 205
 415 S. Beretania Street
 Honolulu, Hawai'i 96813
- 24. Representative Lynn DeCoite
 House of Representatives
 Hawai'i State Capitol, Room 405
 415 S. Beretania Street
 Honolulu, Hawai'i 96813

COUNTY AGENCIES

25. Mayor Alan ArakawaCounty of Maui200 South High StreetWailuku, Hawai'i 96793

- 26. Stewart Stant, Director
 County of Maui
 Department of Environmental
 Management
 2050 Main Street, Suite 2B
 Wailuku. Hawaii 96793
- Jeffrey A. Murray, Chief
 County of Maui
 Department of Fire and Public
 Safety
 200 Dairy Road
 Kahului, Hawai'i 96732
- 28. Carol Reimann, Director
 County of Maui
 Department of Housing and
 Human Concerns
 One Main Plaza
 2200 Main Street, Suite 546
 Wailuku, Hawai'i 96793
- 29. Ka'ala Buenconsejo, Director
 County of Maui
 Department of Parks and
 Recreation
 700 Halia Nakoa Street, Unit 2
 Wailuku, Hawai'i 96793
- 30. William Spence, Director
 County of Maui
 Department of Planning
 2200 Main Street, Suite 315
 Wailuku, Hawai'i 96793
- 31. Moloka'i Planning Commission c/o County of Maui
 Department of Planning
 2200 Main Street, suite 315
 Wailuku, Hawai'i 96793
- 32. Maui County Cultural
 Resources Commission
 c/o County of Maui
 Department of Planning
 2200 Main Street, Room 315
 Wailuku, Hawai'i 96793
- 33. Tivoli Faaumu, Chief
 County of Maui
 Police Department
 55 Mahalani Street
 Wailuku, Hawai'i 96793

- 34. David Goode, Director

 County of Maui

 Department of Public Works
 200 South High Street, 4th Floor
 Wailuku, Hawai'i 96793
- 35. Don Medeiros, Director

 County of Maui

 Department of Transportation
 200 South High Street

 Wailuku, Hawaii 96793
- David Taylor, Director
 County of Maui
 Department of Water Supply
 200 South High Street
 Wailuku, Hawai'i 96793
- 37. Honorable Stacy Crivello

 Maui County Council

 200 South High Street

 Wailuku. Hawai'i 96793
- 38. Teena Rasmussen
 County of Maui
 Office of Economic
 Development
 2200 Main Street, Suite 305
 Wailuku, Hawai'i 96793

UTILITIES

- 39. **Hawaiian Telcom**60 South Church Street
 Wailuku, Hawai'i 96793
- 40. Michael Grider, Manager, Engineering

 Maui Electric Company, Ltd.
 P.O. Box 398

 Kahului, Hawai'i 96733

OTHERS

- 41. **Hawaii Historic Foundation** 680 Iwilei Road, Suite 690 Honolulu, Hawai'i 96817
- 42. State of Hawai'i
 Department of Education
 Hawai'i State Library
 Kahului Regional Library
 90 School Street
 Kahului, Hawai'i 96732

43. Maui Friends of the Library P.O. Box 1017

Wailuku, Hawai'i 96793

Friends of the Moloka'i Public 44. **Library** 15 Ala Malama Avenue

Kaunakakai, Hawai'i 96748

DAVID Y. IGE GOVERNOR OF HAWAII



VIRGINIA PRESSLER, M.D.

In reply, please refer to: EMD/CWB

11008PGH.17

November 6, 2017

Ms. Yukino Uchiyama Associate Munekiyo Hiraga 305 High Street, Suite 104 Wailuku. Hawaii 96793

Dear Ms. Uchiyama:

SUBJECT: Comments on Early Consultation Request for Proposed Molokai

Public Library Improvements

TMK (2) 5-3-005:012

Kaunakakai, Molokai, Hawaii

The Department of Health (DOH), Clean Water Branch (CWB), acknowledges receipt of your letter, dated October 27, 2017, requesting comments on your project. The DOH-CWB has reviewed the subject document and offers these comments. Please note that our review is based solely on the information provided in the subject document and its compliance with the Hawaii Administrative Rules (HAR), Chapters 11-54 and 11-55. You may be responsible for fulfilling additional requirements related to our program. We recommend that you also read our standard comments on our website at: http://health.hawaii.gov/epo/files/2013/05/Clean-Water-Branch-Std-Comments.pdf

- 1. Any project and its potential impacts to State waters must meet the following criteria:
 - a. Antidegradation policy (HAR, Section 11-54-1.1), which requires that the existing uses and the level of water quality necessary to protect the existing uses of the receiving State water be maintained and protected.
 - b. Designated uses (HAR, Section 11-54-3), as determined by the classification of the receiving State waters.
 - c. Water quality criteria (HAR, Sections 11-54-4 through 11-54-8).
- 2. You may be required to obtain National Pollutant Discharge Elimination System (NPDES) permit coverage for discharges of wastewater, including storm water runoff, into State surface waters (HAR, Chapter 11-55).

Ms. Yukino Uchiyama November 6, 2017 Page 2

For NPDES general permit coverage, a Notice of Intent (NOI) form must be submitted at least 30 calendar days before the commencement of the discharge. An application for a NPDES individual permit must be submitted at least 180 calendar days before the commencement of the discharge. To request NPDES permit coverage, you must submit the applicable form ("CWB Individual NPDES Form" or "CWB NOI Form") through the e-Permitting Portal and the hard copy certification statement with the respective filing fee (\$1,000 for an individual NPDES permit or \$500 for a Notice of General Permit Coverage). Please open the e-Permitting Portal website located at: https://eha-cloud.doh.hawaii.gov/epermit/. You will be asked to do a one-time registration to obtain your login and password. After you register, click on the Application Finder tool and locate the appropriate form. Follow the instructions to complete and submit the form.

- 3. If your project involves work in, over, or under waters of the United States, it is highly recommended that you contact the Army Corp of Engineers, Regulatory Branch (Tel: 835-4303) regarding their permitting requirements.
 - Pursuant to Federal Water Pollution Control Act [commonly known as the "Clean Water Act" (CWA)], Paragraph 401(a)(1), a Section 401 Water Quality Certification (WQC) is required for "[a]ny applicant for Federal license or permit to conduct any activity including, but not limited to, the construction or operation of facilities, which may **result** in any discharge into the navigable waters..." (emphasis added). The term "discharge" is defined in CWA, Subsections 502(16), 502(12), and 502(6); Title 40 of the Code of Federal Regulations, Section 122.2; and Hawaii Administrative Rules (HAR), Chapter 11-54.
- 4. Please note that all discharges related to the project construction or operation activities, whether or not NPDES permit coverage and/or Section 401 WQC are required, must comply with the State's Water Quality Standards. Noncompliance with water quality requirements contained in HAR, Chapter 11-54, and/or permitting requirements, specified in HAR, Chapter 11-55, may be subject to penalties of \$25,000 per day per violation.
- 5. It is the State's position that all projects must reduce, reuse, and recycle to protect, restore, and sustain water quality and beneficial uses of State waters. Project planning should:
 - a. Treat storm water as a resource to be protected by integrating it into project planning and permitting. Storm water has long been recognized as a source of irrigation that will not deplete potable water resources. What is often overlooked is that storm water recharges ground water supplies and feeds streams and estuaries; to ensure that these water cycles are not disrupted, storm water

Ms. Yukino Uchiyama November 6, 2017 Page 3

cannot be relegated as a waste product of impervious surfaces. Any project planning must recognize storm water as an asset that sustains and protects natural ecosystems and traditional beneficial uses of State waters, like community beautification, beach going, swimming, and fishing. The approaches necessary to do so, including low impact development methods or ecological bioengineering of drainage ways must be identified in the planning stages to allow designers opportunity to include those approaches up front, prior to seeking zoning, construction, or building permits.

- b. Clearly articulate the State's position on water quality and the beneficial uses of State waters. The plan should include statements regarding the implementation of methods to conserve natural resources (e.g. minimizing potable water for irrigation, gray water re-use options, energy conservation through smart design) and improve water quality.
- c. Consider storm water Best Management Practice (BMP) approaches that minimize the use of potable water for irrigation through storm water storage and reuse, percolate storm water to recharge groundwater to revitalize natural hydrology, and treat storm water which is to be discharged.
- d. Consider the use of green building practices, such as pervious pavement and landscaping with native vegetation, to improve water quality by reducing excessive runoff and the need for excessive fertilization, respectively.
- e. Identify opportunities for retrofitting or bio-engineering existing storm water infrastructure to restore ecological function while maintaining, or even enhancing, hydraulic capacity. Particular consideration should be given to areas prone to flooding, or where the infrastructure is aged and will need to be rehabilitated.

If you have any questions, please visit our website at: http://health.hawaii.gov/cwb/, or contact the Engineering Section, CWB, at (808) 586-4309.

Sincerely,

Danyl Lum .

for

ALEC WONG, P.E., CHIEF Clean Water Branch

GH

c: DOH-EPO [via e-mail Noella.Narimatsu@doh.hawaii.gov only]



Michael T. Munekiyo PRESIDENT

Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT

Mark Alexander Roy

Tessa Munekiyo Ng VICE PRESIDENT

February 9, 2018

Alec Wong, P.E., Chief State of Hawai'i Department of Health Clean Water Branch P.O. Box 3378 Honolulu, Hawai'i 96801-3378

SUBJECT: Chapter 343, Hawai'i Revised Statutes, Early Consultation Request

for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Mr. Wong:

Thank you for your letter dated November 6, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. As recommended, the State of Hawai'i, Department of Accounting and General Services (DAGS) and the project architect will review the standard comments on your website and applicable comments will be complied with. Further, on behalf of the DAGS, we offer the following information in response to the comments noted in your letter.

- 1. We acknowledge that the project must meet the Department of Health (DOH) Antidegration Policy (HAR, Section 11-54-1.1), Designated Uses (HAR, Section 11-54-3), and Water Quality Criteria (HAR, Sections 11-54-8 through 11-54-8), as applicable.
- 2. As may be may be required, a National Pollutant Discharge Elimination System (NPDES) permit will be obtained from DOH prior to initiation of construction of the project.
- We acknowledge that work in, over, or under waters of the United States may require additional permitting from the U.S. Army Corps of Engineers (USACE), Regulatory Branch. A copy of the early consultation letter for the project has been sent to the USACE to request comments on the proposed project. We note that there are no waters of the United States anticipated to be present within the subject property for the proposed project.

Maui: 305 High Street, Suite 104 · Wailuku, Hawaii 96793 · Tel: 808.244.2015 · Fax: 808.244.8729

Oahu: 735 Bishop Street, Suite 321 · Honolulu, Hawaii 96813 · Tel: 808.983.1233

Alec Wong, P.E., Chief February 9, 2018 Page 2

- 4. We acknowledge the project must comply with the State's Water Quality Standards, as applicable, and non-compliance may be subject to penalties of \$25,000.00 per day per violation.
- 5. We acknowledge the State's position that all projects must reduce, reuse, and recycle to protect, restore and sustain water quality and beneficial uses of State waters. As such, the applicant's design team will review this information, and as appropriate, will incorporate recommended measures into the project.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft Environmental Assessment for the project. Should you have any questions or require additional information, please feel free to contact me at 983-1233.

Very truly yours,

Yukino Uchiyama

Guline Uchiyama

Associate

YU:lh

CC:

Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services

Tonia S. Moy, Fung Associates, Inc.

Zasha Smith, Austin, Tsutsumi & Associates K:\DATA\Fung\Molokai Library\Applications\Draft EA\ECL Response Letters\DOH CWB.response.doc

DAVID Y. IGE GOVERNOR OF HAWAI



VIRGINIA PRESSLER, M.D.

STATE OF HAWAII DEPARTMENT OF HEALTH

P. O. BOX 3378 HONOLULU, HI 96801-3378 in reply, please refer to:

EPO 17-275

November 16, 2017

Mr. Yukino Uchiyama, Associate Munekiyo Hiraga 305 High Street, Suite 104 Wailuku, Hawaii 96793

Dear Mr. Uchiyama:

SUBJECT: Early Consultation (EC) for Molokai Public Library Improvements, Kaunakakai, Molokai

TMK: (2) 5-3-005: 012

The Department of Health (DOH), Environmental Planning Office (EPO), acknowledges receipt of your EC to our office on October 30, 2017.

We understand from the EC that "The project proposes to develop a new, stand-alone (approximately 2,000 square foot) building at the rear of the Moloka'i Public Library to enhance the overall level of service that is provided to residents at the library."

Hawaii's environmental review laws require Environmental Assessments (EAs) and Environmental Impact Statements (EISs) to consider health in the discussion and the mitigation measures to reduce negative impacts. In its definition of 'impacts,' §11-200-2, Hawaii Administrative Rules (HAR) includes health effects, whether primary (direct), secondary (indirect), or cumulative. Further, §11-200-12(b)(5), HAR, lists public health as one of the criteria for determining whether an action may have a significant impact on the environment.

In the development and implementation of all projects, EPO strongly recommends regular review of State and Federal environmental health land use guidance. State standard comments to support sustainable healthy design are provided at: http://health.hawaii.gov/epo/landuse. Projects are required to adhere to all applicable standard comments.

We suggest you review the requirements of the Clean Water Branch (Hawaii Administrative Rules {HAR}, Chapter 11-54-1.1, -3, 4-8) and/or the National Pollutant Discharge Elimination System (NPDES) permit (HAR, Chapter 11-55) at: http://health.hawaii.gov/cwb. If you have any questions, please contact the Clean Water Branch (CWB), Engineering Section at (808) 586-4309 or cleanwaterbranch@doh.hawaii.gov. If your project involves waters of the U.S., it is highly recommended that you contact the Army Corps of Engineers, Regulatory Branch at: (808) 835-4303.

If temporary fugitive dust emissions could be emitted when the project site is prepared for construction and/or when construction activities occur, we recommend you review the need and/or requirements for a Clean Air Branch (CAB) permit (HAR, Chapter 11-60.1 "Air Pollution Control"). Effective air pollution control measures need to be provided to prevent or minimize any fugitive dust emissions caused by construction work from affecting the surrounding areas. This includes the off-site roadways used to enter/exit the project. The control measures could include, but are not limited to, the use of water wagons, sprinkler systems, and dust fences. For questions contact the Clean Air Branch via e-mail at: Cab.General@doh.hawaii.gov or call (808) 586-4200.

Mr. Yukino Uchiyama, Associate Page 2 November 16, 2017

Any waste generated by the project (that is not a hazardous waste as defined in state hazardous waste laws and regulations), needs to be disposed of at a solid waste management facility that complies with the applicable provisions (HAR, Chapter 11-58.1 "Solid Waste Management Control"). The open burning of any of these wastes, on or off site, is strictly prohibited. You may wish you review the Minimizing Construction & Demolition Waste Management Guide at: http://health.hawaii.gov/shwb/files/2016/05/constdem16.pdf Additional information is accessible at: http://health.hawaii.gov/shwb. For specific questions call (808) 586-4226.

If noise created during the construction phase of the project may exceed the maximum allowable levels (HAR, Chapter 11-46, "Community Noise Control") then a noise permit may be required and needs to be obtained before the commencement of work. Relevant information is online at: http://health.hawaii.gov/irhb/noise EPO recommends you contact the Indoor and Radiological Health Branch (IRHB) at (808) 586-4700 with any specific questions.

EPO also encourages you to examine and utilize the Hawaii Environmental Health Portal at: https://eha-cloud.doh.hawaii.gov. This site provides links to our e-Permitting Portal, Environmental Health Warehouse, Groundwater Contamination Viewer, Hawaii Emergency Response Exchange, Hawaii State and Local Emission Inventory System, Water Pollution Control Viewer, Water Quality Data, Warnings, Advisories and Postings.

You may also wish to review the draft Office of Environmental Quality Control (OEQC) viewer at: http://eha-web.doh.hawaii.gov/oeqc-viewer. This viewer geographically shows where some previous Hawaii Environmental Policy Act (HEPA) [Hawaii Revised Statutes, Chapter 343] documents have been prepared.

The Hawaii Disability and Communication Access Board (DCAB) recommends the inclusion of access for persons with disabilities through all phases of design and construction. New construction and alteration work shall comply with all applicable accessibility requirements. Projects covered by §103-50, Hawaii Revised Statutes, and Hawaii Administrative Rules Title 11 Chapter 216 shall seek advice and recommendations from DCAB on any construction plans prior to commencing with construction. If you have any questions please contact DCAB at (808) 586-8121 or dcab@doh.hawaii.gov.

To better protect public health and the environment, the U.S. Environmental Protection Agency (EPA) has developed an environmental justice (EJ) mapping and screening tool called EJSCREEN. It is based on nationally consistent data and combines environmental and demographic indicators in maps and reports. EPO encourages you to explore, launch and utilize this powerful tool in planning your project. The EPA EJSCREEN tool is available at: http://www.epa.gov/ejscreen.

We hope this information is helpful. If you have any questions please contact us at <u>DOH.epo@doh.hawaii.gov</u> or call us at (808) 586-4337. Thank you for the opportunity to comment.

Mahalo nui loa.

Laura Leialoha Phillips McIntyre, AICP Environmental Planning Office

LM:nn

c: DOH: DHO Maui, CWB, IRHB, CAB (via email only)

Attachment 1: U.S. Environmental Protection Agency (EPA) Cleanup Site viewer

Attachment 2: Office of Environmental Quality Control (OEQC) viewer (of some past EA's, EIS's in area)

Attachment 3: U.S. EPA EJSCREEN Report for Project Area

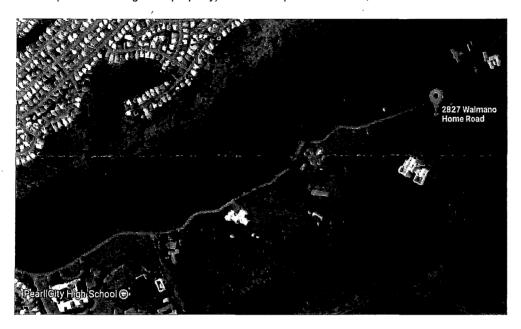
Please be advised:

The Environmental Planning Office (EPO), along with the Clean Air, Clean Water, and Wastewater Branches will be moving in December 2017. The new address, for EPO, as of December 1, 2018, will be:

Environmental Planning Office, DOH, Hale Ola, 2827 Waimano Home Road #109, Pearl City, Hawaii 96782

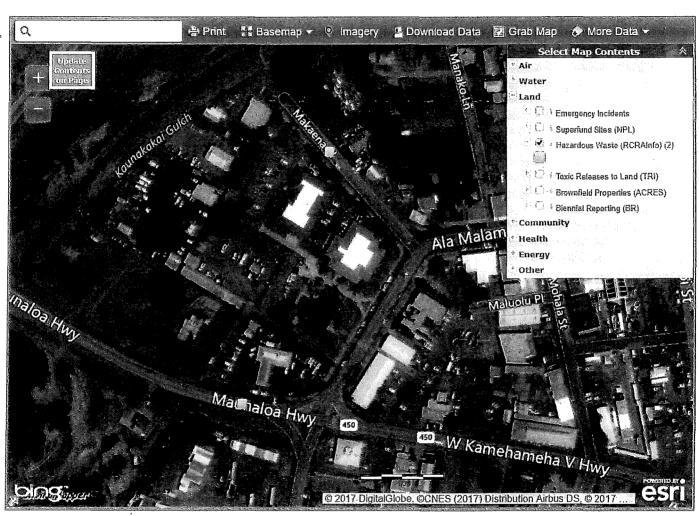
Please feel free to come and visit our new offices anytime. Please note that there is a security guard at the bottom of the come and visit our new offices anytime.

Please feel free to come and visit our new offices anytime. Please note that there is a security guard at the bottom of the hill (before entering DOH property). Our office phone numbers, email and website will all remain the same.



Attachment 1: U.S. Environmental Protection Agency (EPA) Cleanup Site viewer





Attachment 2: Office of Environmental Quality Control (OEQC) viewer (of some past EA's, EIS's in area)





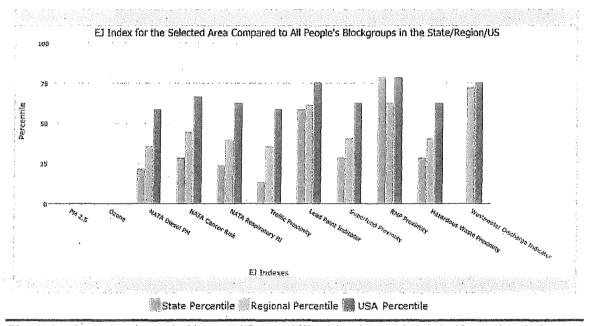
EJSCREEN Report (Version 2017)



1 mile Ring Centered at 21.090288,-157.022640, HAWAII, EPA Region 9

Approximate Population: 1,549 Input Area (sq. miles): 3.14

Selected Variables	State Percentile	EPA Region Percentile	USA Percentile
E) Indexes			
EJ Index for PM2.5	N/A	N/A	N/A
EJ Index for Ozone	N/A	N/A	N/A
EJ Index for NATA* Diesel PM	22 .	36	59
EJ Index for NATA" Air Toxics Cancer Risk	29	45	67
EJ Index for NATA' Respiratory Hazard Index	24	40	63
EJ Index for Traffic Proximity and Volume	14	36	59
EJ Index for Lead Paint Indicator	59	62	76
EJ Index for Superfund Proximity	29	41	63
El Index for RMP Proximity	79	63	79
EJ Index for Hazardous Waste Proximity	29	41	63
EI Index for Wastewater Discharge Indicator	N/A	73	76



This report shows the values for environmental and demographic indicators and EJSCREEN indexes. It shows environmental and demographic raw data (e.g., the estimated concentration of ozone in the air), and also shows what percentile each raw data value represents. These percentiles provide perspective on how the selected block group or buffer area compares to the entire state, EPA region, or nation. For example, If a given location is at the 95th percentile nationwide, this means that only 5 percent of the US population has a higher block group value than the average person in the location being analyzed. The years for which the data are available, and the methods used, vary across these indicators, important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports.

November 16, 201

1/3



EJSCREEN Report (Version 2017)



1 mile Ring Centered at 21.090288,-157.022640, HAWAII, EPA Region 9

Approximate Population: 1,549 Input Area (sq. miles): 3.14



November 16, 2017 Pügüzed Point

1.1,128
9 0.0875 0.015
0 0.015 0.03
0 0.015 0.03
0.015 0.03
0.015 0.03
0.015 0.03

Sites reporting to EPA	
Superfund NPL	0
Hazardous Waste Treatment, Storage, and Disposal Facilities (TSDF)	0

November 16, 201

2/3



EJSCREEN Report (Version 2017)



1 mile Ring Centered at 21.090288, 157.022640, HAWAII, EPA Region 9

Approximate Population: 1,549 Input Area (sq. miles): 3.14

Selected Variables	Value	State Avg.	%ile in State	EPA Region Avg.	%ile in EPA Region	USA Avg.	%ile in USA	
Environmental Indicators								
Particulate Matter (PM 2.5 in µg/m³)	N/A	N/A	N/A	9.9	N/A	9.14	N/A	
Ozone (ppb)	N/A	N/A	N/A	41.8	N/A	38.4	N/A	
NATA* Diesel PM (pg/m³)	0.0183	0.149	13	0.978	<50th	0.938	<50th	
NATA* Cancer Risk (lifetime risk per million)	24	34	1	43	<50th	40	<50th	
NATA* Respiratory Hazard Index	0.47	1	1	2	<50th	1.8	<50th	
Traffic Proximity and Volume (daily traffic count/distance to road)	0	1000	4	1100	2	590	2	
Lead Paint Indicator (% Pre-1960 Housing)	0.22	0.16	70	0.24	58	0.29	52	
Superfund Proximity (site count/km distance)	0.0095	0.1	29	0.15	6	0.13	3	
RMP Proximity (facility count/km distance)	0.81	0.39	87	0.98	64	0.73	72	
Hazardous Waste Proximity (facility count/km distance)	0.0099	0.1	29	0.12	5	0.093	6	
Wastewater Discharge Indicator (toxicity-weighted concentration/m distance)	0	0.04	N/A	13	59	30	40	
Demographic Indicators				<u> </u>				
Demographic Index	60%	51%	76	47%	69	36%	81	
Minority Population	85%	77%	55	59%	75	38%	87	
Low Income Population	36%	26%	75	36%	54	34%	57	
Linguistically Isolated Population	1%	6%	29	9%	22	5%	50	
Population With Less Than High School Education	8%	9%	59	17%	37	13%	42	
Population Under 5 years of age	9%	6%	77	7%	73	6%	75	
Population over 64 years of age	27%	16%	91	13%	93	14%	93	

^{*} The National-Scala Air Toxics Assessment (NATA) is EPA's ongoing, comprehensive evaluation of air toxics in the United States. EPA developed the NATA to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that NATA provides broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. More information on the NATA analysis can be found at: https://www.epa.gov/national-air-toxics-assessment.

For additional information, see: www.epa.gov/environmentaljustice

EISCREEN is a screening tool for pre-decisional use only. It can help identify areas that may warrant additional consideration, analysis, or outreach, it does not provide a basis for decision-making, but it may help identify potential areas of EI concern. Users should keep in mind that screening tools are subject to substantial uncertainty in their demographic and environmental data, particularly when looking at small geographic areas, important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EISCREEN documentation for discussion of these issues before using reports. This screening tool does not provide data on every environmental impact and demographic factor that may be relevant to a particular location. EISCREEN outputs should be supplemented with additional information and local knowledge before taking any action to address potential EI concerns.

November 16, 201 3/3



Michael T. Munekiyo PRESIDENT Karlynn K. Fukuda

EXECUTIVE VICE PRESIDENT

Mark Alexander Roy

Tessa Munekiyo Ng

February 9, 2018

Laura Leialoha Phillips McIntyre, AICP Program Manager State of Hawai'i Department of Health Environmental Planning Office P.O. Box 3378 Honolulu, Hawai'i 96801-3378

SUBJECT: Chapter 343, Hawai'i Revised Statutes, Early Consultation Request

for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Ms. McIntyre:

Thank you for your letter dated November 16, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services (DAGS), we offer the following information in response to the comments noted in your letter.

Comment No.1:

Hawaii's environmental review laws require Environmental Assessments (EAs) and Environmental Impact Statements (EISs) to consider health in the discussion and the mitigation measures to reduce negative impacts. In its definition of 'impacts', §11-200-2, Hawaii Administrative Rules (HAR) includes health effects, whether primary (direct), secondary (indirect), or cumulative. Further, § 11-200-12(b)(5), HAR, lists public health as one of the criteria for determining whether an action may have a significant impact on the environment.

Response: The Draft Environmental Assessment (EA) will include a discussion and analysis of the primary, secondary, or cumulative effects of the project.

Comment No.2:

In the development and implementation of all projects, EPO strongly recommends regular review of State and Federal environmental health land use guidance. State standard comments to support sustainable healthy design are

Maui: 305 High Street, Suite 104 · Wailuku, Hawaii 96793 · Tel: 808.244.2015 · Fax: 808.244.8729 Oahu: 735 Bishop Street, Suite 321 · Honolulu, Hawaii 96813 · Tel: 808.983.1233

www.munekiyohiraga.com

provided at: http://health.hawaii.gov/epo/landuse. Projects are required to adhere to all applicable standard comments.

Response: Thank you for this information. The Standard Comments found at the Department's website will be reviewed by the design team and comments applicable to the project will be adhered to.

Comment No.3:

We suggest you review the requirements of the Clean Water Branch (Hawaii Administrative Rules {HAR}, Chapter 11-54-1.1, -3, 4-8) and/or the National Pollutant Discharge Elimination System (NPDES) permit (HAR, Chapter 11-55) at: http://health.hawaii.gov/cwb. If you have any questions, please contact the Clean Water Branch (CWB), Engineering Section at (808) 586-4309 or cleanwaterbranch@doh.hawaii.gov. If your project involves waters of the U.S., it is highly recommended that you contact the Army Corps of Engineers, Regulatory Branch at: (808) 835-4303.

Response: The proposed project will comply with applicable Clean Water Branch and the National Pollutant Discharge Elimination System (NPDES) permit requirements.

We also note your comment regarding U.S. Army Corps of Engineers (USACE) permitting requirements. A copy of the early consultation letter for the project has been provided to the USACE for review and comment. It is noted that the proposed project is located approximately 1,000 feet inland from the south coast of Island of Moloka'i and does not involve waters of the U.S.

Comment No. 4:

If temporary fugitive dust emissions could be emitted when the project site is prepared for construction and/or when construction activities occur, we recommend you review the need and/or requirements for a Clean Air Branch (CAB) permit (HAR, Chapter 11-60.1 "Air Pollution Control"). Effective air pollution control measures need to be provided to prevent or minimize any fugitive dust emissions caused by construction work from affecting the surrounding areas. This includes the off-site roadways used to enter/exit the project. The control measures could include, but are not limited to, the use of water wagons, sprinkler systems, and dust fences. For questions contact the Clean Air Branch via e-mail at: Cab.General@doh.hawaii.gov or call (808) 586-4200.

Response: A Clean Air Branch (CAB) permit will be obtained for the proposed project, as applicable. We acknowledge that effective air pollution control measures need to be provided to prevent or minimize any fugitive dust emissions caused by construction work from affecting the surrounding areas. A program of Best Management Practices (BMPs) will be implemented during construction of the project to minimize potential impacts.

Comment No. 5:

Any waste generated by the project (that is not a hazardous waste as defined in state hazardous waste laws and regulations) needs to be disposed of at a solid waste management facility that complies with the applicable provisions (HAR, Chapter 11-58.1 "Solid Waste Management Control"). The open burning of any of these wastes, on or off site, is strictly prohibited. You may wish to review the Minimizing Construction & Demolition Waste Management Guide at: http://health.hawaii.gov/shwb/files/2016/05/constdem16.pdf. Additional information is accessible at: http://health.hawaii.gov/shwb. For specific questions call (808) 586-4226.

Response: We understand that any waste generated by the project needs to be disposed of at a solid waste management facility that complies with the applicable provisions and the open burning of any of these wastes, on or off site, is strictly prohibited. The Minimizing Construction & Demolition Waste Management Guide and the information provided on the website noted in your comment above will be reviewed by the design team for consideration for the proposed project.

Comment No. 6:

If noise created during the construction phase of the project may exceed the maximum allowable levels (HAR, Chapter 11-46, "Community Noise Control") then a noise permit may be required and needs to be obtained before the commencement of work. Relevant information is online at: http://health.hawaii.gov/irhb/noise EPO recommends you contact the Indoor and Radiological Health Branch (IRHB) at (808) 586-4700 with any specific questions.

Response: A noise permit will be obtained for the project, as applicable.

Comment No. 7:

EPO also encourages you to examine and utilize the Hawaii Environmental Health Portal at: https://eha-cloud.doh.hawaii.gov. This site provides links to our

a-Permitting Portal, Environmental Health Warehouse, Groundwater Contamination Viewer, Hawaii Emergency Response Exchange, Hawaii State and Local Emission Inventory System, Water Pollution Control Viewer, Water Quality Data, Warnings, Advisories and Postings.

Response: Thank you for providing this information. A copy of your comment letter has been provided to the design team for review.

Comment No. 8:

You may also wish to review the draft Office of Environmental Quality Control (OEQC) viewer at: http://eha-web.doh.hawaii.gov/oeqc-viewer. This viewer geographically shows where some previous Hawaii Environmental Policy Act (HEPA) {Hawaii Revised Statutes, Chapter 343} documents have been prepared.

Response: Thank you for providing this information.

Comment No. 9:

The Hawaii Disability and Communication Access Board (DCAB) recommends the inclusion of access for persons with disabilities through all phases of design and construction. New construction and alteration work shall comply with all applicable accessibility requirements. Projects covered by § 103-50, Hawaii Revised Statutes, and Hawaii Administrative Rules Title 11 Chapter 216 shall seek advice and recommendations from DCAB on any construction plans prior to commencing with construction. If you have any questions please contact DCAB at (808) 586-8121 or dcab@doh.hawaii.gov.

Response: The proposed project will comply with applicable accessibility requirements.

Comment No. 10:

To better protect public health and the environment, the U.S. Environmental Protection Agency (EPA) has developed an environmental justice (EJ) mapping and screening tool called EJSCREEN. It is based on nationally consistent data and combines environmental and demographic indicators in maps and reports. EPO encourages you to explore, launch and utilize this powerful tool in planning your project. The EPA EJSCREEN tool is available at: http://www.epa.gov/ejscreen.

Response: Thank you for providing this information.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft Environmental Assessment for the project. Should you have any questions or require additional information, please feel free to contact me at 983-1233.

Very truly yours,

Yukino Uchiyama

Guline Uchiyama

Associate

YU:lh

CC: Daniel Jandoc, State of Hawaii, Department of Accounting and General Services Tonia S. Moy, Fung Associates, Inc.

Zasha Smith, Austin, Tsutsumi & Associates K:\DATA\Fung\Molokai Library\Applications\Draft EA\ECL Response Letters\DOH EPO.response.doc

DAVID Y. IGE GOVERNOR OF HAWAII



STATE OF HAWAII DEPARTMENT OF HEALTH MAUI DISTRICT HEALTH OFFICE 54 HIGH STREET

54 HIGH STREET WAILUKU, HAWAII 96793-3378

November 9, 2017

LORRIN W. PANG, M.D., M.P.H. - DISTRICT HEALTH OFFICER

VIRGINIA PRESSLER, M.D.

Ms. Yukino Uchiyama Associate Munekiyo Hiraga 305 High Street, Suite 104 Wailuku, Hawaii 96793

Dear Ms. Uchiyama:

Subject:

Chapter 343, Hawaii Revised Statutes, Early Consultation

Request for Proposed Molokai Public Library Improvements,

Kaunakakai, Molokai, Hawaii

TMK: (2) 5-3-005:012

Thank you for the opportunity to review this project. We have the following comments to offer:

The noise created during the construction phase of the project may exceed the maximum allowable levels as set forth in Hawaii Administrative Rules, Chapter 11-46, "Community Noise Control." A noise permit may be required and should be obtained before the commencement of work. Please call the Indoor & Radiological Health Branch at 808 586-4700.

Should you have any questions, please contact me at 808 984-8230 or email me at patricia.kitkowski@doh.hawaii.gov.

Sincerely,

Patti Kitkowski

District Environmental Health Program Chief

c EPO



Michael T. Munekiyo PRESIDENT

Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT

Mark Alexander Roy VICE PRESIDENT

Tessa Munekiyo Ng

February 9, 2018

Patti Kitkowski
District Environmental Health Program Chief
State of Hawai'i
Department of Health
Maui District Health Office
54 High Street
Wailuku, Hawai'i 96793-3378

SUBJECT:

Chapter 343, Hawai'i Revised Statutes, Early Consultation Request for the Proposed Moloka'i Public Library Improvements at TMK (2)5-3-

005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Ms. Kitkowski:

Thank you for your letter dated November 9, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services, we offer the following information in response to the comments noted in your letter.

The proposed project will comply with applicable requirements of HAE, Title 11, Chapter 46 "Community Noise Control". A copy of the Draft Environmental Assessment (EA) will be provided to the Department of Health, including the Indoor & Radiological Health Branch, for review.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft EA for the project. Should you have any questions or require additional information, please feel free to contact me at (808) 983-1233.

Very truly yours,

Yukino Uchiyama

Guline Uchiyama

Associate

YU:lh

cc: Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services

Tonia S. Moy, Fung Associates, Inc.

Zasha Smith, Austin, Tsutsumi & Associates

K:\DATA\Fung\Molokai\Library\Applications\Draft\EA\ECL\Response\Letters\DOH\Maui\response\doc\Maui\response\doc\Maui\response\doc\Maui\response\doc\Maui\response\doc\Maui\response\doc\Maui\response\doc\Mau\resp

Oahu: 735 Bishop Street, Suite 321 · Honolulu, Hawaii 96813 · Tel: 808.983.1233

via email: planning@mhplanning.com

DAVID Y. IGE GOVERNOR OF HAWAII





SUZANNE D. CASE CHAIRPERSON BOARD OF LAND AND NATURAL RESOURCES COMMISSION ON WATER RESOURCE MANAGEMENT

STATE OF HAWAII DEPARTMENT OF LAND AND NATURAL RESOURCES LAND DIVISION

POST OFFICE BOX 621 HONOLULU, HAWAII 96809

November 17, 2017

Munekiyo & Hiraga, Inc.

Attention: Yukino Uchiyama, Associate

305 High Street, Suite 104 Wailuku, Hawaii 96793

Dear Ms. Uchiyama:

SUBJECT:

Early Consultation Request for Proposed Molokai Public

Library Improvements located at Kaunakakai, Island of Molokai,

TMK: (2) 5-3-005:012

Thank you for the opportunity to review and comment on the subject matter. The Department of Land and Natural Resources' (DLNR) Land Division distributed or made available a copy of your report pertaining to the subject matter to DLNR Divisions for their review and comments.

At this time, enclosed are comments from the Engineering Division on the subject matter. Should you have any questions, please feel free to call Darlene Nakamura at (808) 587-0417. Thank you.

l Ciriodi Ciy

∠Russell Y. Tsuji *(* Land Administrator

Enclosure

cc: Central Files

DAVID Y, IGE GOVERNOR OF HAWAII



Central Files

cc:



SUZANNE D. CASE
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE
MANAGEMENT

STATE OF HAWAII DEPARTMENT OF LAND AND NATURAL RESOURCES LAND DIVISION

POST OFFICE BOX 621 HONOLULU, HAWAII 96809

November 3, 2017

<u>MEMORANDUM</u>						
DLNR Agencies: X Div. of Aquatic Reconstruction Div. of Boating & Commission on Wax Commission — Max Historic Preservation DLNR Agencies: X Div. of Aquatic Reconstruction of Boating & Commission Division — Max Historic Preservation — Max	Ocean Recreation on - Wildlife stater Resource Management tion & Coastal Lands aui District		7 x02 -8 AN 0 x2	CAID DIVISION		
SUBJECT: 'Early Consultation Re Improvements LOCATION: Kaunakakai, Island of Munekiyo Hiraga on b	Kaunakakai, Island of Molokai; TMK: (2) 5-3-005:012 Munekiyo Hiraga on behalf of State Department of Accounting and General					
subject matter. We would appreciate you	date, we will assume your agency	7. , has no c	ommei	nts.		
Attachments	() We have no objections. () We have no comments. () Comments are attached. Signed: Print Name: Carty S. Change Date:	, Chief En	gineer			

DEPARTMENT OF LAND AND NATURAL RESOURCES ENGINEERING DIVISION

LD/Russell Y. Tsuji

Ref: Early Consultation Request for Proposed Molokai Public Library Improvements, Kaunakakai, Island of Molokai; TMK: (2) 5-3-005:012

COMMENTS

The rules and regulations of the National Flood Insurance Program (NFIP), Title 44 of the Code of Federal Regulations (44CFR), are in effect when development falls within a Special Flood Hazard Area (high risk areas). Be advised that 44CFR reflects the minimum standards as set forth by the NFIP. Local community flood ordinances may stipulate higher standards that can be more restrictive and would take precedence over the minimum NFIP standards.

The owner of the project property and/or their representative is responsible to research the Flood Hazard Zone designation for the project. Flood Hazard Zones are designated on FEMA's Flood Insurance Rate Maps (FIRM), which can be viewed on our Flood Hazard Assessment Tool (FHAT) (http://gis.hawaiinfip.org/FHAT).

If there are questions regarding the local flood ordinances, please contact the applicable County NFIP coordinating agency below:

- Oahu: City and County of Honolulu, Department of Planning and Permitting (808) 768-8098.
- o Hawaii Island: County of Hawaii, Department of Public Works (808) 961-8327.
- o Maui/Molokai/Lanai County of Maui, Department of Planning (808) 270-7253.
- o Kauai: County of Kauai, Department of Public Works (808) 241-4846.

The applicant should include water demands and infrastructure required to meet project needs. Please note that the projects within State lands requiring water service from their local Department/Board of Water Supply system will be required to pay a resource development charge, in addition to Water Facilities Charges for transmission and daily storage.

The applicant is required to provide water demands and calculations to the Engineering Division so it can be included in the State Water Projects Plan Update projections.

Signed:	45			
Ü	CARTY S/CHANØ, CHIEF ENGINEER			
Date:	17/7//			

1

DAVID Y. IGE GOVERNOR OF HAWAII





RECEIVED

NOV - 4 2017

SUZANNE D. CASE
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE
MANAGEMENT

Division of Aquatic Resources

STATE OF HAWAII DEPARTMENT OF LAND AND NATURAL RESOURCES LAND DIVISION

POST OFFICE BOX 621 HONOLULU, HAWAII 96809

November 3, 2017

<u>MEMORANDUM</u>					
TO:	DLNR Agencies: X_Div. of Aquatic Resconding & Octoor X_Engineering Division Div. of Forestry & W Div. of State Parks X_Commission on Wate X_Office of Conservation X_Land Division — Maux X_Historic Preservation	ean Recreation ildlife er Resource Management on & Coastal Lands i District			
FROM: SUBJECT: LOCATION: APPLICANT:	ECT: Early Consultation Request for Proposed Molokai Public Library Improvements TION: Kaunakakai, Island of Molokai; TMK: (2) 5-3-005:012				
Transmitted for your review and comment is information on the above-referenced subject matter. We would appreciate your comments by November 16, 2017 .					
		ate, we will assume your agency has no comments. est, please contact Darlene Nakamura at 587-0417.			
Attachments	·	() We have no objections.() We have no comments.() Comments are attached.			
		Signed: Bruce S. Anderson, Ph.D., DAR Administrator Print Name:			
cc: Central File	es	Date: $\frac{11/47/17}{11/47/17}$			

DAVID Y. IGE GOVERNOR OF HAWAII





SUZANNE D. CASE
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE
MANAGEMENT

via email: planning@mhplanning.com

STATE OF HAWAII DEPARTMENT OF LAND AND NATURAL RESOURCES LAND DIVISION

POST OFFICE BOX 621 HONOLULU, HAWAII 96809

November 21, 2017

Munekiyo & Hiraga, Inc.

Attention: Yukino Uchiyama, Associate

305 High Street, Suite 104 Wailuku, Hawaii 96793

Dear Ms. Uchiyama:

SUBJECT: Early Consultation Request for Proposed Molokai Public

Library Improvements located at Kaunakakai, Island of Molokai,

TMK: (2) 5-3-005:012

Thank you for the opportunity to review and comment on the subject matter. In addition to the comments previously sent you on November 17, 2017, enclosed are comments from the Division of Aquatic Resources on the subject matter. Should you have any questions, please feel free to call Darlene Nakamura at (808) 587-0417. Thank you.

Sincerely,

Russell Y. Tsuji Land Administrator

Enclosure

cc: Central Files

DAVID Y, IGE GOVERNOR OF HAWAII





STATE OF HAWAII DEPARTMENT OF LAND AND NATURAL RESOURCES DIVISION OF AQUATIC RESOURCES 1151 PUNCHBOWL STREET, ROOM 330 HONOLULU, HAWAII 96813

Date: 11/7/2017 DAR #5638

,	SUZANRE D. CASE			
CHAIRFERSON				
	LAND AND NATURAL RESOURCES			
COMMISSION O	IN WATER RESOURCE MANAGEMENT			

ROBERT K. MASUDA FIRST DEPUTY

JEFFREY T. PEARSON, P.E. DEPUTY DIRECTOR - WATER

AQUATIC RESOURCES
BOATING AND OCEAN RECREATION
BURBAU OF CONNEWANCES
COMMISSION ON WATER RESOURCE MANAGEMENT
CONSERVATION AND COASTAL LANDS
CONSERVATION AND RESOURCES ENFORCEMENT
ENGINEERING
FORESTRY AND WILDLIFE
HISTORIC PRESERVATION
KAHOOLA WE ISLAND RESERVE COMMISSION
LAND
STATE PARKS

<u>MEMORANI</u>	<u>DUM</u>	
TO:	Bruce S. Anderson, PhD	
	DAR Administrator	
FROM:	Skippy Hau	_, Aquatic Biologist
SUBJECT:	Early Consultation for Molokai Publ	ic Library Improvements
Request Subm	nitted by: Russell Tsuji, Land Admini	strator
Location of Pr	roject: Kaunakakai, Island of Moloka	i; TMK: (2)5-3-005:012
Brief Descript	ion of Project:	
feet and is list a new, stand-a level of service impacting the and provide ty	ted in the Hawai'i State Register of His alone (2,000 square foot) building at the ee provided to residents. The project v historic character of the library. The n	7. The library is approximately 3,329 square storic Places. The project proposes to develop he rear of the existing library to enhance the will provide needed space while not adversely new building will be connected by a hallway ll be rebuilt to include a grounds maintenance of the Molokai Public Library.
Comments: ☐ No Comme	nts 🗹 Comments Attached	
-	be any changes to the project plan, D	oview and comment on the proposed project. OAR requests the opportunity to review and

Comments Approved: Srundhardura

Bruce S. Anderson, PhD DAR Administrator

Date: ///17/17

DAR# <u>5638</u>

Comments

There are no aquatic resources concerns and we have no objections to the Public Library improvements.



Michael T. Munekiyo PRESIDENT Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT Mark Alexander Roy

VICE PRESIDENT
Tessa Munekiyo Ng

February 9, 2018

Russell Y. Tsuji, Land Administrator State of Hawai'i Department of Land and Natural Resources Land Division P.O. Box 621 Honolulu, Hawai'i 96806

SUBJECT: Chapter 343, Hawai'i Revised Statutes, Early Consultation Request

for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Mr. Tsuji:

Thank you for your letters dated November 17 and 21, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services, we offer the following information in response to the comments noted in your letter.

Comment from Engineering Division:

We understand that the rules and regulations of the National Flood Insurance Program (NFIP), Title 44 of the Code of Federal Regulations (44CFR) are to be followed if the project site is within the Flood Hazard Zone designation. The Draft EA will include the Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Maps (FIRM) for the project location, as well as an assessment of potential flood and tsunami hazards and proposed mitigation measures for the project, as applicable.

We acknowledge that the local flood ordinances may take precedence over the NFIP standards. A copy of the early consultation letter for the project has been provided to the County of Maui, Department of Planning (DP) for review and comment. A copy of the Draft Environmental Assessment (EA) will also be provided to the DP for further review.

Comment from Division of Aquatic Resources:

Thank you for your comments confirming that there are no aquatic concerns and that your office has no objections to the proposed improvements at the Moloka'i Library.

Maui: 305 High Street, Suite 104 · Wailuku, Hawaii 96793 · Tel: 808.244.2015 · Fax: 808.244.8729

Oahu: 735 Bishop Street, Suite 321 · Honolulu, Hawaii 96813 · Tel: 808.983.1233

Russell Y. Tsuji, Land Administrator February 9, 2018 Page 2

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft EA for the project. Should you have any questions or require additional information, please feel free to contact me at 983-1233.

Very truly yours,

Guline Vohiyama Yukino Uchiyama

Associate

YU:lh

Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services CC: Tonia S. Moy, Fung Associates, Inc. K:\DATA\Fung\Molokai\Library\Applications\Draft EA\ECL Response Letters\DLNR Land.response.doc

DAVID Y. IGE GOVERNOR



ARTHUR J. LOGAN MAJOR GENERAL ADJUTANT GENERAL

KENNETH S. HARA BRIGADIER GENERAL DEPUTY ADJUTANT GENERAL

STATE OF HAWAII DEPARTMENT OF DEFENSE OFFICE OF THE ADJUTANT GENERAL

3949 DIAMOND HEAD ROAD HONOLULU, HAWAİİ 96816-4495

November 15, 2017

Ms. Yukino Uchiyama Munekiyo Hiraga 305 High Street, Suite 104 Wailuku, Hawaii 96793

Dear Ms. Uchiyama

Subject:

Early Consultation Request for Proposed Molokai Public Library Improvements

at TMK: (2) 5-3-005:012, Kaunakakai, Molokai, Hawaii

Thank you for the opportunity to comment on the above project. The State of Hawaii Department of Defense has no comments to offer relative to the project.

Should you have any questions or concerns, please have your staff contact Ms. Shao Yu Lee, our Land Manager on Oahu, at (808) 733-4222.

Sincerely,

NEAL S. MITSUYOSHI, P.E.

Colonel, Hawaii National Guard

Chief Engineering Officer

c: Mr. David Kennard, Hawaii Emergency Management Agency (HI-EMA)

Ms. Havinne Okamura, HI-EMA

Mr. Albert Chong, HI-EMA

Mr. Karl Motoyama, Hawaii Army National Guard Environmental (HIARNG-ENV)

Maj Nhut Dao, 154th Civil Engineer Squadron (154th CES)



Michael T. Munekiyo PRESIDENT

Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT

Mark Alexander Roy

Tessa Munekiyo Ng

February 9, 2018

Neal S. Mitsuyoshi, P.E., Colonel, Hawaii National Guard Chief Engineering Officer State of Hawai'i Department of Defense Office of the Adjutant General 3949 Diamond Head Road Honolulu, Hawai'i 96816-4495

SUBJECT:

Chapter 343, Hawai'i Revised Statutes, Early Consultation Request for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Colonel Mitsuyoshi:

Thank you for your letter dated November 15, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services, we appreciate your letter confirming that your Department has no comments to offer at this time.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft Environmental Assessment for the project. Should you have any questions or require additional information, please feel free to contact me at 983-1233.

Very truly yours,

Yukino Uchiyama

Guline Uchiyama

Associate

YU:lh

cc: Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services Tonia S. Moy, Fung Associates, Inc.

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DAVID Y. IGE GOVERNOR



STATE OF HAWAII DEPARTMENT OF TRANSPORTATION 869 PUNCHBOWL STREET HONOLULU, HAWAII 96813-5097

Deputy Director ROSS M. HIGASHI EDWIN H. SNIFFEN DARRELL T. YOUNG

INTERIM DIRECTOR

IN REPLY REFER TO: DIR 1378 HWY-PS 2.6241

December 19, 2017

Ms. Yukino Uchiyama Munekiyo Hiraga 305 High Street, Suite 104 Honolulu, Hawaii 96793

Dear Ms. Uchiyama:

Subject:

Early Consultation for Draft Environmental Assessment

Molokai Public Library Expansion

15 Ala Malama Avenue - Kaunakakai, Molokai, Maui

Tax Map Key No. (2) 5-3-005: 012

Thank you for the opportunity to review the subject project as an early consultation on the preparation of a Draft Environmental Assessment (DEA) required by Chapter 343, Hawaii Revised Statutes due to the use of State funds and land, and prior to a Special Management Area permit review.

The proposed expansion of the Molokai library campus will involve the construction of a new 2,000 square-foot building and a new 800 square-foot carport to be located behind the existing library. The project site is accessible off State Maunaloa Highway, via Ala Malama Avenue, a County roadway.

Although the proposed project does not appear to significantly impact the State highway system, a Traffic Assessment (TA) should be prepared and included in the DEA. The TA should identify any trip generated impacts to the nearest State highways, as well as any mitigation measures that may be required.

If you have any questions, please contact Ken Tatsuguchi, Engineering Program Manager, Highways Division, Planning Branch at (808) 587-1830. Please reference file review number PS 2017-156.

Sincerely

JADE T. BUTAY

Director of Transportation



Michael T. Munekiyo PRESIDENT

Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT

Mark Alexander Roy

Tessa Munekiyo Ng VICE PRESIDENT

February 9, 2018

Jade T. Butay, Interim Director State of Hawai'i Department of Transportation 869 Punchbowl Street Honolulu, Hawai'i 96813-5097

SUBJECT: Chapter 343, Hawai'i Revised Statutes, Early Consultation Request

for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Mr. Butay:

Thank you for your letter dated December 19, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services, we offer the following information in response to the comment noted in your letter.

A Traffic Assessment (TA) is currently being prepared for inclusion and discussion in the Draft Environmental Assessment (EA). A copy of the Draft EA will be sent to your office for review and comment.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft EA for the project. Should you have any questions or require additional information, please feel free to contact me at 983-1233.

Very truly yours,

Yukino Uchiyama

Guline Uchiyama

Associate

YU:lh

cc: Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services

Tonia S. Moy, Fung Associates, Inc.

Zasha Smith, Austin, Tsutsumi & Associates

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OFFICE OF PLANNING STATE OF HAWAII

235 South Beretania Street, 6th Floor, Honolulu, Hawaii 96813

Mailing Address: P.O. Box 2359, Honolulu, Hawaii 96804

DAVID Y. IGE

LEO R. ASUNCION DIRECTOR OFFICE OF PLANNING

Telephone:

(808) 587-2846 (808) 587-2824 Web: http://planning.hawaii.gov/

DTS201711091650NA

November 13, 2017

Ms. Yukino Uchiyama Associate Munekiyo Hiraga 305 High Street, Suite 104 Wailuku, Hawaii 96793

Dear Ms. Yukino:

Subject:

Chapter 343, Hawaii Revised Statutes, Early Consultation Request for Proposed Molokai Public Library Improvements, Kaunakakai, Molokai;

TMK: (2) 5-3-005: 012

Thank you for the opportunity to provide comments on the pre-consultation request for the preparation of a Draft Environmental Assessment (Draft EA) on the Molokai Public Library improvements proposed by the State Department of Accounting and General Services. The preconsultation review material was transmitted to our office via letter dated October 27, 2017.

It is our understanding that this project seeks to make upgrades to the Molokai Public Library in Kaunakakai. The existing library is approximately 3,300 square feet and this project will add a new stand-alone building in the back of the existing library (increasing the usable space by approximately 2,000 square feet).

The project seeks to enhance the level of service to the Molokai community by improving the building to accommodate more services. The new library configuration aims to not adversely affect the historic character of the current library. The new configuration will accommodate a workroom, staff lounge, and a new community room, and will be connected to the older structure by a hallway with a newly designed ramped entrance.

The Office of Planning (OP) has reviewed the transmitted material and has the following comments to offer:

1. Pursuant to Hawaii Administrative Rules (HAR) § 11-200-10(4) – general description of the action's technical, economic, social, and environmental characteristics, this project must demonstrate that it is consistent with a number of state environmental, social, economic goals, and policies. Hawaii Revised Statutes (HRS) Chapter 226, the Hawaii State Planning Act, provides goals, objectives, policies, planning coordination and implementation, and priority guidelines for growth, development, and allocation of resources throughout the state.

Ms. Yukino Uchiyama November 13, 2017 Page 2

The Draft EA should include a discussion on the project's ability to meet all parts of HRS Chapter 226. The analysis should examine consistency with these statutes or clarify where it is in conflict with them. If any of these statutes are not applicable to the project, the analysis should affirmatively state such determination, followed by discussion paragraphs.

2. The coastal zone management (CZM) area is defined as "all lands of the State and the area extending seaward from the shoreline to the limit of the State's police power and management authority, including the U.S. territorial sea" (HRS § 205A-1).

HRS Chapter 205A-5(b) requires all state and county agencies to enforce the CZM objectives and policies. The Draft EA should include an assessment as to how the proposed action conforms to each of the goals and objectives as listed in HRS § 205A-2. Compliance with HRS § 205A-2 is an important component for satisfying the requirements of HRS Chapter 343.

3. The review material acknowledges that the project lies within the boundaries of the special management area (SMA) delineated by the County of Maui and a SMA use permit would be will be submitted to the Planning Department, County of Maui for review, and approval by the Molokai Planning Commission. Please consult with said department, on the policies and procedures for SMA use permitting.

As a supporting document for a SMA permit application, the Draft EA should specifically discuss the requirements of SMA use in accordance with SMA guidelines pursuant to HRS § 205A-26, and County of Maui SMA ordinances.

4. Pursuant to HAR § 11-200-10(6) – identification and summary of impacts and alternatives considered; in order to ensure that the surface water and marine resources of the island of Molokai remain protected, the negative effects of stormwater inundation, potentially caused by the proposed development activities, should be evaluated in the Draft EA.

Issues that may be examined include, but are not limited to, project site characteristics in relation to flood and erosion prone areas, open spaces, the potential vulnerability of surface water resources, drainage infrastructure currently in place, soil absorption characteristics of the area, and examining the amount of permeable versus impervious surfaces. These items should be considered when developing mitigation measures for the protection for surface water resources and the coastal ecosystem, pursuant to HAR § 11-200-10(7).

OP has developed a number of resources and recommends consulting these guidance documents and stormwater evaluative tools when developing strategies to address

Ms. Yukino Uchiyama November 13, 2017 Page 3

polluted runoff. They offer useful techniques to keep land-based pollutants and sediment in place and prevent nearshore water contamination while considering the best management practices (BMP) suited for the project and the types of contaminants affecting the project area. The evaluative tools that should be used during the design process include:

- <u>Hawaii Watershed Guidance</u> provides direction on mitigation strategies for urban development activities that will safeguard watersheds and implement watershed plans http://files.hawaii.gov/dbedt/op/czm/initiative/nonpoint/HI Watershed Guidance Final.pdf
- Stormwater Impact Assessments can be used to identify and analyze information on hydrology, sensitivity of coastal and riparian resources, and management measures to control runoff, as well as consider secondary and cumulative impacts to the area.

 http://files.hawaii.gov/dbedt/op/czm/initiative/stomwater_imapct/final_storm water_impact_assessments_guidance.pdf
- <u>Low Impact Development (LID)</u>, A <u>Practitioners Guide</u> covers a range of structural BMPs for stormwater control management, onsite infiltration techniques, water reuse methods, and building layout designs that minimize negative environmental impacts.

 http://files.hawaii.gov/dbedt/op/czm/initiative/lid/lid_guide_2006.pdf

If you have any questions regarding this comment letter, please contact Joshua Hekekia of our office at (808) 587-2845.

Sincerely,

Leo R. Asuncion

Director



Michael T. Munekiyo PRESIDENT Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT

Mark Alexander Roy

Tessa Munekiyo Ng

February 9, 2018

Leo R. Asuncion, Director State of Hawai'i Office of Planning P.O. Box 2359 Honolulu, Hawai'i 96804

SUBJECT: Chapter 343, Hawai'i Revised Statutes, Early Consultation Request

for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Mr. Asuncion:

Thank you for your letter dated November 13, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services, we offer the following information in response to the comments noted in your letter.

- 1. The Draft Environmental Assessment (EA) will include a discussion and analysis of the Hawaii State Plan, Hawai'i Revised Statutes (HRS) Chapter 226. This analysis will examine consistency of the proposed project with the Hawaii State Plan.
- 2. We understand that HRS Chapter 205A requires all State and County agencies to enforce coastal zone management (CZM) objectives and policies. The Draft EA will include an assessment as to how the proposed project conforms to the CZM objectives and its supporting policies set forth in HRS, Chapter 205A-2.
- 3. A SMA Use permit will be prepared and submitted to the County of Maui, Department of Planning (DP), for review, and approval by the Moloka'i Planning Commission. Copies of the early consultation letter has been provided to DP and Moloka'i Planning Commission for review and comment.
- 4. Pursuant to HRS § 11-200-10(6), the Draft EA will discuss potential impacts resulting from the project, including surface and marine resources. Mitigation measures will be identified, as applicable, based on this evaluation pursuant to HRS § 11-200-10(7). Such measures will include the implementation of a program of Best Management Practices (BMPs). A Preliminary Engineering and

Maui: 305 High Street, Suite 104 · Wailuku, Hawaii 96793 · Tel: 808.244.2015 · Fax: 808.244.8729
Oahu: 735 Bishop Street, Suite 321 · Honolulu, Hawaii 96813 · Tel: 808.983.1233

www.munekiyohiraga.com

Leo Asuncion, Director February 9, 2018 Page 2

> Drainage Report is currently being prepared for inclusion and discussion in the Draft EA.

> We appreciate your office providing the noted links to storm water management reference resources that are available to assist project planning. A copy of your comment letter has been provided to the design team for consultation of the guidance provided in the "Hawaii Watershed Guidance", "Stormwater Impact Assessments", and "Low Impact Development, A Practitioners Guide".

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft EA for the project. Should you have any questions or require additional information, please feel free to contact me at 983-1233.

Very truly yours,

Yukino Uchiyama

Guline Uchiyama

Associate

YU:lh

Daniel Jandoc, State of Hawaii, Department of Accounting and General Services CC: Tonia S. Moy, Fung Associates, Inc.

Zasha Smith, Austin, Tsutsumi & Associates K:\DATA\Fung\Molokai Library\Applications\Draft EA\ECL Response Letters\OP.response.doc

ALAN M. ARAKAWA Mayor STEWART STANT Director MICHAEL M. MIYAMOTO Deputy Director



MICHAEL RATTE Solid Waste Division ERIC NAKAGAWA, P.E. Wastewater Reclamation Division

COUNTY OF MAUI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT

2050 MAIN STREET, SUITE 2B WAILUKU, MAUI, HAWAII 96793 December 6, 2017

Munekiyo Hiraga 305 High Street, Suite 104 Wailuku, Hawaii 96793 Attn: Yukino Uchiyama

SUBJECT: MOLOKAI PUBLIC LIBRARY IMPROVEMENTS

EARLY CONSULTATION REQUEST

TMK (2) 5-3-005:012, KAUNAKAKAI, MOLOKAI

We reviewed the subject application and have the following comments:

- 1. Solid Waste Division comments:
 - a. Contractor shall apply to the Molokai Landfill to dispose of construction waste.
- 2. Wastewater Reclamation Division (WWRD) comments:
 - a. Although wastewater system capacity is currently available as of the date of this letter, the developer should be informed that wastewater system capacity cannot be ensured until the issuance of the building permit.
 - b. Wastewater contribution calculations are required before building permit is issued.
 - c. Developer is not required to pay assessment fees for this area at the current time.
 - d. Non-contact cooling water and condensate should not drain to the wastewater system.

If you have any questions regarding this letter, please contact Michael Miyamoto at 270-8230.

Sincerely,

MICHAEL M. MIYAMOTO

Deputy Director of Environmental Management



Michael T. Munekiyo PRESIDENT Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT Mark Alexander Roy

VICE PRESIDENT

Tessa Munekiyo Ng

VICE PRESIDENT

February 9, 2018

Michael Miyamoto, Deputy Director County of Maui Department of Environmental Management 2050 Main Street, Suite 2B Wailuku, Hawai'i 96793

SUBJECT: Chapter 343, Hawai'i Revised Statutes, Early Consultation Request

for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Mr. Miyamoto:

Thank you for your letter dated December 6, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services, we offer the following information in response to the comments noted in your letter.

Comment from Solid Waste Division

a. The project contractor will apply to the Moloka'i Landfill to dispose of construction waste.

Comment from Wastewater Reclamation Division

- a. We understand that the wastewater system capacity cannot be ensured until issuance of the building permit.
- b. Wastewater contribution calculations will be prepared and submitted to the Building Permits Office prior to issuance of the building permit.
- c. Thank you for confirming that there are no assessment fees for this project.
- d. Non-contact cooling water and condensate will not be drained to the wastewater system for the proposed project.

Maui: 305 High Street, Suite 104 · Wailuku, Hawaii 96793 · Tel: 808.244.2015 · Fax: 808.244.8729

Oahu: 735 Bishop Street, Suite 321 . Honolulu, Hawaii 96813 . Tel: 808.983.1233

www.munekiyohiraga.com

Michael Miyamoto, Deputy Director February 9, 2018 Page 2

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft EA for the project. Should you have any questions or require additional information, please feel free to contact me at (808) 983-1233.

Very truly yours,

Guline Uchiyama Yukino Uchiyama

Associate

YU:lh

Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services CC:

Tonia S. Moy, Fung Associates, Inc.

Zasha Smith, Austin, Tsutsumi & Associates K:\DATA\Fung\Molokai\Library\Applications\Draft EA\ECL Response Letters\DEM.response.doc

ALAN M. ARAKAWA Mayor CAROL K. REIMANN Director

> JAN SHISHIDO Deputy Director

2200 MAIN STREET • SUITE 546 • WAILUKU, HAWAII 96793 • PHONE (808) 270-7805 • FAX (808) 270-7165 MAILING ADDRESS: 200 SOUTH HIGH STREET • WAILUKU, HAWAII 96793 • EMAIL: director.hhc@mauicounty.gov

October 30, 2017

Ms. Yukino Uchiyama, Associate Munekiyo Hiraga 305 High Street, Suite 104 Wailuku, Hawaii 96793

Dear Ms. Uchiyama:

SUBJECT: Chapter 343, Hawaii Revised Statutes, Early Consultation Request

for Proposed Molokai Public Library Improvements at TMK (2) 5-3-

005:012, Kaunakakai, Molokai, Hawaii

The Department has reviewed the Chapter 343, Hawaii Revised Statutes, Early Consultation Request for the above subject project. Based on our review, we have determined that the subject project is not subject to Chapter 2.96, Maui County Code. At the present time, the Department has no additional comments to offer.

Please call Mr. Veranio Tongson Jr. of our Housing Division at (808) 270-1741 if you have any questions.

Sincerely,

BUDDY A. ALMEIDA Housing Administrator

cc: Director of Housing and Human Concerns



Michael T. Munekiyo
PRESIDENT
Karlynn K. Fukuda
EXECUTIVE VICE PRESIDENT
Mark Alexander Roy
VICE PRESIDENT
Tessa Munekiyo Ng

VICE PRESIDENT

February 9, 2018

Buddy A. Almeida, Housing Administrator County of Maui Department of Housing and Human Concerns 2200 Main Street, Suite 546 Wailuku, Hawai'i 96793

SUBJECT: Chapter 343, Hawai'i Revised Statutes, Early Consultation Request

for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Mr. Almeida:

Thank you for your letter dated October 30, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services, we appreciate your letter of confirmation that the project is not subject to Chapter 2.96, Maui County Code and that you have no comments to offer at this time.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft Environmental Assessment for the project. Should you have any questions or require additional information, please feel free to contact me at (808) 983-1233.

Very truly yours,

Yukino Uchiyama

Guline Uchiyama

Associate

YU:lh

cc: Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services Tonia S. Moy, Fung Associates, Inc.

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ALAN M. ARAKAWA Mayor



BRIANNE L. SAVAGE Deputy Director

> (808) 270-7230 FAX (808) 270-7934

DEPARTMENT OF PARKS & RECREATION

700 Hali'a Nakoa Street, Unit 2, Wailuku, Hawaii 96793

November 6, 2017

Ms. Yukino Uchiyama, Associate Munekiyo Hiraga 305 High Street, Suite 104 Wailuku, HI 96793

Dear Ms. Uchiyama:

SUBJECT: CHAPTER 343, HAWAII REVISED STATUES, EARLY CONSULTATION

REQUEST FOR PROPOSED MOLOKAI PUBLIC LIBRARY IMPROVEMENTS

AT TMK: (2) 5-3-005:012, KAUNAKAKAI, MOLOKAI, HAWAII

Thank you for the opportunity to review and comment on the proposed Molokai Public Library Improvements project. The Department has no comments to the proposed action. In accordance with the requirements of Chapter 343, Hawaii Revised Statutes (HRS) and Section 11-2-00-6, Hawaii Administrative Rules (HAR) please provide a copy of the Draft Environmental Assessment (EA).

Feel free to contact me or Robert Halvorson, Chief of Planning & Development at (808) 270-7387, or at Robert.Halvorson@co.maui.hi.us, should you have any questions.

Sincerely,

KA'ALA BUENCONSEJO

Director of Parks and Recreation

Robert Halvorson, Chief of Planning & Development

KB:RH:do

c:



Michael T. Munekiyo PRESIDENT

Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT

Mark Alexander Roy VICE PRESIDENT

Tessa Munekiyo Ng VICE PRESIDENT

February 9, 2018

Ka'ala Buenconsejo, Director County of Maui Department of Parks & Recreation 700 Hali'a Nakoa Street, Unit 2 Wailuku, Hawai'i 96793

SUBJECT:

Chapter 343, Hawai'i Revised Statutes, Early Consultation Request for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Mr. Buenconsejo:

Thank you for your letter dated November 6, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services, we appreciate your letter confirming that your Department has no comments to offer at this time. A copy of the Draft Environmental Assessment (EA) will be sent to your office for review and comment.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft EA for the project. Should you have any questions or require additional information, please feel free to contact me at (808) 983-1233.

Very truly yours,

Yukino Uchiyama

Guline Uchiyama

Associate

YU:lh

cc: Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services

Tonia S. Moy, Fung Associates, Inc. K:\DATA\Fung\Molokai\Library\Applications\Draft EA\ECL Response Letters\DPR.response.doc

ALAN M. ARAKAWA Mayor

WILLIAM R. SPENCE Director

MICHELE CHOUTEAU McLEAN
Deputy Director



COUNTY OF MAUI

DEPARTMENT OF PLANNING

November 14, 2017

Munekiyo & Hiraga, Inc. Attn: Yukino Uchiyama, Associate 305 High Street, Suite 104 Wailuku, Hawaii 96793

Dear Ms. Uchiyama:

SUBJECT:

REQUEST FOR EARLY CHAPTER 343, HAWAII REVISED STATUTES, CONSULTATION FOR THE PROPOSED MOLOKAI PUBLIC LIBRARY IMPROVEMENTS AT TMK (2) 5-3-005:012, KAUNAKAKAI, MOLOKAI, HAWAII

The Department of Planning (Department) is in receipt of your subject request dated October 27, 2017.

Based on review of the subject request, the Department offers the following comments:

- The proposed project qualifies as a "development" under Section 205A, Hawaii Revised Statutes (HRS), the State's Coastal Zone Management law.
- 2. Following completion of the DEA process, please submit a SMA Use Permit application to the Department. This application will require review by the Urban Design Review Board and approval by the Molokai Planning Commission.
- 3. Following the completion of the DEA process, please submit a Country Town Design Review Application to the Department. This application can be approved administratively.
- 4. Following the completion of the DEA process, a Flood Development Permit may be required by the Department.
- 5. Following the completion of the DEA process, a Landscaping Parking Plan may be required by the Department.
- 6. The Department acknowledges the Molokai Public Library is a significant historic property listed in the Hawaii Register of Historic Places. Accordingly, the Department recommends any changes made to the

Munekiyo & Hiraga, Inc. Yukino Uchiyama, Associate November 14, 2017 Page 2

property comply with the Secretary of the Interior's Standards for Rehabilitation. The Department also requests an opportunity for the Cultural Resources Commission to provide design review to ensure the proposed addition is in keeping with national preservation standards.

7. The following sections of the 2001 Molokai Community Plan are applicable to this project:

DESIGN

GOAL

Harmony between the natural and man-made environments to ensure that the natural beauty and character of Molokai is preserved.

OBJECTIVES AND POLICIES

- 1. Encourage the provision of coco palms and other trees which exceed building heights in close proximity to all buildings except along existing facades in downtown Kaunakakai.
- 2. Require compliance with Country Town Business design standards for all new commercial development and renovations and for government and private infrastructure improvements, landscaping, park projects and multi-family projects.
- 3. Encourage building, infrastructure and landscaping designs which respect the scale, beauty and scenic qualities of Molokai.
- 4. Encourage the planting of additional trees as well as the preservation of existing trees in the Country Town areas of Kaunakakai, Maunaloa, Kualapu`u, and East End.

EDUCATION

IMPLEMENTING ACTIONS

1. Expand the library facility on its current site in Kaunakakai. Expand hours of operation to include Saturdays. Establish a small cultural center and library in the East End, possibly at the site of Kaluaaha Church. Establish a small library in the West End, possibly in Maunaloa.

Munekiyo & Hiraga, Inc. Yukino Uchiyama, Associate November 14, 2017 Page 3

Thank you for the opportunity to comment on this matter. If additional clarification is required, please contact Cultural Resources Planner Annalise Kehler at annalise.kehler@mauicounty.gov, or Molokai Staff Planner Sybil Lopez by email at sybil.lopez@mauicounty.gov or by phone at (808) 553-4190.

Sincerely,"

WILLIAM SPENCE

Planning Director

XC:

Clayton I. Yoshida, AICP, Planning Program Administrator (PDF)

Sybil Lopez, Staff Planner (PDF)

Annalise Kehler, Cultural Resource Planner (PDF)

Project File General File

WRS:AAK:rhl

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Michael T. Munekiyo PRESIDENT

Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT

Mark Alexander Roy

Tessa Munekiyo Ng

February 9, 2018

William Spence, Director County of Maui Department of Planning 2200 Main Street, Suite 315 Wailuku, Hawai'i 96793

SUBJECT:

Chapter 343, Hawai'i Revised Statutes, Early Consultation Request for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Mr. Spence:

Thank you for your letter dated November 14, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services (DAGS), we offer the following information in response to the comments noted in your letter.

- 1. We understand that the proposed project qualifies as a "development" under Section 205A, Hawaii Revised Statutes (HRS), the State's Coastal Zone Management (CZM) law. The Draft Environmental Assessment (EA) will include an assessment as to how the proposed project conforms to the CZM objectives and its supporting policies set forth in HRS, Chapter 205A-2.
- 2. A Special Management Area (SMA) Use Permit application will be prepared and submitted to the County of Maui, Department of Planning (DP) following the completion of the Draft EA. The Draft EA will serve as the primary technical supporting document for the SMA Use Permit application. We acknowledge that this application will require review by the Urban Design Review Board and approval by the Moloka'i Planning Commission.
- 3. A Country Town Design Review Application will be prepared and submitted to DP to ensure the required conformance with adopted design guidelines for the proposed project.
- 4. A Flood Development Permit will be obtained for the project, as applicable.

www.munekiyohiraga.com 152

William Spence, Director February 9, 2018 Page 2

- 5. A Landscaping Parking Plan approval will be obtained for the project, as applicable.
- 6. The proposed project will comply with applicable Secretary of the Interior's Standards for Rehabilitation. We also note your comment regarding the Cultural Resource Commission's design review request. The Cultural Resource Commission reviewed and indicated its support for the proposed project at its regular January 4, 2018 meeting.
- 7. Thank you for the information provided regarding the 2001 Moloka'i Community Plan and the draft community plan update process. The Draft EA will include a discussion and analysis of the current adopted Moloka'i Community Plan.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft EA for the project. Should you have any questions or require additional information, please feel free to contact me at (808) 983-1233.

Very truly yours.

Yukino Uchiyama

Guline Uchiyama

Associate

YU:lh

Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services CC: Tonia S. Moy, Fung Associates, Inc. K:\DATA\Fung\Molokai Library\Applications\Draft EA\ECL Response Letters\Planning.response.doc



OUR REFERENCE

YOUR REFERENCE

POLICE DEPARTMENT

COUNTY OF MAUL

55 MAHALANI STREET WAILUKU, HAWAII 96793 (808) 244-6400 FAX (808) 244-6411



TIVOLI S. FAAUMU CHIEF OF POLICE

DEAN M. RICKARD
DEPUTY CHIEF OF POLICE

November 28, 2017

Ms. Yukino Uchiyama Associate Munekiyo Hiraga 305 High Street, Suite 104 Wailuku, Hawaii 96793

SUBJECT:

Chapter 343, Hawaii Revised Statutes, Early Consultation Request for

Proposed Molokai Public Library Improvements at TMK (2) 5-3-005:012,

Kaunakakai, Molokai, Hawaii

Dear Ms. Uchiyama:

This is in response to your letter dated October 27, 2017, requesting comments on the above subject.

We have received the information submitted and have enclosed a copy of our comments and recommendations.

Thank you for giving us the opportunity to comment on this project.

Sincerely,

Ássistart Chief John Jakubczał

for: TIVOLI S. FAAUMU

Chief of Police

Enclosure

TO: TIVOLI FAAUMU, POLICE CHIEF, MAUI COUNTY POLICE DEPARTMENT

VIA: CHANNELS John Jakubczak LONGUR WITH ASSESSMENT.

LETTER TO BE DRAFTED AND SENT
TO MUNEKIYO HIRAGA WITH OUR

FROM: SEPULONA FALEALII, PO III, MAUI POLICE DEPARTMENT, D-V RESPONSE

SUBJECT: MOLOKAI PUBLIC LIBRARY IMPROVEMENTS, KAUNAKAKAI, MOLOKAI, HI

SYNOPSIS:

On November 15, 2017, at about 0900 hours, I was assigned by Captain Jeraul PLADERA to assess the above mentioned construction project. The proposed project is to develop a new, ν stand-alone building at the rear of the Molokai Public Library

Location: The Molokai Public Library is located on Ala Malama Avenue, just off of

Maunaloa Highway in Kaunakakai Town approximately 1,400 feet away from the

closest shoreline.

Tax Map Key (TMK): (2)5-3-005:012

(Refer to TMK Figure attached)

Owner: State of Hawaii

TRAFFIC:

The construction location appears to be a good distance from said intersection and roadways used by residents/businesses in the area so I do not foresee any major issues, however, proper precautions should be taken to address the ingress and egress of any construction materials or equipment onto public roadways.

POLLUTION:

Noise and dust pollution are usually the two main complaints made by the public in construction related situations. Therefore, it would be in the construction company's best interest to take the appropriate steps to minimize said issues.

CONTACT PERSON:

Yukino UCHIYAMA, Associate for Munekiyo Hiraga may be contacted for further information at (808) 983-1233.

DISPOSITION:

Should all issues regarding traffic control and noise/dust pollution be addressed, I do not foresee any reason why the construction cannot proceed as planned.



Michael T. Munekiyo PRESIDENT

Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT

Mark Alexander Roy VICE PRESIDENT

Tessa Munekiyo Ng VICE PRESIDENT

February 9, 2018

Tivoli S. Faaumu, Chief of Police County of Maui Police Department 55 Mahalani Street Wailuku, Hawai'i 96793

SUBJECT:

Chapter 343, Hawai'i Revised Statutes, Early Consultation Request for the Proposed Moloka'i Public Library Improvements at TMK (2)5-3-

005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Mr. Faaumu:

Thank you for your letter dated November 28, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services (DAGS), we offer the following information in response to the comments noted in your letter.

Proper precautions will be taken by DAGS regarding the ingress and egress of any construction materials or equipment onto public roadways as well as traffic control and noise/dust pollution. Appropriate compliance requirements will be incorporated in the construction contract documents for the project. A copy of your comment letter and report has been provided to the design team for review.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft Environmental Assessment for the project. Should you have any questions or require additional information, please feel free to contact me at (808) 983-1233.

Very truly yours,

Yukino Uchiyama Associate

Guline Uchiyama

YU:lh

CC:

Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services Tonia S. Moy, Fung Associates, Inc.

Zasha Smith, Austin, Tsutsumi & Associates

ALAN M. ARAKAWA Mayor

DAVID C. GOODE Director

ROWENA M. DAGDAG-ANDAYA Deputy Director

Telephone: (808) 270-7845 Fax: (808) 270-7955



COUNTY OF MAUI DEPARTMENT OF PUBLIC WORKS

200 SOUTH HIGH STREET, ROOM NO. 434 WAILUKU, MAUI, HAWAII 96793

October 31, 2017

CARY YAMASHITA, P.E.

CARY YAMASHITA, P.E Engineering Division

GLEN A. UENO, P.E., P.L.S.

Development Services Administration

JOHN R. SMITH, P.E. Highways Division

Ms. Yukino Uchiyama, Associate Munekiyo Hiraga 305 High Street, Suite 104 Wailuku, Maui, Hawaii 96793

Dear Ms. Uchiyama:

SUBJECT: CHAPTER 343, HAWAII REVISED STATUTES, EARLY

CONSULTATION REQUEST FOR PROPOSED MOLOKAI

PUBLIC LIBRARY IMPROVEMENTS AT TMK: (2) 5-3-005:012,

KAUNAKAKAI, MOLOKAI, HAWAII

Thank you for your early consultation request. We have no comments at this time; however, we wish to provide comments during the review of the Draft Environmental Assessment.

If you should have any questions, please feel free to call Public Works Deputy Director Rowena Dagdag-Andaya at 270-7845.

Sincerely,

DAVID C. GOODE

Director of Public Works

DCG:RMDA:iso

xc: Daniel Jandoc, State of Hawaii, Department of Accounting and General Services

Tonia S. Moy, Fung Associates, Inc.

Development Services Administration

s:\rowena\yukino uchiyama early consult prop molokai public library imp



Michael T. Munekiyo PRESIDENT

Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT

Mark Alexander Roy VICE PRESIDENT

Tessa Munekiyo Ng VICE PRESIDENT

February 9, 2018

David C. Goode, Director County of Maui Department of Public Works 200 South High Street, Room No. 434 Wailuku, Hawai'i 96793

SUBJECT:

Chapter 343, Hawai'i Revised Statutes, Early Consultation Request for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Mr. Goode:

Thank you for your letter dated October 31, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services, we appreciate your letter confirming that your Department does not have any comments to offer at this time. A copy of the Draft Environmental Assessment (EA) will be sent to your office for review and comment.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft EA for the project. Should you have any questions or require additional information, please feel free to contact me at (808) 983-1233.

Very truly yours,

Yukino Uchiyama

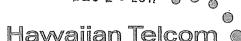
Guline Uchiyama

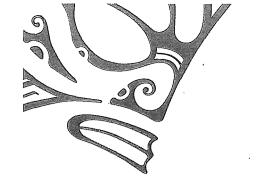
Associate

YU:lh

cc: Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services Tonia S. Moy, Fung Associates, Inc.

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November 1, 2017

Munekiyo Hiraga 305 High Street, Suite 104 Wailuku. HI 96793

ATTN:

Yikino Uchiyama, Associate

SUBJECT:

EARLY CONSULTATION REQUEST FOR PROPOSED MOLOKA'I

PUBLIC LIBRARY IMPROVEMENTS, KAUNAKAKAI

DISTRICT, ISLAND OF MOLOKAI

Dear Mr. Uchiyama:

Thank you for providing Hawaiian Telcom Incorporated, the opportunity to comment on the early consultation for a draft Environmental Assessment for Proposed Moloka'l Public Library improvements for the the State of Hawaii, Department of Accounting and General Services (DAGS) in Kaunakakai District, Island of Molokai.

Hawaiian Telcom has no comments on this project at this time.

If there are any questions, please call Sheri Tihada at (808) 242-5258.

Sincerely,

Cassandra Yamamoto

Senior Manager -

Sr Mgr - Network Development

C:

File (5010) 1711-054



Michael T. Munekiyo PRESIDENT

Karlynn K. Fukuda EXECUTIVE VICE PRESIDENT

Mark Alexander Roy VICE PRESIDENT

Tessa Munekiyo Ng VICE PRESIDENT

February 9, 2018

Cassandra Yamamoto, Senior Manager Network Development Hawaiian Telcom P.O. Box 2200 Honolulu, Hawai'i 96841

SUBJECT: Chapter 343, Hawai'i Revised Statutes, Early Consultation Request

for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Ms. Yamamoto:

Thank you for your letter dated November 1, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services, we appreciate your letter confirming that you have no comments to offer at this time.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft Environmental Assessment for the project. Should you have any questions or require additional information, please feel free to contact me at (808) 983-1233.

Very truly yours,

Yukino Uchiyama

Guline Uchiyama

Associate

YU:lh

www.munekiyohiraga.com

cc: Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services Tonia S. Moy, Fung Associates, Inc.

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P. O. Box 1017, Wailuku, Hawaii 96793 www.mfol.org

November 8, 2017

Munekiyo Hiraga Attn: Yukino Uchiyama, Associate 305 High Street, Suite 104 Wailuku, HI, 96793

Dear Yukino,

This letter is in response to your letter of October 27, 2017, regarding the upcoming expansion of the Moloka'i Public Library. The Maui Friends of the Library (MFOL) has no input regarding the Environmental Assessment (EA) of the project.

The MFOL is excited about the Moloka'i Public Library expansion and the increased services it will provide the residents of Moloka'i. We look forward to the dedication celebration when the project is completed.

Best Regards,

John Tryggestad President MFOL



Michael T. Munekiyo PRESIDENT

Karlynn K. Fukuda

Mark Alexander Roy
VICE PRESIDENT

Tessa Munekiyo Ng VICE PRESIDENT

February 9, 2018

John Tryggestad, President Maui Friends of the Library P.O. Box 1017 Wailuku, Hawai'i 96793

SUBJECT: Chapter 343, Hawai'i Revised Statutes, Early Consultation Request

for the Proposed Moloka'i Public Library Improvements at TMK

(2)5-3-005:012 (por.), Kaunakakai, Moloka'i, Hawai'i

Dear Mr. Tryggestad:

Thank you for your letter dated November 8, 2017, responding to the request for early consultation comments on the proposed Moloka'i Public Library Improvements in Kaunakakai, Moloka'i, Hawai'i. On behalf of the State of Hawai'i, Department of Accounting and General Services, we appreciate your letter confirming that you have no comments to offer at this time.

Thank you again for your input. A copy of your comment letter and this response will be included in the Draft Environmental Assessment for the project. Should you have any questions or require additional information, please feel free to contact me at (808) 983-1233.

Very truly yours,

Yukino Uchiyama

Guline Uchiyama

Associate

YU:lh

cc: Daniel Jandoc, State of Hawai'i, Department of Accounting and General Services Tonia S. Moy, Fung Associates, Inc.

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X. REFERENCES

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2011 PROJECT DEVELOPMENT REPORT

APPENDIX



PROJECT DEVELOPMENT REPORT

and

MASTER PLAN

for the

MOLOKAI PUBLIC LIBRARY EXPANSION

Kaunakakai, Hawaii



Prepared for

The State of Hawaii Department of Accounting and General Services

and

The Hawaii State Public Library System

D.A.G.S. Job No. 15-36-6379

April 2011

Prepared by:

Anbe, Aruga & Ishizu, Architects, Inc. 1441 Kapiolani Boulevard, Suite 206 Honolulu, Hawaii 96814 Telephone: (808) 949-1025

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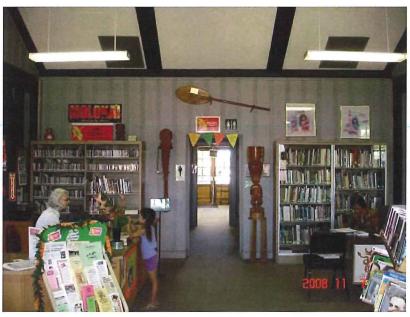
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D. DLNR SHPD Letter, with attachments, dated August 27, 2009	

General Usages of Existing Spaces

Lobby Area:

The existing perceived Lobby Area supports multiple functions. Upon entry to the Library, visitors will encounter a few display tables and shelves for new or featured reading material. There are also six computer stations, three on each side of the main entrance. The main circulation desk is prominent and immediately accessible, with the Librarian situated directly across from it.





Adult Reading Area:

The Adult Reading Area is separated into two sections by the Lobby Area. On one side, it shares space with the Young Adult and Children's Reading Areas. In this area, the majority of the reading material is books and the adults are provided with two round tables, each with four chairs. On the opposite side of the Lobby Area, the entire section is devoted to adult reading material consisting of books, newspapers, periodicals, and multi-media such as CD's, DVD's and video cassettes. A copy machine is situated at the perimeter of this area, next to the circulation desk. Two rectangular tables, each with six chairs, are provided in addition to six lounge-type seats.





Young Adult and Children's Reading Area:

There is no clear delineation between the Young Adult and the Children's Reading Area. These two areas comprise the remainder of the space left by the Adult Reading Area. Various smaller tables and chairs are available for young adults and children to sit and read at. There is one round table with four chairs and a grouping of three rectangular tables with 12 chairs surrounding it. Three smaller lounge-type seats are also provided for the youngsters.



Restrooms:

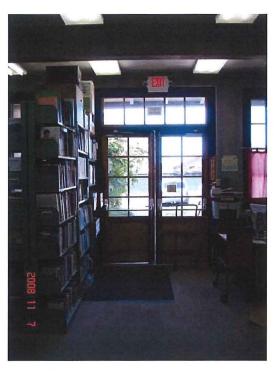
There are two Restrooms in the hallway separating the Lobby Area from the Workroom Area, one designated for women and the other for men.

Workroom and Staff Lounge:

At the rear of the building is a large room that serves several purposes. Shelving units are used for the storage and sorting of books and multi-media. There are workstations for miscellaneous clerical work. Tables and a countertop provide additional workspace. This area also serves as the Staff Lounge.







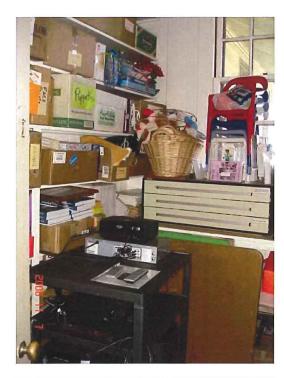


Storage:

There are two Storage Rooms in the hallway separating the Lobby Area from the Workroom Area.









Proposed Changes to Existing Building/Spaces

General:

Additional square footage is desired to accommodate more library materials, and to have a more spacious arrangement for easier circulation within the Library. One of the most significant deficiencies observed is the lack of a dedicated Program Room or area. Currently, the Young Adult and Children's Reading Areas need to be cleared and/or reconfigured to accommodate any such activities. Upon completion of the activity, the two Reading Areas need to be restored to their original configurations.

Young Adult Reading Area:

There is a need to expand the square footage for the Young Adult Reading Area. Currently, it comprises a small percentage of the total Library square footage. One consideration is to relocate the Young Adult Reading Area into the existing Workroom and Staff Lounge space.

Children's Reading Area:

There is a need to expand the square footage for the Children's Reading Area. Currently, it comprises a small percentage of the total Library square footage. There is no clearly defined dedicated space or area for children's story-telling activities.

Restrooms:

There are only two existing Restrooms, one for Men and one for Women. These are shared by the general public and the Library staff. It is desired that these existing Restrooms be dedicated for the general public and that the Library staff be provided with their own separate Toilet Room. The two existing Restrooms will need to be modified to comply with current ADA standards.

Description of Master Plan

The design intent of the Master Plan is to increase the overall Library square footage to enlarge and reconfigure existing Library spaces and functions. The Master Plan proposes to add approximately 2,523 square feet to the back of the existing Library, which is currently 3,329 square feet. The Children's Reading Area and the Workroom/Staff Lounge will both be enlarged and relocated to the new Library addition, which will have two (2) ADA compliant entrances. The Adult Reading Area will remain in the existing front portion of the Library and be expanded, while the Young Adult Reading Area will be relocated to the space currently used for the Workroom and Staff Lounge.

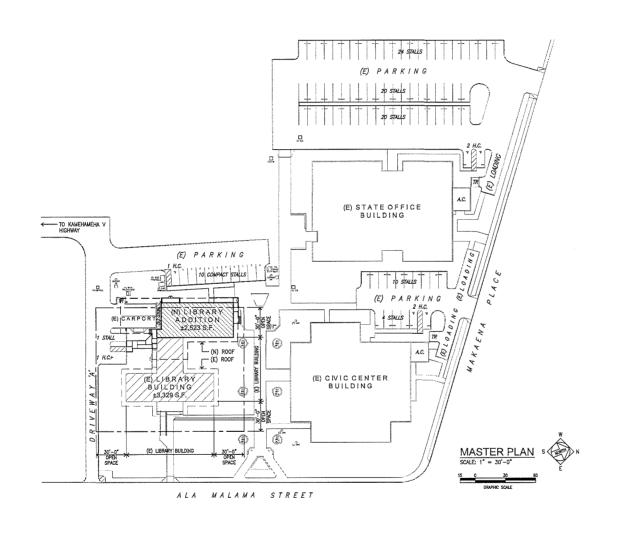
MOLOKAI PUBLIC LIBRARY EXPANSION

MASTER PLAN

15 ALA MALAMA STREET KAUNAKAKAI, HAWAII 96748 D.A.G.S. JOB NO. 15-36-6379

Prepared for the
State of Hawaii Department of Accounting and General Services
and
The Hawaii State Public Library System
Prepared By
Anbe, Aruga & Ishizu, Architects, Inc.

VICINITY MAP	LOCATION MAP	SHEET INDEX
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		A-1 MASTER PLAN
	PROJECT	A-2 CONCEPTUAL FLOOR PLAN
PACIFIC OCEAN	LOCATION	A-3 CONCEPTUAL EXTERIOR ELEVATIONS
ILIO PONT	The state of the s	A-4 CONCEPTUAL BUILDING SECTIONS
DAU POINT PROJECT LOCATION NOTTH Wast Survey Wast Survey Notth N	THE STATE OF THE S	DEPT. OF ACCOUNTING & GENERAL SERVICE STREET OF NAME MOLICAL PRICE MILL ROCAL & STREET, ACCOUNTING BY MILL ROCAL BY MILL ROCA



CODE SUMMARY:

PER THE 2006 INTERNATIONAL BUILDING CODE:

OCCUPANCY:

CONSTRUCTION TYPE: TYPE V-B

SPRINKLERS ARE NOT REQUIRED: FIRE AREA < 12,000 S.F.

FIRE AREA OCCUPANT LOAD < 300 OCC. FIRE AREA SAME AS LEVEL OF EXIT DISCHARGE

ALLOWABLE HEIGHT: 1-STORY ALLOWABLE AREA: 6,000 S.F. EXISTING LIBRARY AREA: ±3,329 S.F. PROPOSED LIBRARY ADDITION: ±2.523 S.F.

TOTAL LIBRARY AREA: ±5.852 S.F.

ALLOWABLE AREA INCREASES:

P: Perimeter of entire building (feet).

W: Width of public way or open space (feet) in accordance with Section 506.2.1,

 $i_f = [322/322 - 0.25]30/30 = 0.75$

6,000 S.F. x 0.75 = 4,500 S.F. ALLOWABLE AREA INCREASE

TOTAL ALLOWABLE AREA: 6,000 S.F. + 4,500 S.F. = 10.500 S.F.

PARKING SUMMARY: PER THE 2005 INTERNATIONAL BUILDING CODE:

PARKING DEVILIBERATION

TURNING INCOME		
BUILDING NAME:	BLDG. AREA/PARKING RATIO	STALLS REQUIRE
EXISTING LIBRARY	3,000/300	10
NEW LIBRARY ADDITION	N 2,523/300	9
EXISTING CIVIC CENTE	R 12,200/500	25
EXISTING STATE OFFICE	E BLDG. 13,697/500	28
	·	TOTAL: 72

PARKING STALLS PROVIDED:

ANNING STALLS FINGUICE.		
EXISTING COMPACT STALLS	10	
EXISTING REGULAR STALLS	79	
EXISTING ACCESSIBLE STALLS	. 6	
	TOTAL: 95	

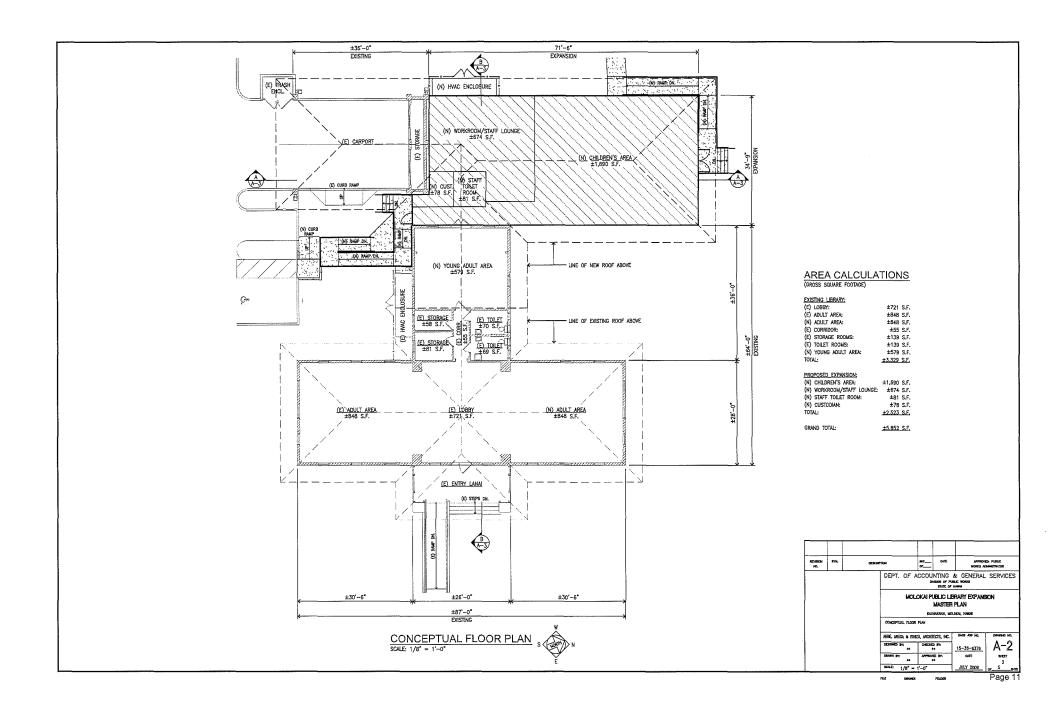
ACCESSIBLE STALL REQUIREMENTS:

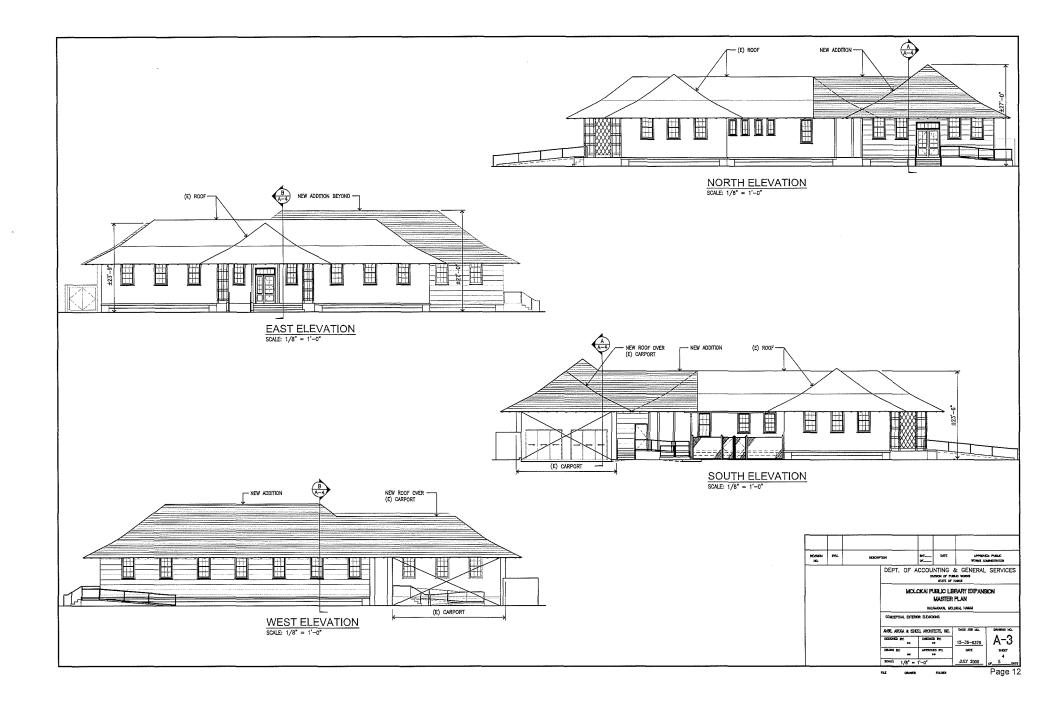
1991 ADAAG, SECTION 4.1 REQUIREMENT FOR ACCESSIBLE PARKING STALLS
BETWEEN 101 TO 150 TOTAL PARKING STALLS REQUIRES A MINIMUM OF FIVE (5) ACCESSIBLE STALLS. THERE ARE SIX (6) EXISTING ACCESSIBLE STALLS.

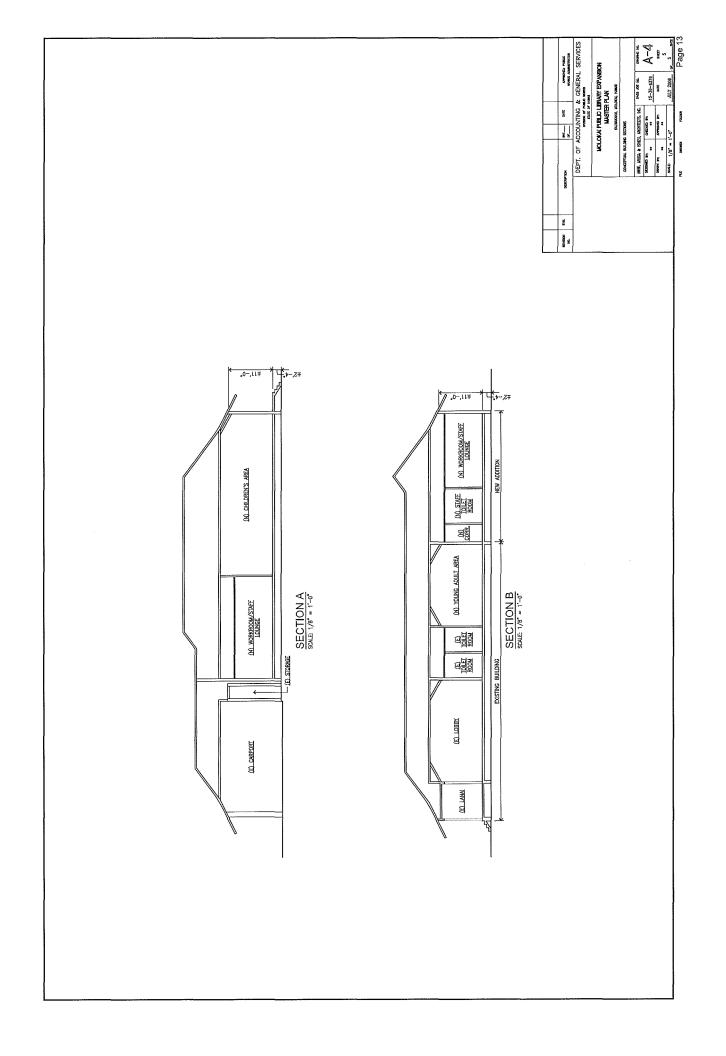
LOADING STALL REQUIREMENTS:

TWO (2) LOADING STALLS REQUIRED FOR BUILDINGS IN EXCESS OF 10,000 S.F., AS SPECIFIED IN MAIN COUNTY ZONING TITLE 19,36.010 (34). THERE ARE THREE (3) EXISTING LOADING STALLS.

REMISSION NO.	STAL.	DESCRIP	ток	94 07	DATE		ED: PUBLIC DUMNSTRATOR	
			DEPT. OF		NTING &	IC WORKS	. SERVICES	
			MOLOKAI PUBLIC LIBRARY EXPANSION MASTER PLAN					
				KAL	NAKAKAI, MOLE	KA, HAMAI		
			MASTER PLAN					
			ANDE, ARUGA & ISH	ZU, ARCHI	EETS, INC.	DACS JOB NO.	DRIVENIO NO.	
			DEZIGNED IN	CHECKE	D 100	15-36-6379	A-1	
			DRAWN Dis	APPROV	CD Drit.	DATE	59EET	
			90M.D: 1" = 30	-0"	\neg	JULY 2009	or5em	







PROJECT: Molokai Public Library Expansion	Phase: 0% Design
LOCATION: Kaunakakai, Molokai, Hawaii	Sht. 1 of 1
A/E: Anbe, Aruga & Ishizu, Architects, Inc.	DATE: July 2009
DAGS Job No.: 15-36-6479	

BREAKDOWN OF SOUARE FOOTAGES Programmed Net S.F. Existing Gross S.F. Comments Proposed Gross S.F. Comments Space: 625 728 728 To remain relatively unchanged Lobby Area Lobby/Display 125 Check-out 250 100 Copy Area Machine only Combined w/ Check-out Reference Desk 150 Librarian's Desk 0 Existing to remain Capture Young Adult's & Children's Areas Adult Area 1,605 854 1,708 Adult Books 575 Index/Atlas/etc. 200 None 35 **Current Periodicals** Back Periodicals 30 Adult Table Seats 300 4 tables & 16 seats **Adult Carrels** 180 None provided 6 Chairs Adult Lounge 160 125 6 Computer Stations Relocated from Lobby Area Catalog Area Relocate to Workroom/Staff Lounge Area Young Adult Area 200 538 585 Children's Area 1,395 316 1,690 Expansion (includes circulation) Children's Desk 0 Picture Books 60 225 Children's Books Child Table Seats 300 4 tables & 16 seats Child Lounge Seats 160 3 chairs Story Hour Room 0 Program Room 500 Misc. (AV) 150 300 One each, Men's & Women's 145 Dedicate to general public Restrooms 145 Study/Conf. Rooms 0 0 None provided 0 Not needed Not needed Supervisor Offices 125 0 None provided 0 Workroom/Staff Lounge 674 Expansion (includes circulation) 550 585 Storage Rooms 100 145 145 Existing to remain None designated 81 Staff Restroom 75 0 Expansion 225 None provided 78 Expansion (Custodian only, no Mechanical) Custodian/Mechanical 0 **Grounds Maintenance** 40 0 None provided 0 Use existing Carport Storage (verify) Corridor 61 61 Existing to remain **TOTAL Square Footage:** 5.240 3,372 5,895

PROJECT: Molokai Public Library Expansion LOCATION: Kaunakakai, Molokai, Hawaii A/E: Anbe, Aruga & Ishizu, Architects, Inc.

DAGS Job No.: 15-36-6379

PHASE: 0% Design SHT, 1 OF 1 DATE: January 2011

OPINION OF PROBABLE CONSTRUCTION COST BREAKDOWN

				MAT	TERIALS	L	ABOR	T	OTAL
	DESCRIPTION	QUAN	UNIT	RATE	AMOUNT	RATE	AMOUNT	RATE	AMOUNT
1	General Conditions	1	LS					\$200,000	\$200,000
2	Site Work								
	Existing Office Building Demolition Work	490	SF					\$30	\$14,700
	Existing Concrete Sidewalk Demolition Work	1,200	SF					\$6	\$7,200
	Existing Landscape Demolition Work	2,700	SF					\$4	\$10,800
	New Concrete Sidewalks	820	SF					\$18	\$14,760
	New Landscaping	1,600	SF					\$7	\$11,200
	Hazardous Material Removal & Disposal (Allowance)	1	LS					\$6,000	\$6,000
	General Contractor's O/H Markup (15%)								\$9,699
	Sitework Subtotal:								\$74,359
3	Existing Library Building								
	Existing Carport Roof Demolition Work	1,200	SF					\$17	\$20,400
	Interior Architectural Work (ADA, Upgrades, etc.)	1	LS					\$59,000	\$59,000
	New Roofing over Existing Non-Renovated Area	4,235	SF					\$10	\$42,350
	Upgrade Existing Handicap Ramp	170	SF					\$30	\$5,100
	Associated Mechanical Work	1	LS					\$24,000	\$24,000
	Associated Electrical Work	1	LS					\$12,000	\$12,000
	Hazardous Material Removal & Disposal (Allowance)	1	LS					\$8,000	\$8,000
	General Contractor's O/H Markup (15%)								\$25,628
	Existing Library Building Subtotal:								\$196,478
4	Library Expansion								
	New Building Expansion (Historical Preservation)	2,523	SF					\$425	\$1,072,275
	New Roofing at Expansion & Carport (Including Roof Framin	5,434	SF					\$50	\$271,700
	New Concrete Ramps & Steps	554	SF					\$60	\$33,240
	New Mechanical Equipment Pad/Enclosure	120	SF					\$30	\$3,600
	New Mechanical Equipment & Associated Mech. Work	1	LS					\$95,000	\$95,000
	Associated Electrical Work	1	LS					\$36,000	\$36,000
	General Contractor's O/H Markup (15%)								\$226,772
	Library Expansion Subtotal:								\$1,738,587
5	Library Renovation Subtotal:								\$2,209,424
	Regional Factor (35%)								\$773,298
	Contingency (25%)								\$745,681
	Projected Bid Opening 6/2012 Escalation (.75% per Month	n x 18 M	lonths	s = 13.5	%)				\$503,334
	*Grand Total Library Renovation:								\$4,231,737
	SAY:								\$4,232,000

^{*} Does not include Contractor's Performance Bond, Permit Fees, Utility Connection Fees, Special Inspection & Testing Costs, Builder's Risk Insurance and Design Fees.

<u>Attachments</u>

1441 Kapiolani Blvd. Suite 206 HONOLULU, HAWAII 96814

> PHONE (808) 949-1025 FAX (808) 949-1027

MEETING REPORT

Date:

8 February 2007

Time:

9:00 am

Location:

DAGS Planning Branch - Conference Room

Subject:

Molokai Library Expansion

Project Development Report and Master Plan

DAGS Job No. 15-36-6379

Present:

See attached Sign-In Sheet.

This meeting was scheduled to initiate discussion on the scope of work for the subject project. The following items were discussed:

1. The Librarian at Molokai Library is Ms. Sri TenCate. She will be the contact person. Her phone number is 553-1765, fax number is 553-1766.

3,329 BK

- 2. The Library was built in 1937 and is Historic. It is a wooden structure of approximately 6,000 square feet.
- An ADA Transition Study has been done and the improvements shall be included in the Master Plan. A Cost Estimate was developed for the Transition Plan Accessibility Improvements (see attached).
- 4. Behind the Library is a Carport for a bookmobile. It may be relocated if space is required. This may be reflected in the Master Plan. Currently, the bookmobile is not in service and not located on property.
- 5. Expansion may require additional parking.
- 6. A Draft Report should be developed for public input.
- 7. LEED will impact the project and should be reflected in the budget.
- 8. A simple Master Plan (bubble diagrams) shall be developed with an Opinion of Probable Construction Cost.

Meeting adjourned: 10:30 am.

Prepared by: Harold Y. Inouye

PROJECT: MoloKai Public

PDR

D.A.G.S. JOB NO.

PURPOSE:

Ran DAGS PLACE:

DATE: 2/8/07

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89/UM	HSPLS (585700/58636) Kundre librarishawan, orth	DAGS-PWD/PB 1 586-0746/586-0482 yingfan.xu@hawaii.gov
	Toseph Earing DAGS-PWD	5

ACCESSIBILITY IMPROVEMENTS

MOLOKAI PUBLIC LIBRARY

The Molokai Public Library is located at 15 Ala Malama Street in Kaunakakai, Molokai. The one-story wood structure is on the State Historic Register and has had previous modifications done for accessibility. It is estimated that the facility was constructed in 1937 and will be subject to DLNR State Historic Preservation guidelines. To enhance public accessibility to the extent achievable under this transition plan, recommendations are made under Transition Plan Accessibility Improvements. Recommendations for full compliance are made under Full Compliance Accessibility Improvements.

TRANSITION PLAN ACCESSIBILITY IMPROVEMENTS COST ESTIMATE

KEY	TITEM DESCRIPTION	EXTENT OF DEFICIENCY	ADAAG SECTION	QUAN TITY	UNIT COST	COST
25a	Provide "Access aisle - no parking" signage		4.6.4	1	250	250
26	Provide van-accessible parking signage		4.6.4	1	250	250
28	Replace damaged/faded accessible parking signage		4.6.4	1	225	225
42	Provide stair handrails & uniform concrete steps/risers (4 ea.)	12" - 18" treads	4.9.4 & 4.92	1	4,500	4,500
68	Replace/adjust door closer to 5 lb. (max.) operating force	9#	4.13.11	2	600	1,200
77	Furr existing ceramic tile wall surface for 18" center line dim. of WC	19", 19-1/2"	4.16.2	2	4,250	8,500
79	Provide new accessible water closet w/ flush lever in reversed orientation		4.16	2	0	
	Mechanical				3,000	
	Subtotal				3,000	3,000
98	Provide pipe insulation		4.19.6	2	200	400
99	Replace lavatory controls (provide blade-type handles)		4.19.5	1	0	
	Mechanical				500	
	Subtotal	٠			500	500

104	Relocate paper towel dispenser	49-1/2" forward approach	4.22.7 or 4.19.3	2	200	400
130	Relocate existing room signage/symbol of accessibility	10" - 16" from jamb	4.30.6	2	150	300
					SUB- TOTAL	19,525
					onal Cost actor	1.30
					ORED SUB- OTAL	25,383
	FULL COMPLIANCE ACCESSIBILIT	Y IMPROVI	EMENTS CO	OST ES	STIMATE	
3	Provide new ramp / handrails & concrete sidewalk to public street	24" vertical change	4.1.2 (1) & 4.3.2 (1)	1	6,000	6,000
66	Replace door hardware (provide lever)		4.13.9	3	600	1,800
72	Provide new accessible electric water coolers	0" knee sp.	4.15.5	1	500	
	Mechanical				6,000	
	Electrical				2,000	
	Subtotal				8,500	8,500
127	Provide accessible room signage (raised text/Braille characters)		4.30. & 4.1.2 (7)	5	225	1,125
128	Provide new accessible exit signage (raised text/Braille characters)		4.30. & 4.1.2 (7)	2	225	450
137	Modify work counters for 27" min. knee space / 34" max. counter top height.	36" ctr. Top, 0" knee sp.	4.32	1	1,500	1,500
					SUB- TOTAL	19,375
	•				onal Cost actor	1.30
					ORED SUB- OTAL	25,188
					TOTAL	50,570

MOLOKAI PUBLIC LIBRARY Attachment A Page 20

SCALE: 1"=30'-0" SITE PLAN

PHONE (808) 949-1025 FAX (808) 949-1027

MEETING REPORT

Date:

26 June 2008

Time:

10:00 am

Location:

DAGS Planning Branch - Conference Room

Subject:

Molokai Library Expansion

Project Development Report and Master Plan

DAGS Job No. 15-36-6379

Present:

Keith T. Fujio - Hawaii State Public Library System

Joseph Earing - DAGS Planning Branch

Harold Inouye - Anbe, Aruga & Ishizu, Architects, Inc.

This meeting was scheduled to the design work for the subject project. The following items were discussed:

- 1. The Librarian at Molokai Library is Ms. Sri TenCate. She will be the contact person. Her phone number is 553-1765, fax number is 553-1766.
- 2. The scope entails developing the following:
 - a. A Project Development Report (PDR) based on program guidelines (to be provided by Joseph Earing) and input from the Librarian. Public input may also be solicited.
 - b. A simple Master Plan with an Opinion of Probable Construction Costs.
- 3. Currently, the bookmobile is not in service. A cargo van is being used presently. However, a parking stall for the bookmobile is required.
- 4. Joseph will provide AAI a typical space program that was developed for Manoa and Waipahu as an example.
- 5. Area of the current library is approximately 6,000 SF. The ultimate expansion would increase the area to be between 10,000 SF to 12,000 SF.
- 6. Due to the historic nature of the existing Library, an annex may be a viable solution. This would have to be discussed with the Library, due to the limited staff available.
- 7. Marya Zoller is the Public Library Branch Director and she will be involved in the development of the PDR and Master Plan.
- 8. Keith will forward any past background information provided by the Librarian as well as input by the Governor's Advisory Council.
- 9. Joseph suggested that AAI review the Molokai (Kaunakakai) Civic Center plan to gain an understanding of the overall area that the Library is situated.

- 10. Molokai is under Maui County and is required to follow applicable codes and regulations for Maui County.
- 11. In developing the Opinion of Probable Construction Costs, base it the following schedule:
 - a. Planning Phase August 2008 to June 2009
 - b. Design Phase July 2009 to June 2011.
 - c. Construction July 2011 to June 2013.
- 12. Joe will look for a PDR that AAI can use as an example.

Meeting adjourned: 11:10 am.

Prepared by: Harold Y. Inouye

Koloa, Molokai and Nanakuli Public Libraries Various Planning Projects

SCOPE OF WORK

The intent of these three (3) projects is to provide professional and technical assistance in planning for new, replacement libraries, and expansion of existing libraries, statewide. The projects are listed in order of priority, as determined by the Hawaii State Public Library System (HSPLS):

Project 2: Molokai Public Library
Project Development Report and Master Plan
DAGS Job No. 15-36-6379

- 1. Provide technical assistance to the HSPLS in planning for the expansion of the Molokai Public Library.
- 2. Site inspection of existing library. Search for and review of existing as-built drawings and any relevant documents. Review of applicable Federal, State and County regulations and codes. Review of DAGS Design Consultant Criteria.
- 3. The HSPLS requests assistance in planning for the expansion of the Molokai Public Library. Accordingly, it is anticipated that a simple project development report/master plan report will be required. The report shall include a construction cost estimate.
- 4. The Molokai Public Library was constructed in 1937 and is listed in the Hawaii State Register of Historic Places. Note also that it is located in Kaunakakai Town, an area of historic and archeological significance. Accordingly, the consultant shall coordinate plans for the expansion with the Department of Land and Natural Resources, Historic Preservation Division.

PHONE (808) 949-1025 FAX (808) 949-1027

MEETING REPORT

Date:

7 November 2008

Time:

10:00 am

Location:

Molokai Public Library

Subject:

Molokai Library Expansion

Project Development Report and Master Plan

DAGS Job No. 15-36-6379

Present:

Sri TenCate - Molokai Public Library - Librarian

Joseph Earing - DAGS Planning Branch

Harold Inouye - Anbe, Aruga & Ishizu, Architects, Inc.

This meeting was scheduled to discuss the program requirements and possible alternatives for expansion of the existing Library. The following items were discussed:

- 1. The Librarian at Molokai Library is Ms. Sri TenCate. She will be the contact person. Her phone number is 553-1765, fax number is 553-1766.
- 2. The scope entails developing the following:
 - a. A Project Development Report (PDR) based on program guidelines (to be provided by Joseph Earing) and input from the Librarian. Public input may also be solicited.
 - b. A simple Master Plan with an Opinion of Probable Construction Costs.
- 3. AAI developed a basic floor plan and the component areas were identified by Sri TenCate (see attached). Areas that require special attention are as follows:
 - a. The right wing of the Library houses the Adult Fiction/Hawaiian collection, Juvenile books, Young Adult books and shares a combined reading area. This area also doubles as the Program Room where the furniture has to be relocated when programs are scheduled. This area is too small for all the required components.
 - b. The Lanai appears to have been enclosed and combined with the Workroom (rear wing). This area also houses the audio/video/multi-media collection.
 - There are two restrooms. One for Male and one for Female. This is shared with the staff.
 - d. The Librarian does not have an enclosed office. She is situated in the Delivery Room, adjacent to the Circulation Desk. Ms. TenCate said she does not need a private office.
- 4. The total net area is approximately 3,329 square feet. This is slightly over 50% of what was originally reported in previous meetings.

- 5. The areas that need expansion/separation are as follows:
 - a. The Juvenile area should be expanded and separate from the Young Adult.
 - b. The Young Adult area should be expanded and separate from the Juvenile.
 - c. The Workroom/Lanai (currently enclosed) should be expanded and a separate staff restroom should be provided.
- 6. Table 34: Typical Components of Branch Libraries of Varying Sizes (see attached) was used in our discussion to further define areas of expansion. It was noted that since the existing Library is approximately 3,329 s.f. (net), an expansion to 6,600 s.f. (gross) would be more than adequate.
- 7. A possible annex was proposed and Ms. TenCate had no objection. Due to the historic nature of the existing Library, expansion design would have to be presented to the DLNR (Historic Preservation) for approval. This would be done during design.

Meeting adjourned: 11:10 am.

Prepared by: Harold Y. Inouye

Table 34:
Typical Components of Branch Libraries of Varying Sizes

	6,600 Gross Square Feet (based on 11,000 population)				18,000 Gross Square Feet (based on 30,000 population)				36,500 Gross Square Feet (based on 60,000 population)			
	Materials			Net	Materials			Net	Materials			Net
SPACE	(Note #2)			SF	(Note #3)			SF	(Note #3)			
Lobby/Display				125				450				800
Pub. Restrooms				300				300				500
Program Room		30		500		75		1,000		150		2,000
Check-out	150		2	250	250		3	450	500		4	600
Copy Area				100		4		250		4		400
Catalog Area		4		125				200		8		400
Reference Desk	90	1	1	150	180	2	1	150	250	3	2	250
Index/atlas/etc.		4		200	45,000	4		400		8		750
Adult Books	9,500			575	80 titles			3,500	130,000			7,500
Current Periodicals	50 titles			35	40 titles		i	50	200 titles			140
Back Periodicals	20 titles			30				100	80 titles			650
Adult Table Seats		12		300		24		600		40		2,000
Adult Carrels		6		180		8		240		20		600
Adult Lounge		4		160		24		960		24		960
Young Adult Area	500	4		200	800	6		350	1,500	12	,	700
Children's Desk				. 0	150	1	1	150	150	2	1	·150
Picture Books	750			60	6,500			600	10,000			1,000
Children's Books	3,000		T	225	13,000			1,100	20,000		T	2,000
Child Table Seats		12		300		16		400		24		600
Child Lounge Seats		4		160		6		240		12		480
Story Hour Room (5)				0				. 0		30)	400
Misc. (AV, paperbacks,	500			150	1,000			400	2,000			800
big print, etc.)			<u> </u>			<u> </u>	1			<u> </u>		
Study/Conf. Rooms						8		250		40		1,200
Supervisor Offices			1	125			3	400				1,000
Workroom			3	425			4	1,000				2,000
Storeroom				100			I	. 200				400
Staff Lounge			<u> </u>	125				200				350
Staff Restroom	·		<u> </u>	75				75				150
Custodian/Mechanical				225				300				350
Grounds Maintenance				40				40)]			50
Total Net SF:		Γ	T	5,240		Τ	T	14,355		T		29,180
Net-to-gross	(22%)/		l	6,718	(20%)/	<u> </u>	1	17,944	(20%)/	<u></u>		36,475

Notes:

- 1/ Size of sample facilities is based on the 0.6 GSF per capita formula divided into typical spaces. Any two facilities of the same GSF may have fewer or more seats, less or more AV materials, etc. as appropriate for local need. Different size populations will have proportionately different size facilities and their contents will vary accordingly.
- facilities and their contents will vary accordingly.

 2/ For small libraries, assume 18 vols/sq.ft. at 85% full, 10-15% on loan, and 42" aisles.

 For back periodicals assume at .5 SF/title/year.
- 3/ Shelves not as full as small libraries (see Note #1). Assume 125 adult volumes per single-faced section, 7.75 sq.ft/10" deep sections with 36" aisles, and 16 vols/sq.ft. For 42" aisles, add 10% to materials storage space. Items on loan in count; but not in square footage.
- 4/ Items on loan are assumed to be in materials count, but not in Net Square Feet area.
- 5/ Use Program Room.
- 6/ Net-to-gross conversion does not account for a second story.

LINDA LINGLE GOVERNOR OF HAWAII







ANBE, ARUGA & ISHIZU

LAURA H. THIELEN
CHARRERSON
HOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE MANAGEMENT

RUSSELL Y. TSUJI

KEN C. KAWAHARA DEPATY DIRECTOR - WATER

ARCHITECTS, INC.

AQUATIC RESOURCES
BOATING AND OCEAN RECREATION
BUBBAL OF CONVEYANCES
COMMISSION OF WATER RESOURCE MANAGEMENT
CONSIDERATION AND CONSTAL LANDS
CONSIDERATION AND CONSTAL LANDS
CONSIDERATION AND RESOURCES ENTORICEMENT

CONSTRUCTION AND RESIDENCE ENGINEERING
FORESTRY AND WILDLIFE
HIS TORIC PRESERVATION
KAHOOLAWE ISLAND RESERVE COMMISSION
LAND
STATE PARKS

STATE OF HAWAII DEPARTMENT OF LAND AND NATURAL RESOURCES

STATE HISTORIC PRESERVATION DIVISION 601 KAMOKILA BOULEVARD, ROOM 555 KAPOLEI, HAWAII 96707

August 27, 2009

Mr. Harold Y. Inouye, AIA, LEED ®AP 1441 Kapiolani Boulevard Suite 206 Honolulu, HI 96814 LOG NO: 2009.3730 HP DOC 14484 DOC NO: 0908ST17

Architecture

Dear Mr. Inouye:

SUBJECT: Chapter 6E-8 (HRS) Review

Proposed Expansion Molokai Public Library

Department of Accounting and General Services (DAGS), State of Hawaii

DAGS Job No. 15-36-6479 Kaunakakai, Molokai, Hawaii

TMK: (2) 5-3-005:012

Thank you for the submittal regarding proposed expansion of the Molokai Public Library that is listed on the State Register of Historic Places (7/17/1993). Our determination for the proposed work is "effect, with proposed mitigation commitments."

Proposed work includes: <u>Site Work:</u> demolition of portions of the existing Office Building, Concrete Sidewalk, and existing Landscape; construction of concrete sidewalks, new landscaping, removal and disposal hazardous material; <u>Existing Library:</u> demolition of existing carport roof; demolition of Interior features; construction of new Roof; upgrading of existing Handicap Ramp; mechanical and electrical work; removal and disposal of hazardous material; <u>Library Expansion:</u> new Building Expansion; new Roof at Existing Carport/Expansion/Existing Library; construction of Concrete Ramps/Steps; new Mechanical Equipment/Mechanical Work; and Electrical Work.

We believe that proposed work may adversely affect features contributing to the historic character of the property and have the following concerns(see accompanying enclosures):

 We request additional photographic documentation meeting the National Park Service requirements; photos should depict the existing interior/exterior/site features proposed to be altered/demolished with identification of their original dates of construction; e.g., windows installed less than 50 years ago;

LOG NO: 2009.3730 DOC NO: 0908ST17

- We request drawings depicting options that "seek ways to avoid, minimize or mitigate any adverse effects on historic properties" including options in consideration of the Americans with Disabilities Act Accessibility Guidelines (ADAAG), section 4.1.7and the Disability and Communication Access Board (DCAB) "Historic Preservation" Statement (Exception), Relating to a project under review for §103-50, HRS;
- We request that the proposed work incorporate the Secretary of the Interior's Standards (SOI) for Rehabilitation with attention to the National Park Service's Preservation Brief 14; New Exterior Additions to Historic Buildings Preservation Concerns.

We look forward to continued discussions with the Department of Education towards a solution that takes into consideration the users' needs as well as the integrity of the historic property.

Thank you for the opportunity to comment. Should you have any questions regarding architectural concerns, please call Susan Tasaki at (808) 692-8015.

Sincerely,

Puaataokalani Aiu, Ph.D.

Administrator

Enclosures

LISTING OF HELPFUL HISTORIC PRESERVATION WEBSITES (UPDATED 03/ 08/2009)

For use of those interested in learning about the Hawaii and National Registers and those considering listing properties on the Registers.

NATIONAL REGISTER

Advisory Council on Historic Preservation: (Examples of government preservation projects): ACHP Case Digest http://www.achp.gov/casedigest.html

Advisory Council on Historic Preservation: (Laws): Section 106 Regulations Summary http://www.achp.gov/106summary.html

National Park Service: (Blank) Nomination Forms (MS Word and .pdf versions) http://www.nps.gov/nr/publications/forms.htm

National Park Service: Historic Preservation Tax Incentives http://www.nps.gov/hps/tps/tax/index.htm

National Park Service: How to Complete the National Register Registration Form http://www.nps.gov/nr/publications/bulletins/nrb16a/

National Park Service: Information and Guidance on Preservation Techniques http://www.nps.gov/history/hps/tps/

National Park Service: Laws, Executive Orders, and Regulations http://www.nps.gov/history/laws.htm

National Park Service: National Register Brochure http://www.nps.gov/nr/publications/bulletins/brochure/

National Park Service: National Register of Historic Places (Completed) Sample Nominations

http://www.nps.gov/nr/sample_nominations.htm

National Park Service: National Register of Historic Places: National Register Review Checklists

http://www.nps.gov/nr/sample_nominations.htm

National Park Service: Standards for Photographic Submittals http://www.nps.gov/history/nr/policyexpansion.htm

South Carolina Department of Archives and History: (Laws): Section 106 Review of Federal Projects

http://www.state.sc.us/scdah/hpsection106review.htm

West Virginia State Government: (Federal) Historic Preservation Laws at a Glance http://www.wvculture.org/shpo/preslaws.html

HAWAII STATE REGISTER

Hawaii State Historic Preservation Division: Data Resource Site (Contains office library

listings)

http://www6.hawaii.gov/dlnr/shpdgis/

Hawaii State Historic Preservation Division: (Flow chart of) Registration Procedures

http://hawaii.gov/dlnr/hpd/pdfs/regproc.pdf

Hawaii State Historic Preservation Division: Hawaii and National Register of Historic

Places Main Page

http://hawaii.gov/dlnr/hpd/hpregister.htm

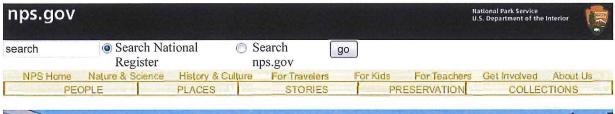
Hawaii State Historic Preservation Division: (Laws) Chapter 6E: Historic Preservation

http://hawaii.gov/dlnr/hpd/hrs_6_e.htm

Historic Hawaii Foundation: Guide to the Hawaii State Register

http://www.historichawaii.org/HPRC/howto/chapters/HOWTOREGISTER.html

Historic Hawaii Foundation: Main Page http://www.historichawaii.org/Index.html





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Photographs submitted as official documentation to the National Register and National Historic Landmark (NR-NHL) programs are expected to last 75 years or longer before showing significant signs of fading, deterioration, or discoloration. Black-and-white prints have been required since the inception of both programs because of their superior permanence. This policy significantly expands the range of photographic media that may be submitted as official documentation. While we continue to accept conventional black and white photographs, digital images produced by methods demonstrated to meet the 75-year permanence standard are also now acceptable.

Photographic Standard

A 75-year-permanence standard is intended to ensure the longevity of NR-NHL documentation and applies to all forms of photodocumentation, including those types of photographs currently available and any introduced in the future. Black-and-white images printed on silver-emulsion fiber-based papers and black-and-white images printed on silver-emulsion resin-coated (RC) papers have been acceptable for some time. As of this writing, black-and-white prints produced from digital images that have been demonstrated to meet or exceed a 75-year permanence standard also are acceptable. The Federal government does not endorse any particular commercial product or process. A non-comprehensive list of photographic ink and paper combinations that have been demonstrated to meet the 75-year permanence standard may be found under the <u>Digital Photographs</u> section as guidance for implementing this policy expansion. No photos processed with chromogenic processing (C-41) or printed on chromogenic papers currently meet the established standard and are, therefore, not acceptable; however, this may change with future innovations.

Prints produced from digital photographs submitted as official documentation must be accompanied by corresponding electronic image files. Electronic image files must be saved as uncompressed .TIF (Tagged Image File format) files on CD-R media, in keeping with guidance on digital photographic records issued by the U.S. National Archives and Records Administration. The size of each image must be 1600×1200 pixels at 300 ppi (pixels per inch) or larger. It is recommended that digital images be saved in 8-bit (or larger) color format, which provides maximum detail even when printed in black-and-white. The file name for each electronic image saved on the CD-R must correspond with the photo log included in the nomination and the information labeled on the back of each photograph, and it should also reference the state and county in which the property is located. For example, the image files

for the James Smith House in Jefferson County, Alabama, would be saved as "AL JeffersonCounty Smith1.tif," "AL JeffersonCounty Smith2.tif," and so forth.

In the case of a large historic district, it is optional to add the inventory number of the property to the end of the digital image file name. That number should correspond to the historic district mapping and inventory documentation. For example, for a photo depicting building #20 in the Montpelier Historic District, we would suggest:

"VT_WashingtonCounty_MontpelierHD89_Property20.tif" (89 indicates that it is the 89th photo of the historic district, and 20 indicates that it is building #20 as identified in the district inventory and map).

CD-Rs submitted with a nomination must be labeled with:

- · the name of the property.
- the associated multiple property documentation form (if applicable).
- the county and state where the property is located.

Basic Requirements

Labeling Photographs

Use of National Register Photographs

Guidelines for Photographic Coverage

Guidance on Implementing the Standard

Digital Photographs

Acceptable Ink and Paper Combinations For Digital Images

Photographic Technology

For Further Information

Basic Requirements

Photographs must be:

- unmounted (do not affix photographs to archival paper or any other material using staples, paper clips, glue, or other means).
- at least 3½ x 5 inches.
- · properly processed and thoroughly washed.
- labeled in pencil or archival photo-labeling pen.

Photographs with adhesive labels will not be accepted. The labels will eventually deteriorate and detach from the photograph, and their acidity may cause damage. Photographs that are improperly processed or incorrectly labeled will be returned. One copy of each photograph is submitted to the National Register or the National Historic Landmarks Survey. The State Historic Preservation Office (SHPO), Tribal Preservation Office (TPO), or Federal Preservation Office (FPO) may require one or more additional sets of photographs; nomination preparers should consult nominating authorities to ensure compliance with all applicable standards.

Labeling Photographs

Two methods of labeling photographs are acceptable. Labeling may be done by printing in pencil (soft lead works best) or with an archival photo-labeling pen on the back of each photograph. The following information must be included:

- 1. Name of the property or, for districts, the name of the building or street address followed by the name of the district.
- 2. County and state where the property is located.
- 3. Name of the photographer.
- 4. Date of photograph.
- 5. Location of original negative (if film is used).
- 6. Description of view indicating direction of camera.
- 7. Photograph number. For districts, use this number to identify the vantage point on the accompanying sketch map.

An alternative method of labeling is to use a continuation sheet(s). The photographs should be labeled in the manner described above with the name of the property, county and state, and photo number (items 1, 2, and 7). Then, on a separate continuation sheet, list the remaining information (items 3-6). Information common to all photographs, such as the photographer's name or the location of negatives, may be listed once in a statement on the continuation sheet.

Use of National Register Photographs

By allowing a photograph to be submitted as official documentation, photographers grant permission to the National Park Service to use the photograph for print and electronic publication and other purposes, including but not limited to duplication, display, distribution, study, publicity, and audiovisual presentations.

Guidelines for Photographic Coverage

Photographs submitted to the National Register of Historic Places and the National Historic Landmarks Survey as official documentation should be clear, well-composed, and provide an accurate visual representation of the property and its significant features. They must illustrate the qualities discussed in the description and statement of significance. Photographs should show historically significant features and also any alterations that have affected the property's historic integrity.

The necessary number of photographic views depends on the size and complexity of the property. Submit as many photographs as needed to depict the current condition and significant features of the property. A few photographs may be sufficient to document a single building or object. Larger, more complex properties and historic districts will require a number of photos. Prints of historic photographs may supplement photodocumentation and be particularly useful in illustrating changes that have occurred over time.

Buildings, structures, and objects:

- Submit photographs showing the principal facades and the setting in which the property is located.
- Additions, alterations, intrusions, and dependencies should appear in the photographs.
- Include views of interiors, outbuildings, landscaping, or unusual features if they
 contribute to the significance of the property.

Historic and archeological sites:

- Submit photographs showing the condition of the site and any above-ground or surface features and disturbances.
- If relevant to the evaluation of significance, include drawings or photographs illustrating artifacts that have been removed from the site.
- At least one photograph must show the physical environment and topography of the site.

Architectural and Historic Districts:

- Submit photographs showing major building types and styles, pivotal buildings and structures, and representative noncontributing resources.
- Streetscapes and landscapes are recommended. Aerial views may also be useful. Views of significant topographic features and spatial elements should also be submitted.
- Views of individual buildings are not necessary if streetscape views clearly illustrate the significant historical and architectural qualities of the district.
- Key all photographs to the sketch map for the district.

Archeological Districts:

• Submit photographs of the principal sites and site types within the district following the guidelines for archaeological sites (see above).

Guidance on Implementing the Standard

Black-and-white prints have been required since the inception of both the National Register

and National Historic Landmarks programs because of their superior permanence. The longevity of a photograph depends on the materials and processing methods used and the conditions under which it is stored. The NR-NHL collections are maintained at the National Park Service offices in Washington, D.C., and are stored under climate-controlled conditions. Each nomination is placed in an acid-free file folder, with photographs stored in a separate acid-free sleeve. The conditions under which nominations are stored are designed for archival longevity. To make certain that nominations last as long as possible, it is essential that nomination preparers and nominating authorities submit photographs that meet the NR-NHL standards. Ensuring the longevity of official documentation, including photographs, is essential for the administration of federal historic preservation programs. In addition to the regulatory protections and grants and tax incentives available under federal law to properties listed in the National Register or as National Historic Landmarks, the nomination files for these programs constitute an irreplaceable archive of American history.

When the National Register and National Historic Landmarks Survey were established, black-and-white prints were generally made using silver-emulsion fiber-based paper, which has outstanding archival stability. If stored under proper conditions, black-and-white prints on fiber-based paper will easily last 150 years or more. In the late 1970s, resin-coated (RC) papers became popular because of their lower cost and ease of processing. Use of fiber-based papers consequently became limited to specialized applications. In response to these changes, the National Register and National Historic Landmarks Survey began accepting photographs printed on RC paper in the early 1980s. The limitations of this policy became clear in recent years with the advent of digital photography, the introduction of black-and-white films that can be developed and printed using color (C-41) processing, and the declining use of conventional black-and-white photography. The use of the 75-year permanence standard for all forms of photo documentation, no matter what methods are used to produce the photographs in question, ensures that the photo policy will continue to be applicable as manufacturers introduce new products and discontinue others. It provides a basis for evaluating all currently available photographic materials and those introduced in the future.

Nominating authorities and nomination preparers are advised that manufacturers' claims may sometimes overstate the expected longevity of products. In some cases, nominating authorities may be required to provide verifiable information referencing tests conducted by an independent laboratory to demonstrate that the prints in question meet the 75-year permanence standard. This does not mean that nominating authorities will be expected to contract with independent laboratories to test photographic materials or required to submit test data with each nomination. It may, however, be necessary to research the expected permanency of photographs when evaluating new photographic materials or processing methods. Nominating authorities are advised to consult the sources included in the For Further Information section to identify photographic materials and processing methods that meet the 75-year permanence standard. Other valuable sources of guidance include curators and archivists who specialize in photographs at state archives, libraries, and colleges and universities. In addition, manufacturers sometimes make available results of independent testing.

Nominating authorities and nomination preparers should also be aware that the proliferation of so-called "archival" products has made it difficult to identify products that meet the NR-NHL documentation standards. No firm, universally acceptable definition of archival exists, and many manufacturers now use the term for marketing purposes. In some instances, products labeled archival will last considerably longer than non-archival products but may not meet the NR-NHL standards. Independent testing has shown that some popular photographic papers marketed as archival, for example, will begin deteriorating in far less than 75 years and therefore cannot be accepted as official documentation. Therefore, archival products should not be accepted at face value but only if they meet the NR-NHL documentation standards.

Digital Photographs

Several options are available for nominating authorities who wish to submit photographic prints produced from digital images. Consulting a photo lab in your area that offers professional services is a good starting point. A number of commercial processing methods produce high-quality prints from digital images that meet the NR-NHL standards. If digital

services that produce acceptable images at reasonable cost are locally available, this may prove satisfactory for many nominating authorities.

Another option is to produce prints in-house with an inkjet or dye-sublimation photo printer that can use special archival inks and photo papers. While most photo printers made for the consumer market are designed to produce color prints that last only a few years before fading, a number of manufacturers now offer models which, with the correct inks and papers, can produce prints with an expected lifespan comparable to or better than traditional black-and-white prints on RC paper. These printers can be obtained at reasonable cost. Producing photographic prints in-house may result in long-term cost savings and also offers the important advantage of providing control over the imaging process.

Acceptable Ink and Paper Combinations For Digital Images

The non-comprehensive list below includes products that meet the NR-NHL permanence standard. Specific printers are not identified, as the longevity of a print is dependent on the ink and paper combinations used to produce it, rather than on the printer.

Epson UltraChrome pigmented inks	Epson Premium Glossy Paper
	Epson Premium Semigloss Photo Paper
	Epson Premium Luster Photo Paper
	Epson Premium Semimatte Photo Paper
	Epson UltraSmooth Fine Art Paper
	Somerset Velvet for Epson
	Epson Velvet Fine Art Paper
	Epson Textured Fine Art Paper
	Epson Enhanced Matte Paper
Epson Picture Mate inks	Epson PictureMate Photo Paper
Hewlett-Packard (HP) 84/85 dye- based inkset	HP Premium Plus Photo and Proofing Gloss
	HP Premium Plus High Gloss Photo Paper
	HP Premium Plus Soft Gloss Photo Paper

HP Premium Photo Paper, Gloss

HP Premium Photo Paper, Soft Gloss

Hewlett-Packard 59 gray photo cartridge

HP Premium Plus and HP Premium Photo Papers (high gloss, glossy, and soft gloss)

Hewlett-Packard 100 gray photo cartridge

HP Premium Plus and HP Premium Photo Papers (high gloss, glossy, and soft gloss)

Hewlett-Packard Vivera inks (95 and 97 tri-color cartridges)

HP Premium Plus and HP Premium Photo Papers (high gloss, glossy, and soft gloss)

Photographic Technology

The following information about basic types of photographic materials and processing methods is intended to help nominating authorities and nomination preparers obtain photographs that meet the NR-NHL standards. It addresses questions about currently available products and commonly used terms that have compounded the difficulty of obtaining acceptable photographs. While not comprehensive, this guidance provides information for making informed choices among the vast range of products available in the photographic marketplace.

The new technologies and photographic materials introduced in recent years have produced the most dramatic changes in photography since the advent of color films and printing papers in the 1960s. One consequence of these changes is the reduced availability of conventional black-and-white films, papers, and processing. In many cases, photographic labs capable of producing high-quality black-and-white photographs can be found only in major metropolitan areas. Declining demand for traditional black-and-white photography has resulted in significantly higher costs, which places an added burden on nominating authorities and nomination preparers. At the same time, improvements in digital technology have resulted in the availability of black-and-white prints that can be obtained at reasonable cost and meet the NR-NHL documentation standards.

Much of the recent confusion faced by nominating authorities and nomination preparers stems from the introduction of chromogenic black-and-white films, which share more similarities with color films than traditional black-and-white films. Chromogenic black-and-white films, produced by manufacturers such as Kodak and Illford, are processed and printed using C-41 processing, the method most commonly used for color photographs. Unlike traditional black-and-white films, the silver-halide crystals in the emulsion layer of a chromogenic film are replaced with dyes during the developing process, in the same way that occurs in processing color film. Chromogenic black-and-white films, which can be developed at one-hour photo labs and similar facilities, make it possible for photographers to obtain black-and-white prints quickly and at low cost. The longevity of these prints, however, tends to be poor. Because they are produced with color developing and processing methods and are printed on color paper, they are essentially color photographs. As a result, they do not meet the NR-NHL standards.

Like conventional photographs, the longevity of prints made with digital imaging technology depends largely on the materials and ink used. Improvements in technology and growing demand for digital prints have led manufacturers to introduce new photo papers, inks, and printing systems, and it is now possible to obtain photographs made from digital images that equal or surpass the longevity of conventional black-and-white photographs on RC paper.

Prints made from digital images are available from photo labs that offer digital services or can be produced using printers and photo materials widely available to consumers. Available types of digital printing papers include versions similar to traditional RC and fiber-based black-and-white papers. As with conventional photographic materials, the National Register and National Historic Landmarks Survey recommend that nominating authorities conduct careful research and check manufacturers' claims against independent laboratory testing before selecting digital photo products.

For Further Information

Because of continual changes in photographic technology, determining the longevity of photographic materials will continue to be challenging. The National Register and National Historic Landmarks Survey cannot undertake detailed study of new products as they become available. SHPOs, FPOs, and TPOs are encouraged to bring new imaging technologies that appear to meet the NR-NHL documentation standards to the attention of the NR-NHL staff. Nominating authorities and nomination preparers are encouraged to consult reputable sources of information in selecting photographs to be submitted as official documentation. Curators and archivists who specialize in photographs at state archives, libraries, colleges and universities can often offer valuable guidance. The most current information can usually be found on-line. In expanding this photo policy, the following websites were helpful:

American Institute for Conservation of Historic and Artistic Works:

Professional membership organization for conservators, including specialists with photographic materials. A public guide to caring for photographs is <u>available online</u>. See also the "Find a Conservator" link for access to an online database of AIC members, which is a quick and easy way to find a trained photo conservator in your area.

Wilhelm Imaging Research: www.wilhelm-research.com

Henry Wilhelm is widely recognized as a leading authority on the stability and preservation of traditional and digital photographs. He conducts research on photo materials and provides consulting services to museums, archives, and commercial clients. The Wilhelm Imaging Research website includes data from permanence studies and articles by Wilhelm. This data is particularly useful when trying to determine if a particular type of photographic print will meet the National Register standards.

Manufacturers' websites provide useful information about commercially-available products. Eastman Kodak Company: www.kodak.com

Fujifilm USA: www.fujifilm.com

The Epson Company: www.epson.com/northarmerica.html

RLG DigiNews:

Bimonthly web-based newsletter focusing on digital imaging and practices in image conservation and digital archiving. Produced by the Department of Research of Cornell University Libraries for RLG, an international nonprofit organization of libraries, archives, and museums.

California Digital Library Digital Format Standards (2001):

Standards published by the California Digital Library at the University of California. Provides recommendations for image quality, file formats, and storage media.

Columbia University Libraries, Technical Recommendations for Digital Imaging Projects (1997):

Digital imaging recommendations prepared by the Image Quality Working Group of ArchivesCom, a joint effort of Columbia University Libraries and Academic Information Systems at Columbia University.

National Archives and Records Administration Guidance on Digital Photographic Records: Provides guidance on digital photographic records, including images captured by digital cameras.

National Archives and Records Administration Guidance on Scanned Images of Textual Records:

Attachment D Page 37 Although concerned only with scanned images of textual records, this document includes guidance on digital file formats.



Did You Know? Howard High School

Did you know the *Brown vs. Board of Education* case involved five schools? Many considered Delaware 's Howard High School one of the finest in the country, but citizens battled to end discrimination.

contact us

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Privacy Policy

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Accessibility

14 Preservation Briefs

Technical Preservation Services

National Park Service

U.S. Department of the Interior

New Exterior Additions to Historic Buildings Preservation Concerns

Kay D. Weeks

- »Preserving Significant Historic Materials and Features
- »Preserving the Historic Character
- »Protecting the Historical Significance
- »Conclusion
- »Additional Reading



A NOTE TO OUR USERS: The web versions of the Preservation Briefs differ somewhat from the printed versions. Many illustrations are new, captions are simplified, illustrations are typically in color rather than black and white, and some complex charts have been omitted.

Because a new exterior addition to a historic building can damage or destroy significant materials and can change the building's character, an addition should be considered only after it has been determined that the new use cannot be met by altering nonsignificant, or secondary, interior spaces. If the new use cannot be met in this way, then an attached addition may be an acceptable alternative if carefully planned. A new addition should be constructed in a manner that preserves significant materials and features and preserves the historic character. Finally, an addition should be differentiated from the historic building so that the new work is not confused with what is genuinely part of the past.

Change is as inevitable in buildings and neighborhoods as it is in individuals and families. Never static, buildings and neighborhoods grow, diminish, and continue to evolve as each era's technological advances bring conveniences such as heating, street paving, electricity, and air conditioning; as the effects of violent weather, uncontrolled fire, or slow unchecked deterioration destroy vulnerable material, as businesses expand, change hands, become obsolete, as building codes are established to enhance life safety and health; or as additional family living space is alternately needed and abandoned.

Preservationists generally agree that the history of a building, together with its site and setting, includes not only the period of original construction but frequently later alterations and additions. While each change to a building or neighborhood is undeniably part of its history--much like events in human life--not every change is equally important. For example, when a later, clearly nonsignificant addition is removed to reveal the original form,

materials, and craftsmanship, there is little complaint about a loss to history.

When the subject of new exterior additions is introduced, however, areas of agreement usually tend to diminish. This is understandable because the subject raises some serious questions. Can a historic building be enlarged for a new use without destroying what is historically significant? And just what is significant about each particular historic building that should be preserved? Finally, what new construction is appropriate to the old building?

The vast amount of literature on the subject of change to America's built environment reflects widespread interest as well as divergence of opinion. New additions have been discussed by historians within a social and political, framework; by architectural historians in terms of construction technology and style; and by urban planners as successful or unsuccessful contextual design. Within the historic preservation programs of the National Park Service, however, the focus has been and will continue to be the protection of those resources identified as worthy of listing in the National Register of Historic Places.



The historic character of this commercial building has been radically changed by a replicative four-story addition. This approach does not meet the Standards for Rehabilitation. Photo: NPS files.

National Register Listing--Acknowledging Change While Protecting Historical Significance

Entire districts or neighborhoods may be listed in the National Register of Historic Places for their significance to a certain period of American history (e.g., activities in a commercial district between 1870 and 1910). This "framing" of historic districts has led to a concern that listing in the National Register may discourage any physical change beyond a certain historical period--particularly in the form of attached exterior additions. This is not the case. National Register listing does not mean that an entire building or district is frozen in time and that no change can be made without compromising the historical significance. It also does not mean that each portion of a historic building is equally significant and must be retained intact and without change. Admittedly, whether an attached new addition is small or large, there will always be some loss of material and some change in the form of the historic building. There will also generally be some change in the relationship between the buildings and its site, neighborhood or district. Some change is thus anticipated within each rehabilitation of a building for a contemporary use.

Scope of National Park Service Interest in New Exterior Additions

The National Park Service interest in new additions is simply this--a new addition to a historic building has the potential to damage and destroy significant historic material and features and to change its historic character. A new addition also has the potential to change how one perceives what is genuinely historic and thus to diminish those qualities that make the building eligible for listing in the National Register of Historic Places. Once these basic preservation issues have been addressed, all other aspects of designing and constructing a new addition to extend the useful life of the historic building rest with the creative skills of the architect.

The intent of this Brief, then, is to provide guidance to owners and developers planning

additions to their historic buildings. A project involving a new addition to a historic building is considered acceptable within the framework of the National Park Service's standards if it:

- 1. Preserves significant historic materials and features; and
- 2. Preserves the historic character; and
- 3. Protects the historical significance by making a visual distinction between old and new.

Paralleling these key points, the Brief is organized into three sections. Case study examples are provided to point out acceptable and unacceptable preservation approaches where new use requirements were met through construction of an exterior addition. These examples are included to suggest ways that change to historic buildings can be sensitively accomplished, not to provide in-depth project analyses, endorse or critique particular architectural design, or offer cost and construction data.

1. Preserving Significant Historic Materials and Features

Connecting a new exterior addition always involves some degree of material loss to an external wall of a historic building and, although this is to be expected, it can be minimized. On the other hand, damage or destruction of significant materials and craftsmanship such as pressed brick, decorative marble, cast stone, terra-cotta, or architectural metal should be avoided, when possible.

Generally speaking, preservation of historic buildings is enhanced by avoiding all but minor changes to primary or "public" elevations. Historically, features that distinguish one building or a row of buildings and can be seen from the streets or sidewalks are most likely to be the significant ones. This can include window patterns, window hoods, or shutters; porticoes, entrances, and doorways; roof shapes, cornices, and decorative moldings; or commercial storefronts with their special detailing, signs, and glazing. Beyond a single building, entire blocks of urban or residential structures are often closely related architecturally by their materials, detailing, form, and alignment. Because significant materials and features should be preserved, not damaged or hidden, the first place to consider constructing a new addition is where such material loss will be minimized. This will frequently be on a secondary side or rear elevation. For both economic and social reasons, secondary elevations were often constructed of "common" material and were less architecturally ornate or detailed.



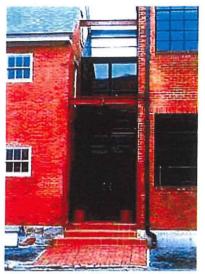
Two historic commercial buildings were successfully joined as part of a larger

In constructing the new addition, one way to minimize overall material loss is simply to reduce the size of the new addition in relationship to the historic building. If a new addition will abut the historic building along one elevation or wrap around a side and rear elevation, the integration of historic and new interiors may result in a high degree of loss-exterior walls as well as significant interior spaces and features. Another way to minimize loss is to limit the size and number of openings between old and new.

rehabilitation project. The glass connector detail is shown below. Photo: Martha L. Werenfels, AIA. A particularly successful method to reduce damage

is to link the new addition to the historic block by means of a hyphen or connector. In this way, only the connecting passageway penetrates a historic side wall; the new addition can be visually and functionally related while historic materials remain essentially intact and historic exteriors remain uncovered.

Although a general recommendation is to construct a new addition on a secondary elevation, there are several exceptions. First, there may simply be no secondary elevation--some important freestanding buildings have significant materials and features on all sides, making any above-ground addition too destructive to be considered. Second, a structure or group of structures together with their setting (for example, in a National Historic Park) may be of such significance in American history that any new addition would not only damage materials and alter the buildings' relationship to each other and the setting, but seriously diminish the public's



This small glass connector between two historic buildings is appropriately set back. This approach meets the Standards for Rehabilitation. Photo: Martha L. Werenfels, AIA.

ability to appreciate a historic event or place. Finally, there are other cases where an existing side or rear elevation was historically intended to be highly visible, is of special cultural importance to the neighborhood, or possesses associative historical value. Then, too, a secondary elevation should be treated as if it were a primary elevation and a new addition should be avoided.

2. Preserving the Historic Character



This new stair tower addition on the rear elevation of a historic townhouse is compatible in size, scale, and materials. This approach meets the Standards for Rehabilitation. Photo: NPS files.

The second, equally important, consideration is whether or not the new addition will preserve the resource's historic character. The historic character of each building may differ, but a methodology of establishing it remains the same. Knowing the uses and functions a building has served over time will assist in making what is essentially a physical evaluation. But while written and pictorial documentation can provide a framework for establishing the building's history, the historic character, to a large extent, is embodied in the physical aspects of the historic building itself--its shape, its materials, its features, its craftsmanship, its window arrangements, its colors, its setting, and its interiors. It is only after the historic character has been correctly identified that reasonable decisions about the extent--or limitations--of change can be made.

To meet National Park Service preservation standards, a new addition must be

"compatible with the size, scale, color, material, and character" of the building to which it is attached or its particular neighborhood or district. A new addition will always change the size or actual bulk of the historic building. But an addition that bears no relationship to the proportions and massing of the historic building—in other words, one that overpowers the historic form and changes the scale will usually compromise the historic character as well.



This new stairtower addition on a historic university building has been constructed on a highly visible side elevation. Together with its contrasting color and size, it obscures the historic form and roofline. This approach does not meet the Standards for Rehabilitation. Photo: Martha L. Werenfels, AIA.

The appropriate size for a new addition varies from building to building; it could never be stated in a tidy square or cubic footage ratio, but the historic building's existing proportions, site, and setting can help set some general parameters for enlargement. To some extent, there is a predictable relationship between the size of the historic resource and the degree of change a new addition will impose.

For example, in the case of relatively low buildings (small-scale residential or commercial structures) it is difficult, if not impossible, to minimize the impact of adding an entire new floor even if the new addition is set back from the plane of the facade. Alteration of the historic proportions and profile will likely change the building's character. On the other hand, a rooftop addition to an eight story building in a historic district of other tall buildings might not affect the historic character simply because the new work would not be visible from major streets. A number of methods have been used to help predict

the effect of a proposed rooftop addition on the historic building and district, including pedestrian sight lines, three-dimensional schematics and computer-assisted design (CAD). Sometimes a rough full-size mock up of a section or bay of the proposed addition can be constructed using temporary material; the mockup can then be photographed and evaluated from critical vantage points.

In the case of freestanding residential structures, the preservation considerations are generally twofold. First, a large addition built out on a highly visible elevation can radically alter the historic form or obscure features such as a decorative cornice or window ornamentation. Second, an addition that fills in a planned void on a highly visible elevation (such as a "U" shaped plan or feature such as a porch) may also alter the historic form and, as a result, change the historic character.

Some historic structures such as government buildings, metropolitan museums, or libraries may be so massive



A sizeable addition was placed on a non-significant rear elevation of a late-19th century Greek Revival house that was rehabilitated for use as a bank with a drive-up component. The old building and new addition were sensitively joined by a small connecting hyphen. This approach meets the Standards for Rehabilitation. Photo: NPS files.

in size that a large-scale addition may not compromise the historic character. Yet similar expansion of smaller buildings would be dramatically out of scale. In summary, where any new addition is proposed, correctly assessing the relationship between actual size and relative scale will be a key to preserving the character of the historic building.



A contemporary new addition (above left) was designed to fit into a nonsignificant U-shaped area on a rear elevation of a historic library building. Note the new addition is lower than the historic building and clearly differentiated in appearance. This approach meets the Standards for Rehabilitation, Photo: NPS files.

Constructing the new addition on a secondary side or rear elevation--in addition to material preservation--will also address preservation of the historic character. Primarily, such placement will help to preserve the building's historic form and relationship to its site and setting. Historic landscape features, including distinctive grade variations, need to be respected; and any new landscape features such as plants and trees kept at a scale and density that would not interfere with appreciation of the historic resource itself.

In highly developed urban areas, locating a new addition on a less visible side or rear elevation may be impossible simply because there is no available space. In this instance, there may be alternative ways to help

preserve the historic character. If a new addition is being connected to the adjacent historic building on a primary elevation, the addition may be set back from the front wall plane so the outer edges defining the historic form are still apparent. In still other cases, some variation in material, detailing, and color may provide the degree of differentiation necessary to avoid changing the essential proportions and character of the historic building.

3. Protecting the Historical Significance

Making a Visual Distinction Between Old and New

The following statement of approach could be applied equally to the preservation of districts, sites, buildings, structures, and objects of National Register significance: "A conservator works within a conservation ethic so that the integrity of the object as an historic entity is maintained. The concern is not just with the original state of the object, but the way in which it has been changed and used over the centuries. Where a new intervention must be made to save the object, either to stabilize it or to consolidate it, it is generally accepted that those interventions must be clear, obvious, and reversible. It is this same attitude to change that is relevant to conservation policies and attitudes to historic towns..." (1)



This highly visible new rooftop addition appears to be part of the historic building because of its replicative design and historicized detailing, such as the arched

Rather than establishing a clear and obvious difference between old and new, it might seem more in keeping with the historic character simply to repeat the historic form, material, features, and detailing in a new addition. But when the new work is indistinguishable from the old in appearance, then the "real" National Register property may no longer be perceived and appreciated by the public.

Thus, the third consideration in planning a

windows. This approach does not meet the Standards for Rehabilitation. Photo: NPS files.

new addition is to be sure that it will protect those visual qualities that made the building eligible for listing in the National Register of

Historic Places.

A question often asked is what if the historic character is not compromised by an addition that appears to have been built in the same period? A small porch or a wing that copied the historic materials and detailing placed on a rear elevation might not alter the public perception of the historic form and massing. Therefore, it is conceivable that a modest addition could be replicative without changing the resource's historic character; generally, however, this approach is not recommended because using the same wall plane, roof line, cornice height, materials, siding lap, and window type in an addition can easily make the new work appear to be part of the historic building. If this happens on a visible elevation, it becomes unclear as to which features are historic and which are new, thus confusing the authenticity of the historic resource itself.

The National Park Service policy on new additions, adopted in 1967, is an outgrowth and continuation of a general philosophical approach to change first expressed by John Ruskin in England in the 1850s, formalized by William Morris in the founding of the Society for the Protection of Ancient Buildings in 1877, expanded by the Society in 1924 and, finally, reiterated in the 1964 Venice Charter—a document that continues to be followed by 64 national committees of the International Council on Monuments and Sites (ICOMOS). The 1967 Administrative Policies for Historical Areas of the National Park System thus states, "...a modern addition should be readily distinguishable from the older work; however, the new work should be harmonious with the old in scale, proportion, materials, and color. Such additions should be as inconspicuous as possible from the public view." Similarly, the Secretary of the Interior's 1977 "Standards for Rehabilitation" call for the new work to be "compatible with the size, scale, color, material, and character of the property, neighborhood, or environment."

Conclusion

A major goal of our technical assistance program is a heightened awareness of significant materials and the historic character prior to construction of a new exterior addition so that essential change may be effected within a responsible preservation context. In summary, then, these are the three important preservation questions to ask when planning a new exterior addition to a historic resource:

- 1. Does the proposed addition preserve significant historic materials and features?
- 2. Does the proposed addition preserve the historic character?
- 3. Does the proposed addition protect the historical significance by making a visual distinction between old and new?

If the answer is **YES** to all three questions, then the new addition will protect significant historic materials and the historic character and, in doing so, will have satisfactorily addressed those concerns generally held to be fundamental to historic preservation.

New Exterior Additions to Historic Buildings

Preserve Significant Historic Materials and Features.

Avoid constructing an addition on a primary or other character- defining elevation to ensure preservation of significant materials and features.

Minimize loss of historic material comprising external walls and internal partitions and floor plans.

Preserve the Historic Character

Make the size, scale, massing, and proportions of the new addition compatible with the historic building to ensure that the historic form is not expanded or changed to an unacceptable degree.

Place the new addition on an inconspicuous side or rear elevation so that the new work does not result in a radical change to the form and character of the historic building.

Consider setting an infill addition or connector back from the historic buildings wall plane so that the form of the historic building--or buildings--can be distinguished from the new work.

Set an additional story well back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.

Protect the Historical Significance--Make a Visual Distinction Between Old and New

Plan the new addition in a manner that provides some differentiation in material, color, and detailing so that the new work does not appear to be part of the historic building. The character of the historic resource should be identifiable after the addition is constructed.

Additional Reading

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Ruskin, John. The Seven Lamps of Architecture. London: George Allen and Unwin, Ltd., 1925.

Schmertz, Mildred F., and Architectural Record Editors. *New Life for Old Buildings*. New York: Architectural Record Books, McGraw-Hill, 1980.

The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. Washington, D.C.: Preservation Assistance Division. National Park Service, U.S. Department of the Interior, rev. 1983.

(1) **Note:** Roy Worskett, RIBA, MRTIP, "Improvement of Urban Design in Europe and the United States: New Buildings in Old Settings." Background Report (prepared July, 1984) for Seminar at Strasbourg, France, October, 1984.

Acknowledgements

First special thanks go to Ernest A. Connally, Gary L. Hume, and W. Brown Morton, III for their efforts in establishing and refining our preservation and rehabilitation standards over the past 20 years. ("The Secretary of the Interior's for Historic Preservation Projects (now"The Secretary of the Interior's Standards for the Treatment of Historic Properties (Rev. 1995)" constitute the policy framework of this, and every technical publication developed in the Preservation Assistance Division.) H. Ward Jandl, Chief, Technical Preservation Services Branch, is credited with overall supervision of the project. Next appreciation is extended to the Branch professional staff, the NPS cultural programs regional offices, the Park Historic Architecture Division, and the National Conference of State Historic Preservation Officers for their thoughtful comments. Finally, the following specialists in the field are thanked for their time in reviewing and commenting on the manuscript: Bruce Judd, AIA, Nore V. Winter, John Cullinane, AIA, Ellen Beasley, Vicki Jo Sandstead, Judith Kitchen, Andrea Nadel, Martha L. Werenfels, Diane Pierce, Colden Florance, FAIA, and H. Grant Dehart, AIA. The photograph of Chicago's Newberry Library with the Harry Weese and Associates' 1981 addition was graciously lent to us by David F. Dibner, FAIA, and Amy Dibner-Dunlap, co-authors of Buildings Additions Design, McGraw-Hill, 1985.

Washington, D.C. September, 1986.

Home page logo: Approriate new stair tower addition. Photo: NPS files.

This publication has been prepared pursuant to the National Historic Preservation Act of 1966, as amended, which directs the Secretary of the Interior to develop and make available information concerning historic properties. Technical Preservation Services (TPS), Heritage Preservation Services Division, National Park Service prepares standards, guidelines, and other educational materials on responsible historic preservation treatments for a broad public.

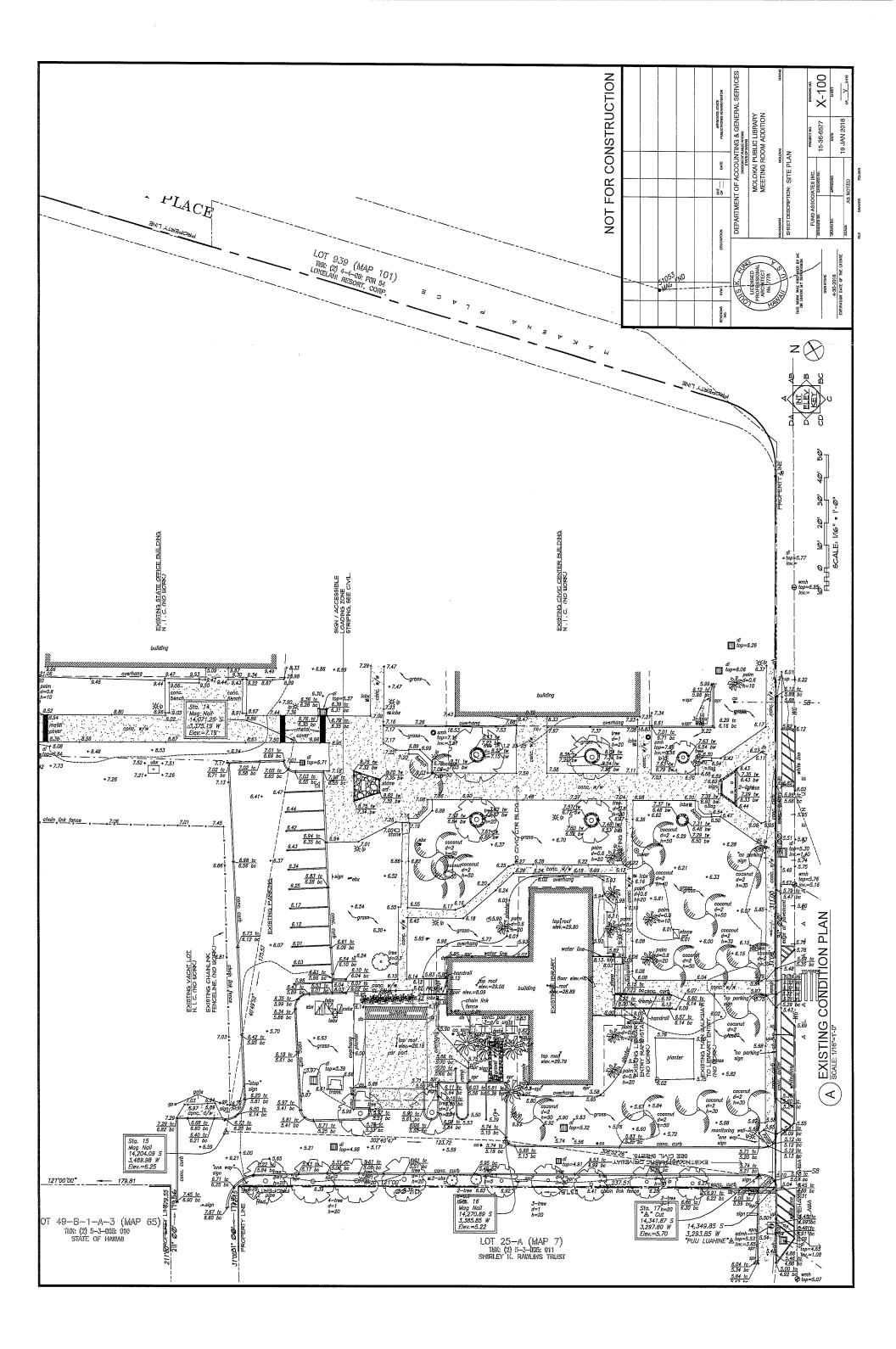
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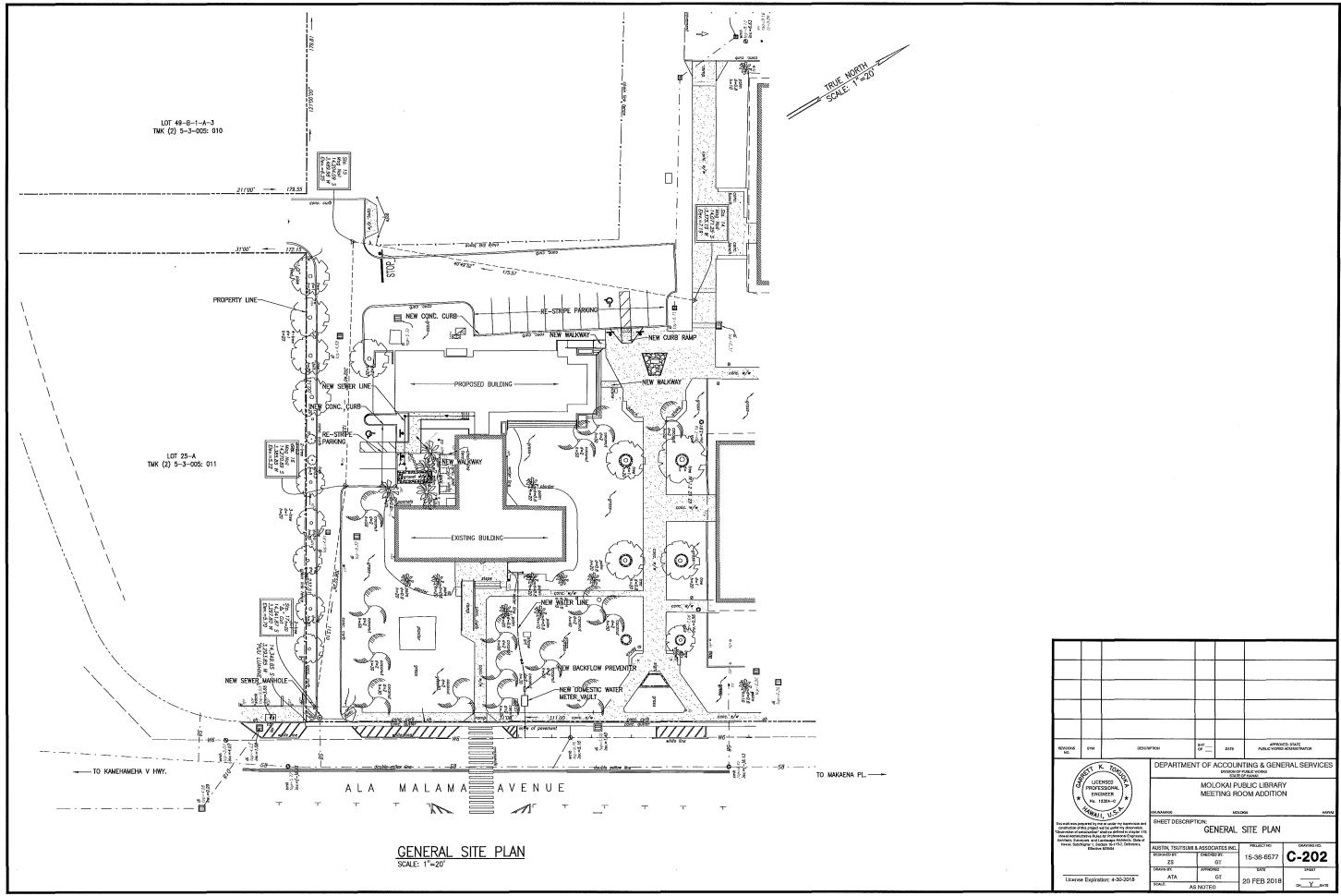
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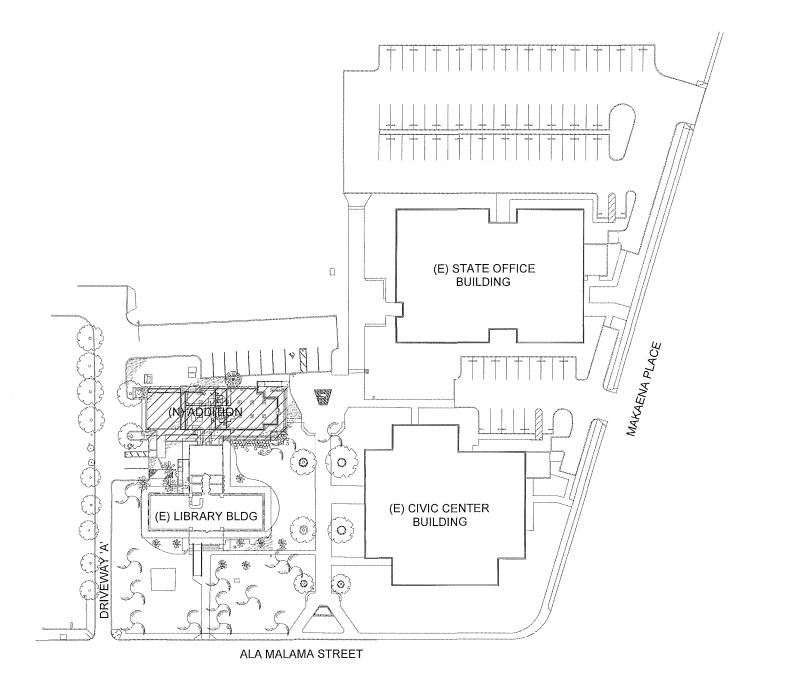
APPENDIX

PROJECT PLANS

В







PARKING SUMMARY

PER THE 2006 INTERNATIONAL BUILDING CODE

PARKING REQUIREMENTS:

BUILDING NAME:	BLDG. AREA/PARKING RATIO	STALLS REQUIRED
EXISTING LIBRARY	3,666/300	13
NEW LIBRARY EXPANSION	1,875/300	7
EXISTING CIVIC CENTER	12,200/500	25
EXISTING STATE OFFICE BUILDING	13,697/500	28
		TOTAL:73

PARKING STALLS PROVIDED:

EXISTING COMPACT STALLS EXISTING REGULAR STALLS EXISTING ACCESSIBLE STALLS TOTAL:95

PARKING STALL REQUIREMENTS:

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, 208 PARKING SPACES -TABLE 208.2 PARKING SPACES -101 TO 150 TOTAL PARKING STALLS

REQUIREMENTS:

MINIMUM OF FIVE (5) ACCESSIBLE STALLS.

PROVIDED:

SIX (6) EXISTING ACCESSIBLE STALLS.

LOADING STALL REQUIREMENTS:

MAUI COUNTY ZONING TITLE 19.36.010 (34)

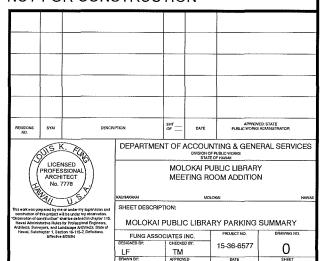
REQUIREMENTS:

TWO (2) LOADING STALLS REQUIRED (BUILDINGS IN EXCESS OF 10000 S.F.)

PROVIDED:

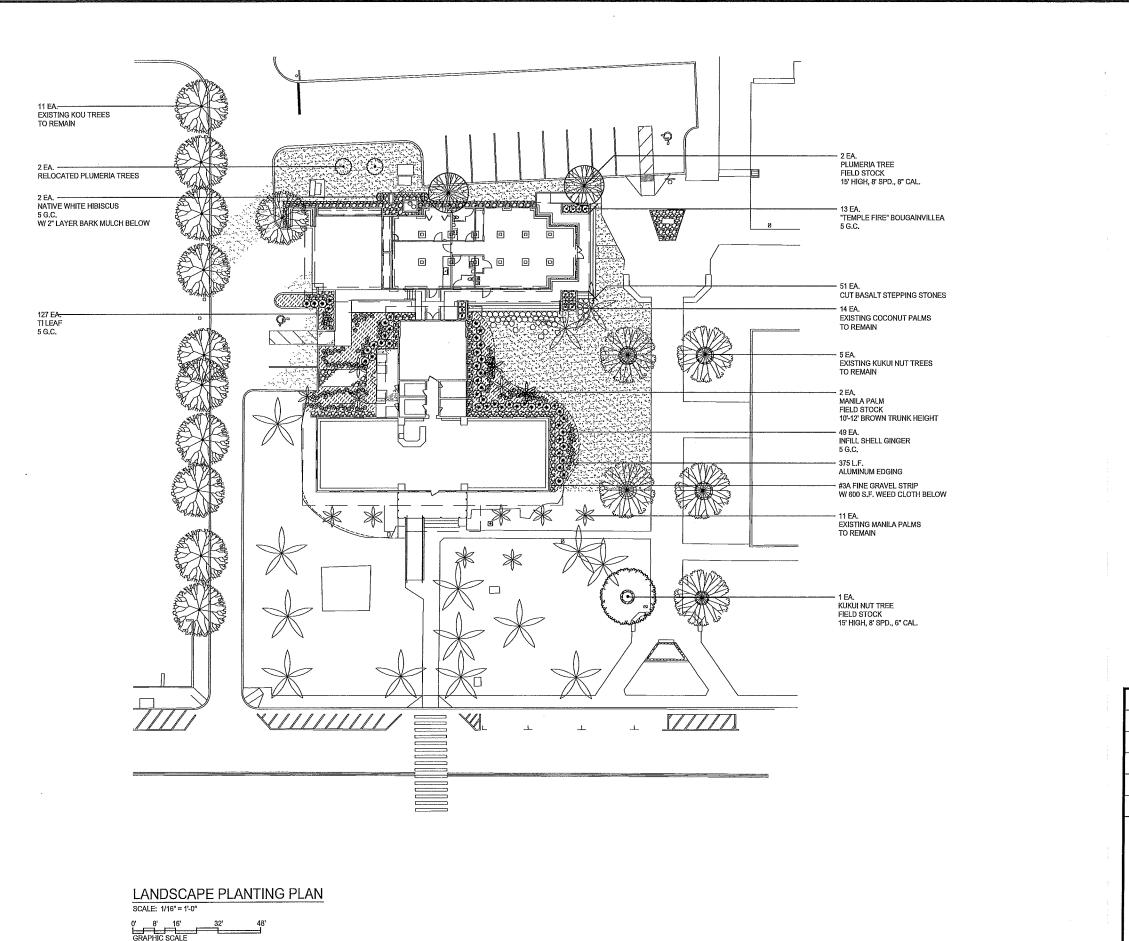
THREE (3) EXISTING LOADING STALLS.

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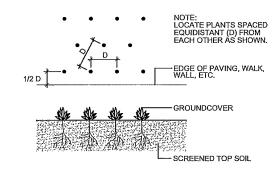
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Signature License Expiration; 4-30-2018		FUNG ASSOCIATES INC.			PROJECTNO,	DRAYING NO.	
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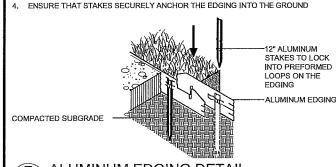
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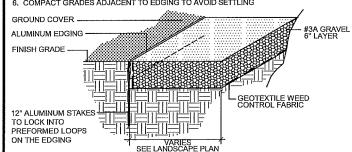
GROUNDCOVER PLANTING DETAIL L-200 SCALE: NONE

- NOTES:

 1. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES"
- TOP OF EDGING TO BE MAXIMUM OF 1/2" (12.7MM) ABOVE SURFACE MATERIAL COMPACT GRADES ADJACENT TO EDGING TO AVOID SETTLING
- ENSURE THAT STAKES SECURELY ANCHOR THE EDGING INTO THE GROUND

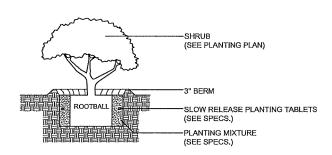


- 7 ALUMINUM EDGING DETAIL L-200 SCALE: NONE
- 1. INSTALL ALUMINUM EDGING PER MANUFACTURER'S "INSTALLATION GUIDELINES"
- 2. 8'-0" SECTIONS TO INCLUDE (3) 12" ALUMINUM STAKES.
- 3 16'-0" SECTIONS TO INCLUDE (5) 12" ALUMINUM STAKES
- 4. CORNERS CUT BASE EDGING UP HALFWAY AND FORM A CONTINUOUS CORNER.
- 5. TOP OF EDGING TO BE MAXIMUM ½" ABOVE SURFACE MATERIAL 6. COMPACT GRADES ADJACENT TO EDGING TO AVOID SETTLING

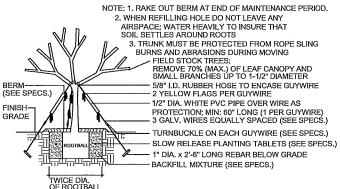


6 MAINTENANCE STRIP DETAIL

SCALE: NONE



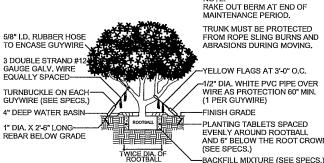
$_{\scriptscriptstyle \setminus}$ SHRUB PLANTING DETAIL L-200 SCALE: NONE



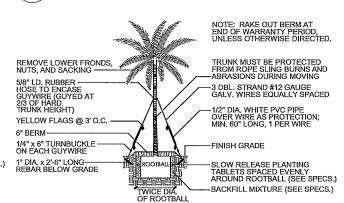
FIELD STOCK TREE DETAIL L-200 SCALE: NONE

- NOTES:

 1. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO CONSTRUCTION OPERATIONS. ALL UTILITY LINES DAMAGED BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT CONTRACTOR'S
- 2. FOR FINAL GRADING SEE CIVIL DRAWINGS.
- 3. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO
- CONTRACTOR TO VERIFY EXACT LOCATIONS OF ALL TREES WITH THE ARCHITECT PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
- 5. FOR BUILDING LAYOUT SEE ARCHITECTURAL DRAWINGS.
- 6. FOR PLANTER LOCATIONS AND DIMENSIONS, SEE ARCHITECTURAL DRAWINGS.
- INSTALL TOPSOIL AND GRAVEL PER SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE AND PROVIDE ADEQUATE QUANTITIES OF MATERIALS TO INSTALL PLANTINGS COMPLETE AND IN PLACE PER DESIGN INTENT, CAREFULLY COORDINATE TO INSURE PROPER PLACEMENT TO FINISH GRADES. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN FINISH GRADES AND DESIGNED DRAINAGE PATTERNS.
- THE PLANT LIST QUANTITIES ARE APPROXIMATE AND SHOULD SERVE ONLY AS A GUIDE FOR THE CONTRACTOR. ALL WORK INDICATED ON THE DRAWINGS BY NOTES SHALL BE PROVIDED WHETHER OR NOT SPECIFICALLY MENTIONED IN THE PLANT LIST. PLANTS AND GROUNDCOVERS SHALL BE FURNISHED IN QUANTITIES AS REQUIRED TO COVER THE AREAS INDICATED ON THE PLANS AT THE SPACE NOTED. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES BEFORE BIDDING.
- 9. ALL TREES TO BE PLACED 5 FEET MINIMUM AWAY FROM ALL UTILITY LINES.
- 10. ALL TREES TO BE LOCATED A MINIMUM 5 FEET AWAY FROM DRAINAGE
- 11. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON PROJECT SITE PRIOR TO CONSTRUCTION.
- 12 CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK AMONG THE VARIOUS TRADES AS NECESSARY TO AVOID CONFLICTS AND TO INSURE THE INSTALLATION OF ALL WORK WITHIN THE AVAILABLE SPACE.



FIELD STOCK PLUMERIA DETAIL L-200 SCALE: NONE



FIELD STOCK PALM DETAIL L-200 / SCALE: NONE

PLANT LIST

EXISTING TREES TO REMOVE	SIZE AND CONDITIONS	TOTAL
COCOS NUCIFERA COCONUT PALM	EXISTING TO REMOVE	1
CORDIA SUBCORDATA KOU	EXISTING TO REMOVE	1
PTYCHOSPERMA MACARTHURII MACARTHUR PALM	EXISTING TO REMOVE	3
VEITCHIA MERRILLII MANILA PALM	EXISTING TO REMOVE	1

EXISTING TREES TO REMAIN	SIZE AND CONDITIONS	TOTAL
ALEURITES MOLUCCANA KUKUI NUT TREE	EXISTING TO REMAIN	5
COCOS NUCIFERA COCONUT PALM	EXISTING TO REMAIN	14
CORDIA SUBCORDATA KOU	EXISTING TO REMAIN	11
PLUMERIA RUBRA SPP. RED PLUMERIA	EXISTING TO RELOCATE	2
VEITCHIA MERRILLII MANILA PALM	EXISTING TO REMAIN	11

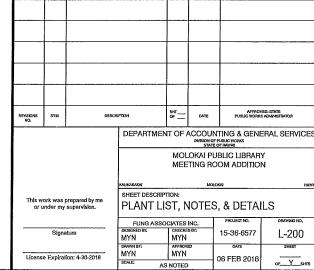
TREES & PALMS	SIZE AND CONDITIONS	TOTAL
ALEURITES MOLUCCANA KUKUI NUT TREE	FIELD STOCK 15' HIGH, 8' SPREAD, 6" CAL.	1
PLUMERIA RUBRA SPP. RED PLUMERIA	FIELD STOCK 15' HIGH, 8' SPREAD, 8" CAL.	2
VEITCHIA MERRILLII MANILA PALM	FIELD STOCK 10'-12' BROWN TRUNK HEIGHT	2

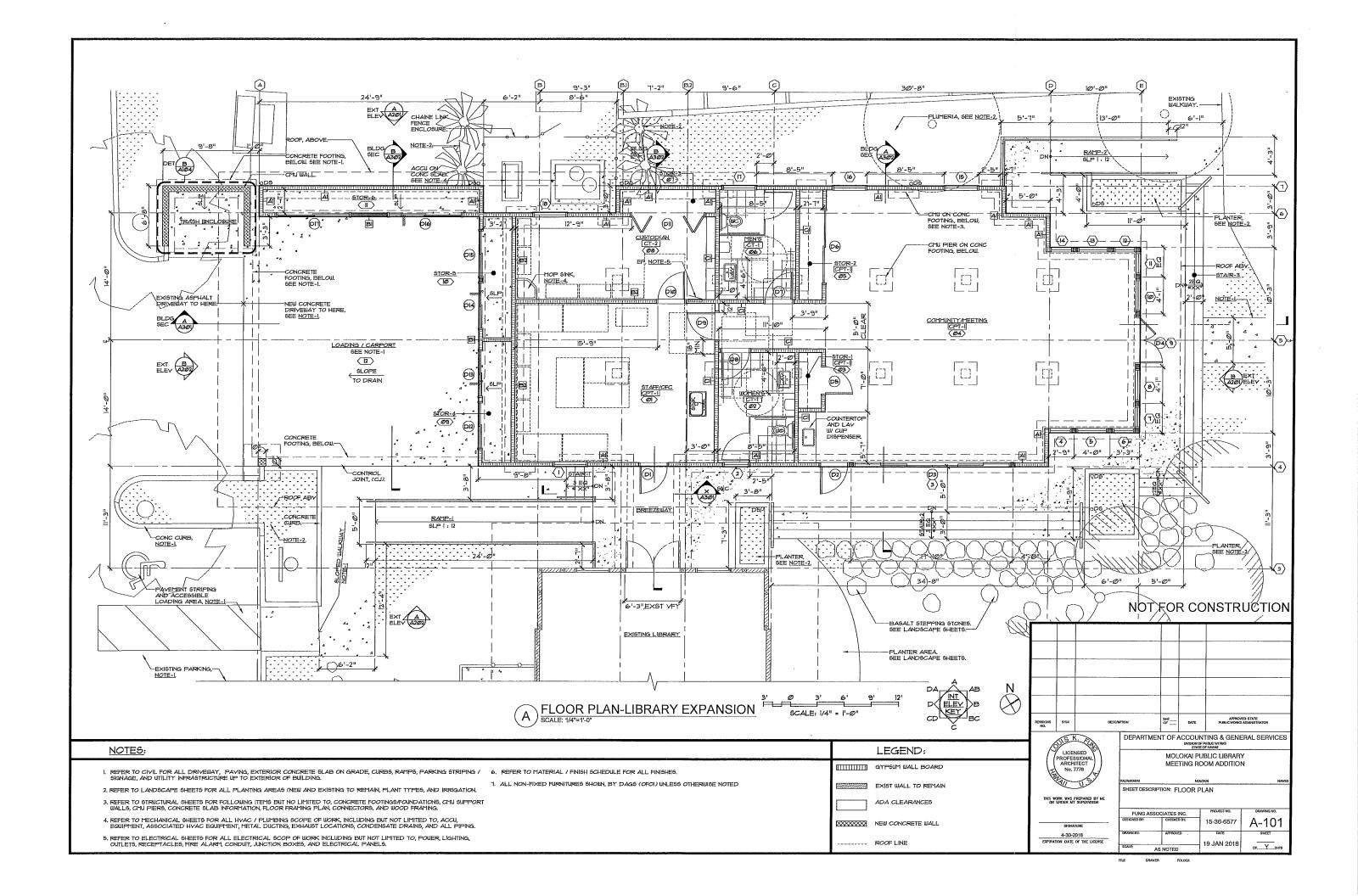
SHRUBS	SIZE AND CONDITIONS	TOTAL
ALPINIA SPECIOSA SHELL GINGER	5 G.C., 5' TALL MIN., FULL EA.	49
CORDYLINE TERMINALIS GREEN TI	5 G.C., 3' TALL MIN., FULL EA.	127
HIBISCUS ARNOTTIANUS NATIVE WHITE HIBISCUS	5 G.C., 3' TALL MIN., FULL EA.	2

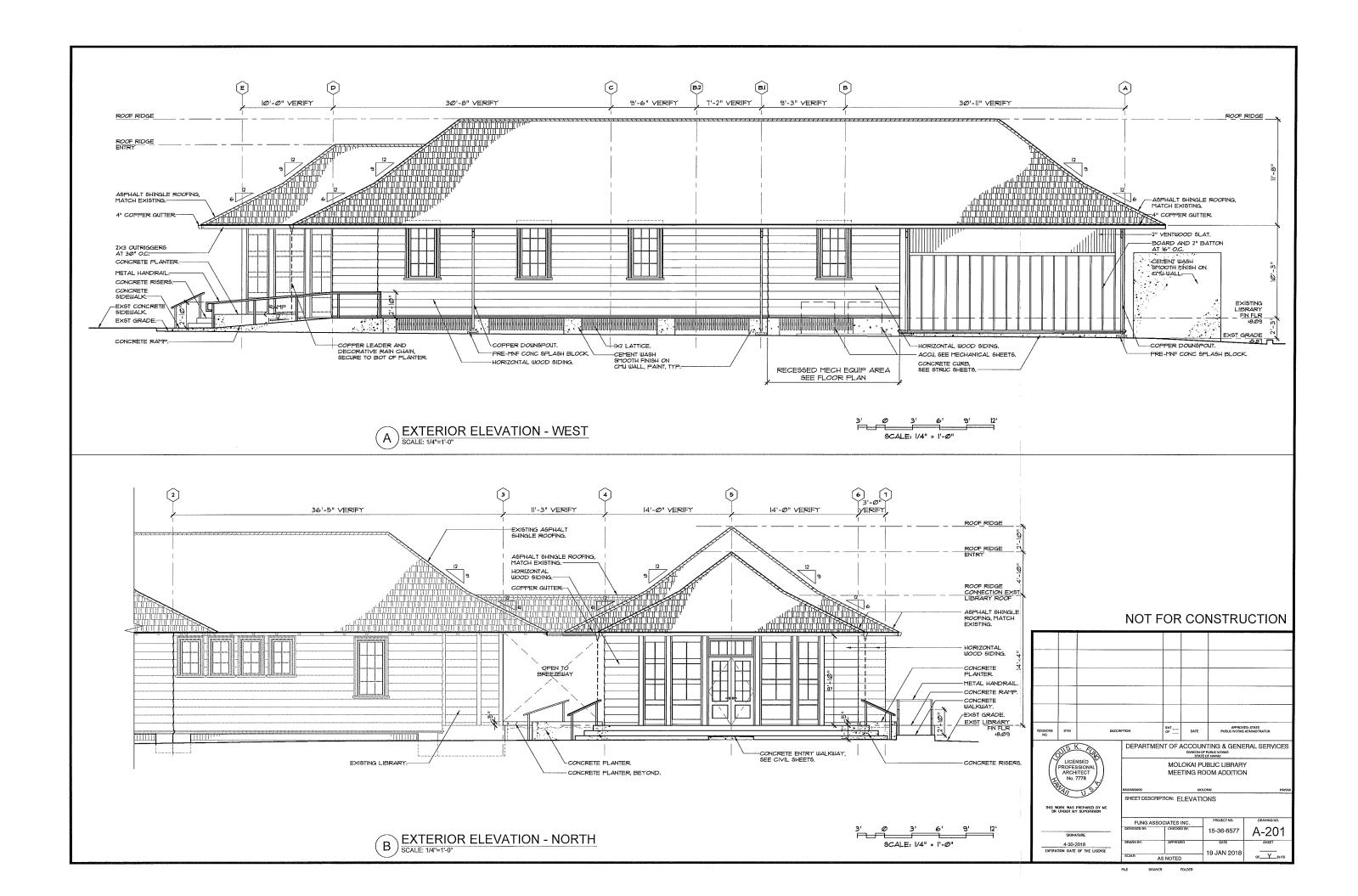
GRASS & GROUNDCOVERS	SIZE AND CONDITIONS	TOTAL
MICROSORIUM POLYPODIUM LAUA'E IKI (DWARF LAUA'E FERN)	1 G.C. @ 18" O.C., 8" TALL MIN., FULL, TRIANGULAR SPACING S.F.	1,575
ZOYSIA JAPONICA SPP. "EL TORO" ZOYSIA "EL TORO"	STOLONS S.F.	4,550

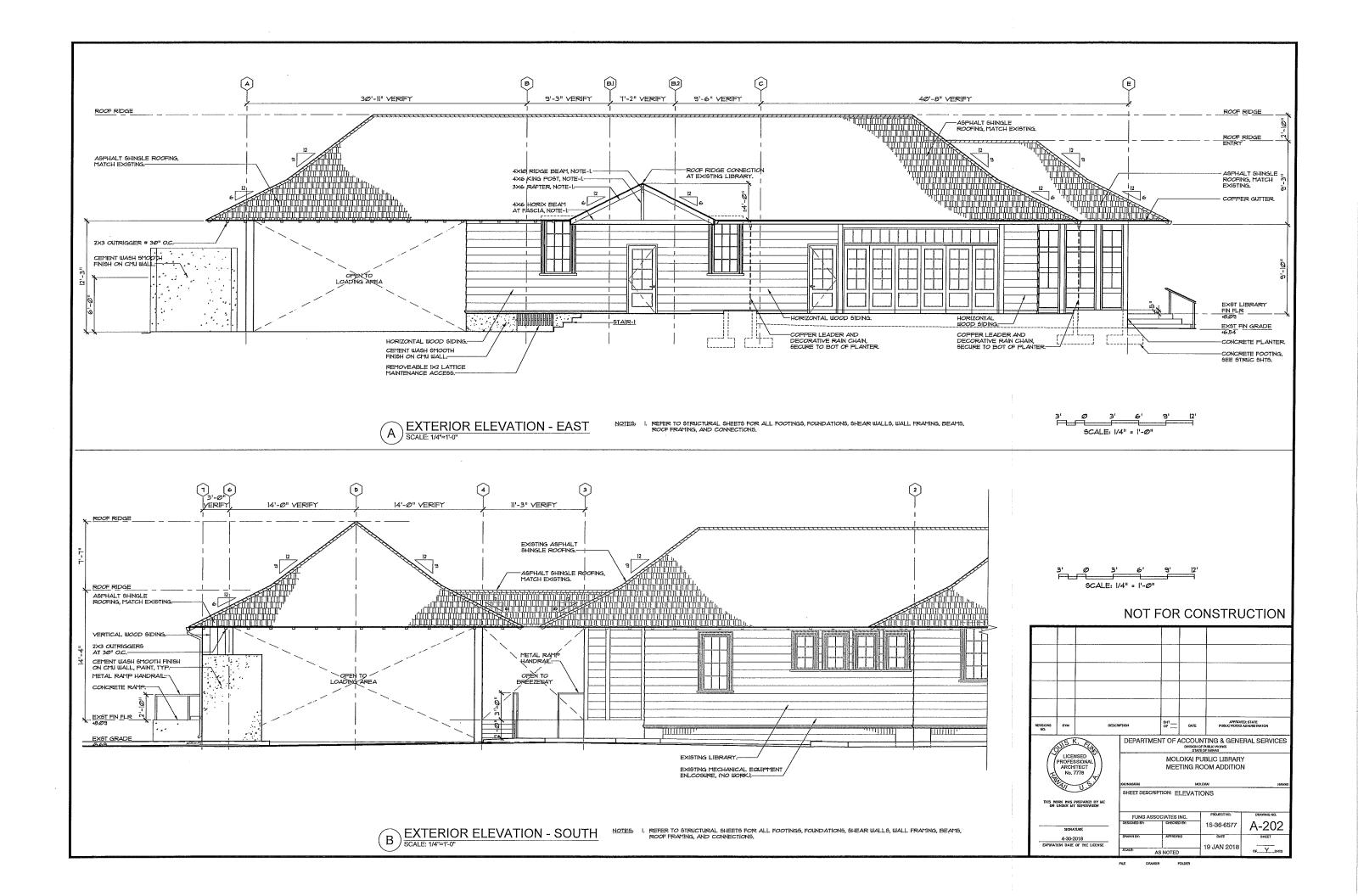
MISCELLANEOUS	SIZE AND CONDITIONS	TOTAL
ALUMINUM EDGING	L.F., SEE SPECS.	375
BARK MULCH	C.Y., 2" LAYER, BELOW HIBISCUS	0,5
CUT BASALT STEPPING STONES	EA., 18"-36" DIA., 2-1/4" THICK	51
IMPORTED SCREENED TOPSOIL	C.Y., 6" LAYER (SEE SPECS.)	114
IRRIGATION SYSTEM	S.F.	6,125
MAINTENANCE PERIOD	DAYS	365
MAINTENANCE STRIP		
GEOTEXTILE WEED CONTROL FABRIC	S.F., (SEE SPECS.)	600
#3A GRAVEL	C.Y., 6" LAYER, (SEE SPECS.)	12
ORGANIC NON-NUTRIENT SOIL CONDITIONER	S.F., 5 C.Y./1,000 S.F., (SEE SPECS.)	6,125
ORGANIC NUTRIENT SOIL CONDITIONER	S.F., 150 LBS./1,000 S.F., (SEE SPECS.)	6,125

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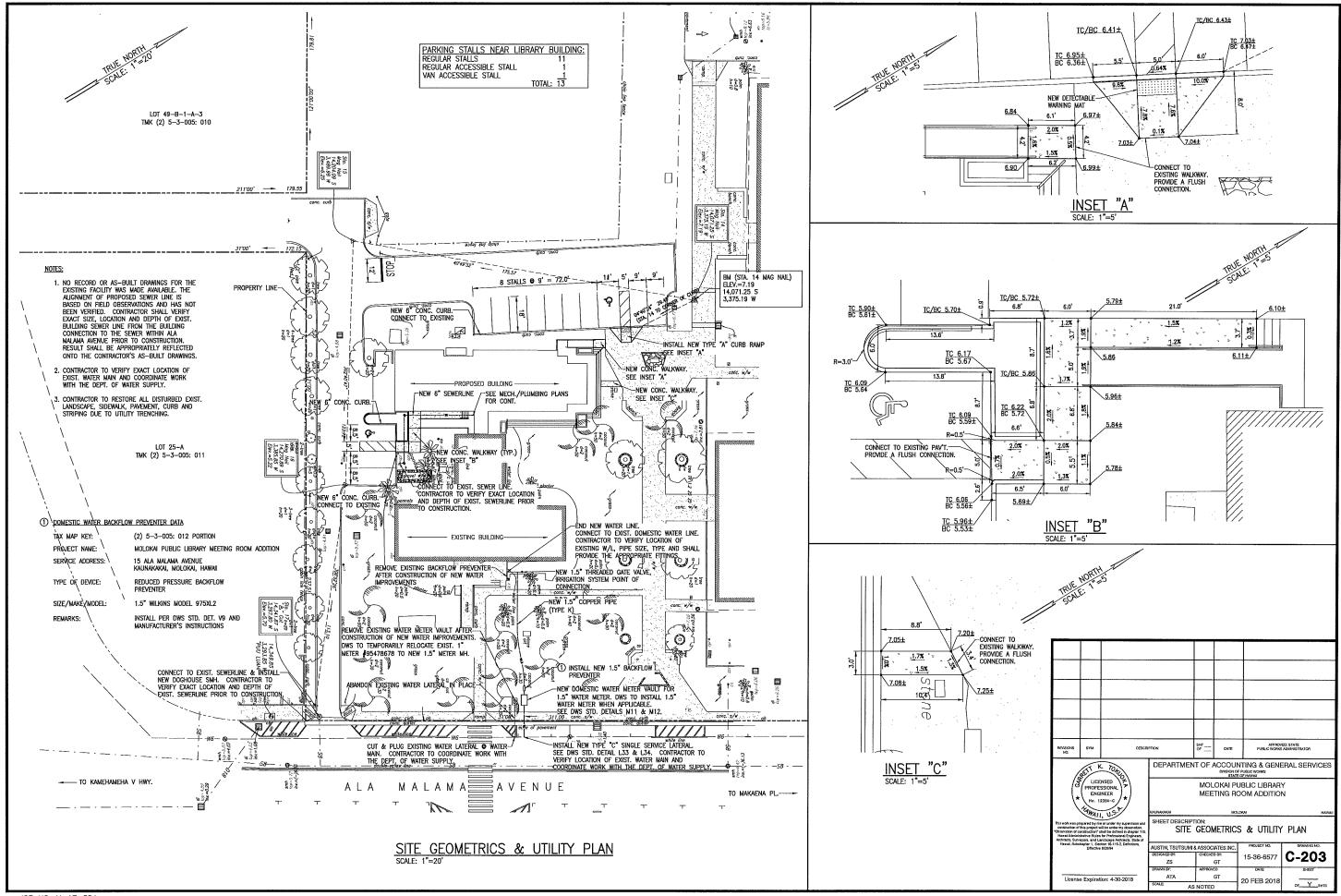


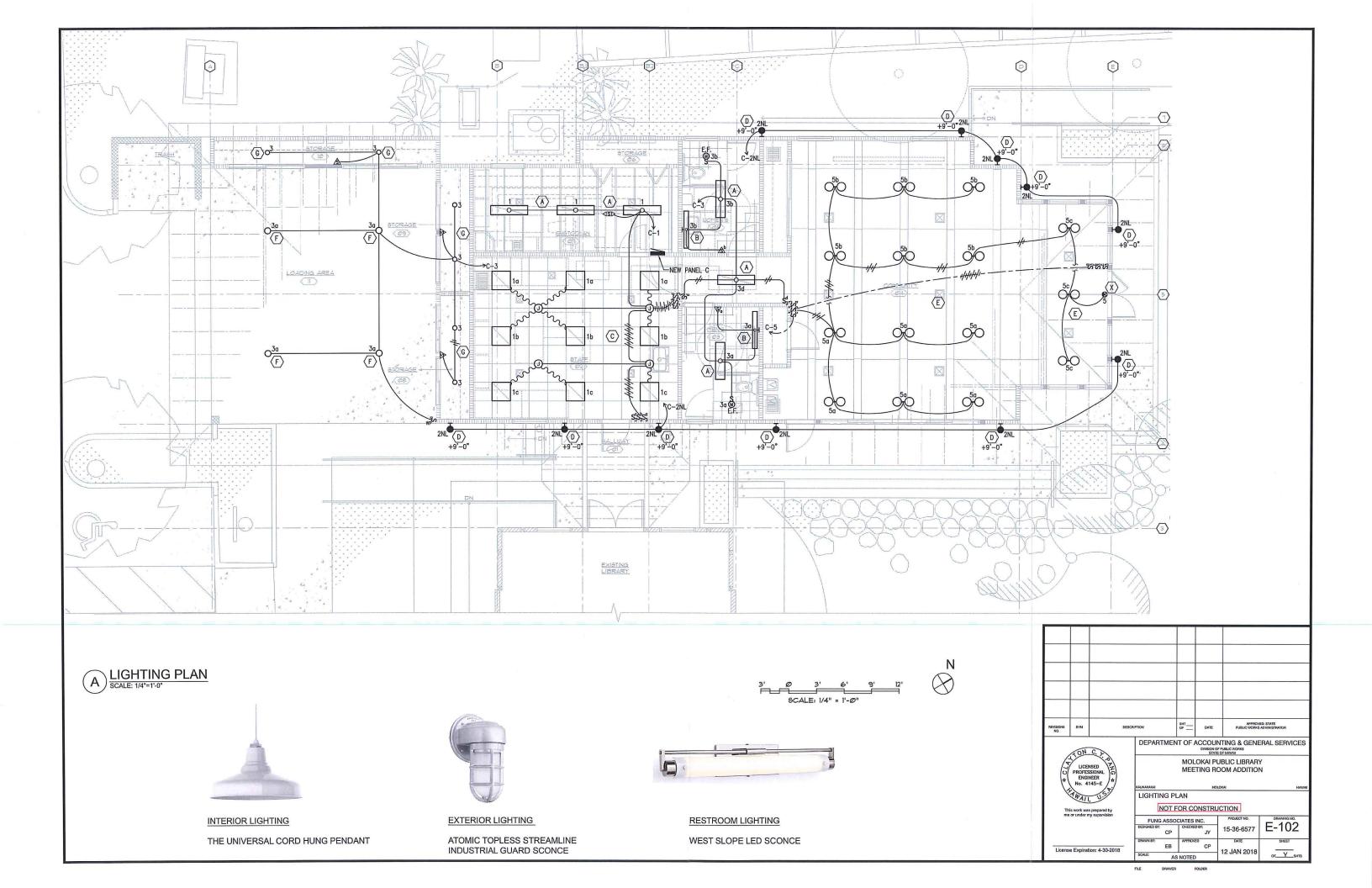


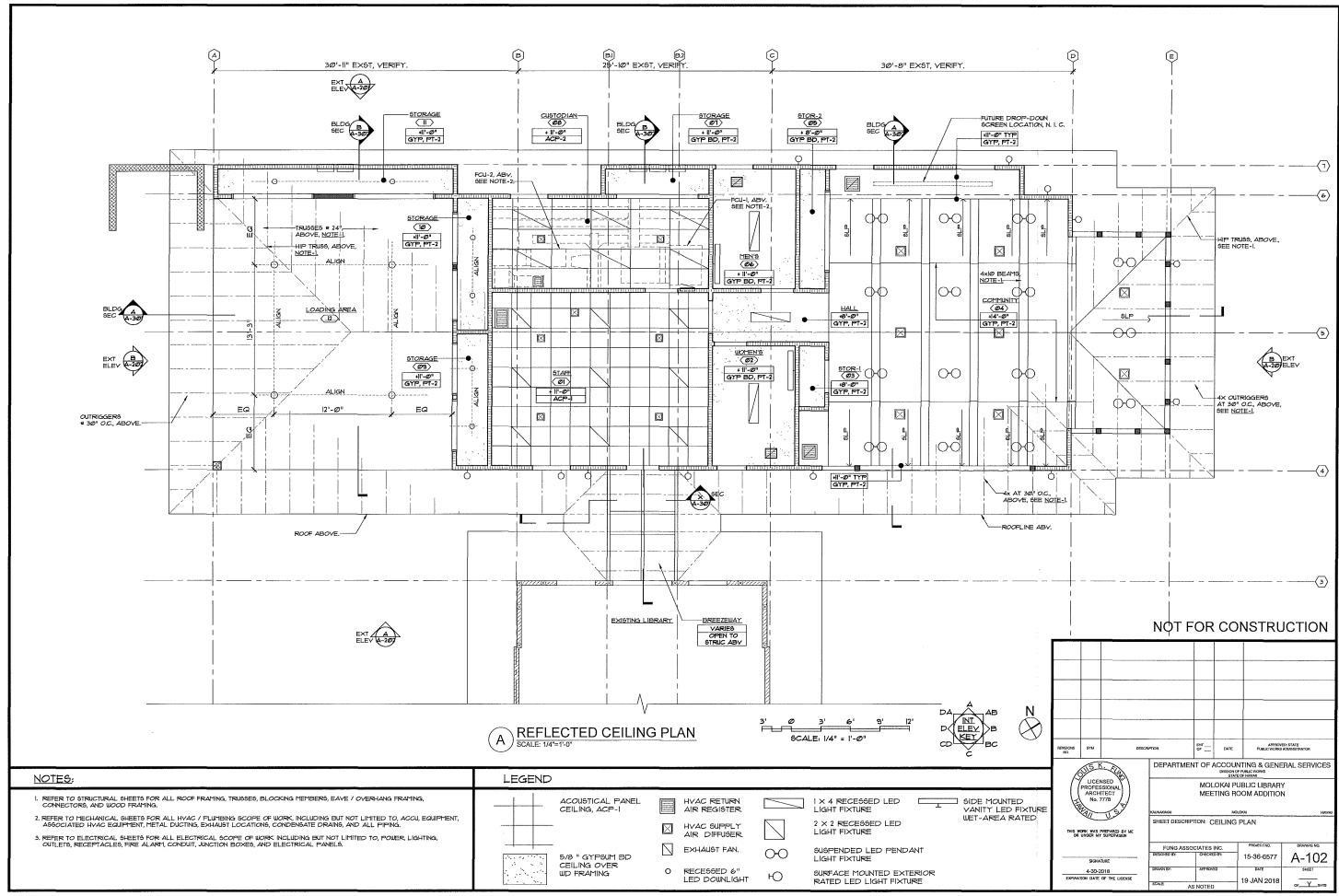


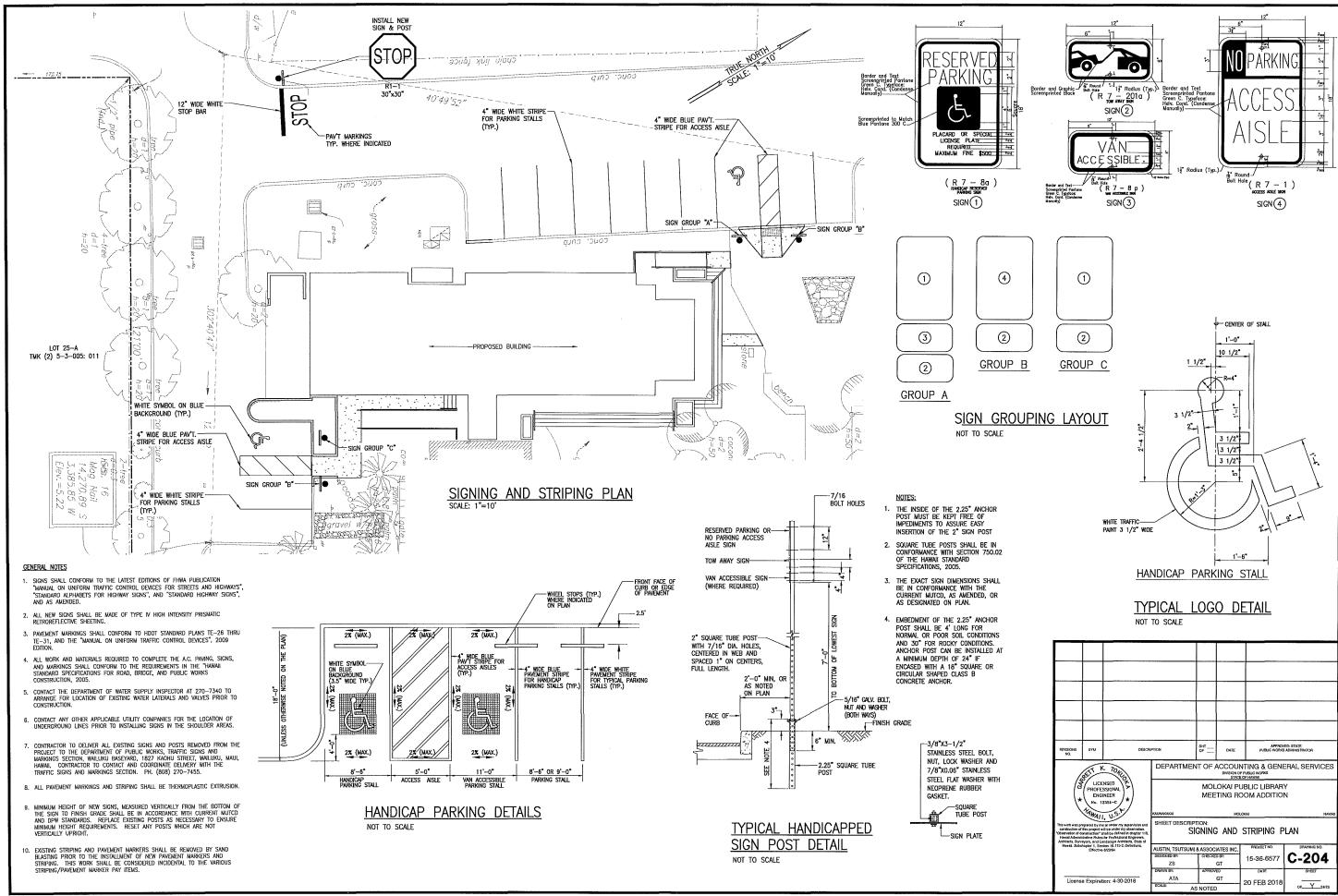


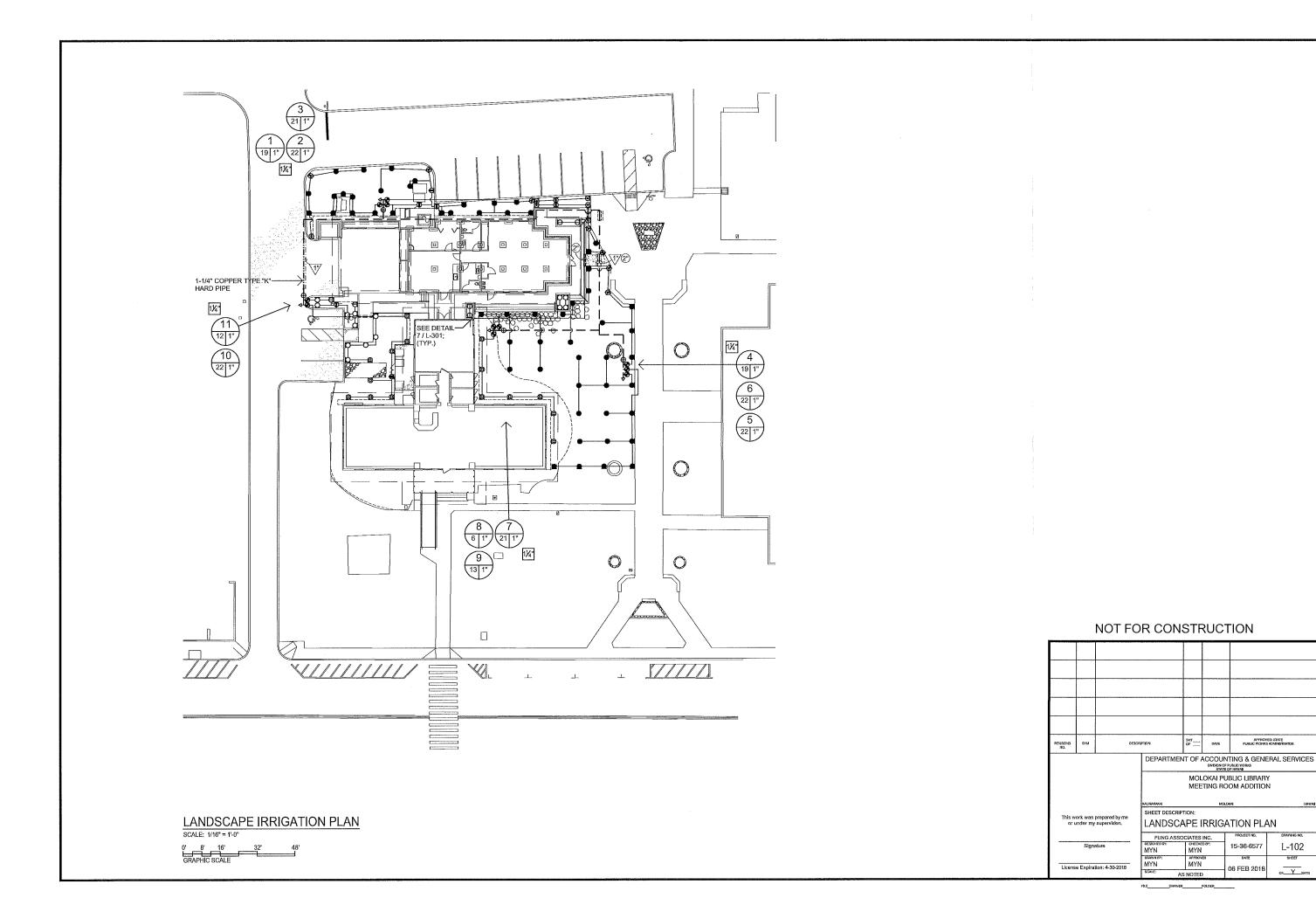












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IRRIGATION NOTES:

- 1. PERFORM A PRESSURE TEST AT THE IRRIGATION POINT OF CONNECTION TO VERIFY SUFFICIENT WORKING PRESSURE, NOTIFY THE LANDSCAPE ARCHITECT IF ANY DISCREPANCIES SHOULD OCCUR.
- THE MINIMUM STATIC PRESSURE, AT THE POINT OF CONNECTION, TO BE [...] PSI. THE IRRIGATION SYSTEM IS DESIGNED TO OPERATE AT THE
 PRESSURE INDICATED ON THE IRRIGATION LEGEND FOR ALL HEAD TYPES. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO INSURE ALL
 REMOTE CONTROL VALVES AND SPRINKLER HEADS OPERATE AT THE SPECIFIED PRESSURE.
- 3. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO CONSTRUCTION OPERATIONS. ANY UTILITY LINES DAMAGED BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- 4. FOR FINAL GRADING SEE CIVIL DRAWINGS.
- 5. FOR BUILDING LAYOUT SEE ARCHITECTURAL DRAWINGS.
- 6. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION OPERATIONS.
- 7. THE IRRIGATION PLAN IS DIAGRAMMATICAL AND EXACT LOCATIONS OF HEADS FOR ADEQUATE COVERAGE IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL IRRIGATION LINES, WHERE POSSIBLE, SHALL BE PLACED ADJACENT TO SIDEWALKS, CURBS, OR WALLS.
- 9. PROVIDE 4" POP-UP BODY FOR HEADS LOCATED IN LAWN AREAS.
- 10. PROVIDE 12" POP-UP BODY FOR HEADS LOCATED IN GROUNDCOVER AREAS.
- 11. ALL OTHER IRRIGATION SPRAY HEADS TO BE SHRUB HEAD ON RISERS UNLESS OTHERWISE NOTED ON PLAN.
- 12. THE CONTRACTOR SHALL COORDINATE WITH THE SITEWORK CONTRACTOR FOR INSTALLING COPPER PIPING AND CONDUITS PRIOR TO LAYING
- 13. THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING AND ELECTRICAL SUBCONTRACTOR FOR COPPER PIPING AND ELECTRICAL CONDUIT.
- 14. LOCATE ALL VALVE BOXES WITHIN GROUND COVER AREAS, WHEREVER POSSIBLE
- MAXIMUM "OFF-PEAK" IRRIGATION DEMANDS:
 22 GALLONS PER MINUTE
 1,287 GALLONS PER DAY

NOTE

SPECIFICATIONS FOR 15' MPR NOZZLES ARE INDICATED ON THE IRRIGATION LEGEND. PROVIDE THE APPROPRIATE RADIUS ROTARY NOZZLES FOR THE AREA TO BE IRRIGATED. REFER TO THE CHART BELOW FOR THE APPROPRIATE RADIUS.

RADIUS	NOZZLE	
11'-15'	15 SERIES MPR	
9'-12'	12 SERIES MPR	
7'-10'	10 SERIES MPR	
5'-8'	8 SERIES MPR	
2'-5'	5 SERIES MPR	

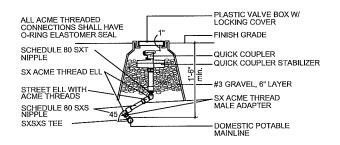
NOTE: SIZE PIPE ACCORDING TO CHART BELOW (MAXIMUM VELOCITY NOT TO EXCEED 5'/SEC.)

IRRIGATION	FLOW
PIPE SIZE	(GPM)
3/4"	0-10
1"	11-16
1-1/4"	17-26
1-1/2"	27-35
2"	36-55
2-1/2"	56-80
3"	81-90

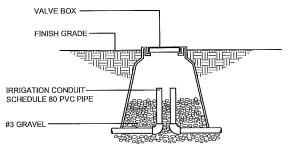
NOTE: IRRIGATION EQUIPMENT LIST IS BASED UPON PRODUCTS OF SPECIFIC MANUFACTURER FOR PURPOSES OF ESTABLISHING MINIMUM REQUIREMENTS FOR TYPE AND QUALITY OF MATERIALS.

IRRIGATION LEGEND

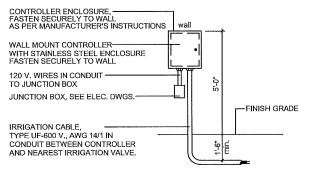
SYMBOL	DESCRIPTION	MANUFACTURER & MODEL NO.	RADIUS	PSI	GPM	REMARKS
•	4" POP-UP HEAD, FULL CIRCLE	RAINBIRD 1804-SAM-PRS-15F	15'	30	3.70	MPR SPRAY NOZZLE, 30° TRAJECTORY
•	4" POP-UP HEAD, HALF CIRCLE	RAINBIRD 1804-SAM-PRS-15H	15'	30	1.85	
•	4" POP-UP HEAD, QUARTER CIRCLE	RAINBIRD 1804-SAM-PRS-15Q	15'	30	0.92	
·	4" POP-UP HEAD, VARIABLE ARC	RAINBIRD 1804-SAM-PRS-15VAN	15'	30	0.92-3.70	
₫0	4" POP-UP HEAD, SIDE STRIP	RAINBIRD 1804-SAM-PRS-15SST	4' x 30'	30	1.21	
D)	4" POP-UP HEAD, RIGHT CORNER STRIP	RAINBIRD 1804-SAM-PRS-15RCS	4' x 15'	30	0.49	1
Ð	4" POP-UP HEAD, LEFT CORNER STRIP	RAINBIRD 1804-SAM-PRS-15LCS	4' x 15'	30	0.49	
Ω	12" POP-UP HEAD, HALF CIRCLE	RAINBIRD 1812-SAM-PRS-15F	15'	30	1.85	
Ω	12" POP-UP HEAD, QUARTER CIRCLE	RAINBIRD 1812-SAM-PRS-15H	15'	30	0.92	
D	12" POP-UP HEAD, SIDE STRIP	RAINBIRD 1812-SAM-PRS-15SST	4' x 30'	30	1.21	
Φ	12" POP-UP HEAD, END STRIP	RAINBIRD 1812-SAM-PRS-15EST	4' x 15'	30	0.61	
Ф	12" POP-UP HEAD, LEFT CORNER STRIP	RAINBIRD 1812-SAM-PRS-15LCS	4' x 15'	30	0.49	
0	12" SHRUB HEAD ON RISER, HALF CIRCLE	RAINBIRD PA-8S-PRS-15H	15'	30	1.85	
D	12" SHRUB HEAD ON RISER, QUARTER CIRCLE	RAINBIRD PA-8S-PRS-15Q	15'	30	0.92	
₫	12" SHRUB HEAD ON RISER, SIDE STRIP	RAINBIRD PA-8S-PRS-15SST	4' x 30'	30	1.21	
(3)	IRRIGATION SUBMETER	SENSUS METERING SYSTEM SR II (DISPLACEME	NT METER)			SIZE: 1"
	GATE VALVE					SEE CIVIL DRAWING FOR SIZE AND LOCATION
(2*)	SIZE OF GATE VALVE					SEE DRAWING FOR SIZE
₩	ANGLE VALVE	BUCKNER VBM SERIES				SEE DRAWING FOR SIZE
	SIZE OF ANGLE VALVE					
•	REMOTE CONTROL VALVE	RAINBIRD PESB SERIES		į.		SEE DRAWING FOR SIZE
Δ	QUICK COUPLING VALVE	RAINBIRD 44NP				
	QUICK COUPLING VALVE KEY	RAINBIRD 44K				PROVIDE (2)
	SWIVEL HOSE ELL	RAINBIRD SH-2				PROVIDE (2)
	QUICK COUPLING VALVE LOCKING COVER KEY	RAINBIRD 2049				PROVIDE (2)
	IRRIGATION CONTROLLER	RAINBIRD ESP-LXBASIC				WALL-MOUNT
	STAINLESS STEEL ENCLOSURE, WALL-MOUNT	STRONG BOX, SB-18SSW				SEE DRAWINGS FOR LOCATION
	IRRIGATION MAINLINE	PVC SCHEDULE 40 PIPE				SIZE: 1-1/2"
	IRRIGATION LATERAL	3/4" DIA. TO 2" DIA PVC CLASS 200 PIPE				SEE DRAWING FOR SIZE
$\overline{}$	COPPER PIPE MAINLINE	COPPER TYPE 'K' HARD PIPE				SEE DRAWING FOR SIZE
	COPPER PIPE LATERAL	COPPER TYPE 'K' HARD PIPE		SEE DRAWING FOR SIZE		
7:-:-	IRRIGATION CONDUIT	PVC SCHEDULE 80 PiPE			SEE DRAWING FOR SIZE	
A	SIZE OF CONDUIT					
	IRRIGATION SLEEVE	PVC SCHEDULE 40 PIPE				SEE DRAWING FOR SIZE
2	SIZE OF SLEEVE					
	NO, OF VALVE					
UU	FLOW (GPM) THRU VALVE / SIZE OF VALVE		. ,			







5 PULL BOX DETAIL FOR CONDUIT SCALE: NONE



4 IRRIGATION CONTROLLER DETAIL L-300 SCALE: NONE

NOTE:
SEE PLANS FOR LOCATION OF
REMOTE CONTROL VALVES WITH
PRESSURE REGULATOR MODULE.

FINISH GRADE

ELECTRIC GLOBE VALVE

PVC REDUCER BUSHING
WITH MALE ADAPTER

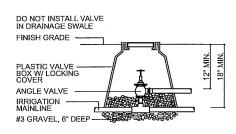
CONTROL WIRES

#3 GRAVEL, 6" DEEP

#3 GRAVEL, 6" DEEP

3 REMOTE CONTROL VALVE DETAIL

L-300 SCALE: NONE



2 ANGLE VALVE DETAIL
L-300 SCALE: NONE

FINISH GRADE

WATER METER

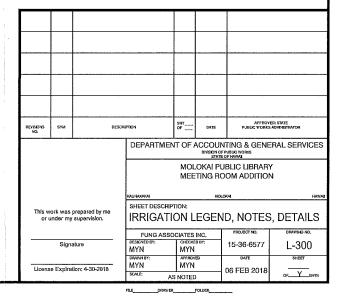
VALVE BOX

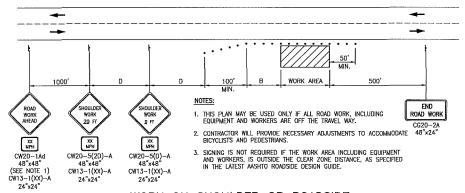
IRRIGATION MAINLINE
#3 GRAVEL,
6" DEEP

1 IRRIGATION SUBMETER DETAIL

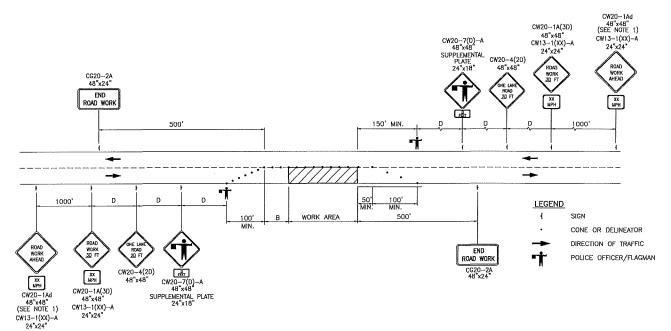
L-300 SCALE: NONE

NOT FOR CONSTRUCTION





WORK ON SHOULDER OR ROADSIDE



TWO LANE HIGHWAY - ONE LANE CLOSED

TRAFFIC CONTROL PLAN

NOT TO SCALE

"TABLE I FOR TRAFFIC CONTROL PLAN"								
POSTED SPEED LIMIT	SIGN SPACING		LENGTH (T) FEET)	Longitudinal Buffer Space (B)	SPACING OF CONES OR DELINEATORS (FEET) ②			
(MPH)	(D) (FEET)	₩ =12' OR LESS ②	₩ = Greater Than 12'①	(FEET)	TAPER	TANGENT	Work Area-	
20	250	200	W x 17	35	20	20	10	
25	250	200	W x 17	55	25	25	10	
30	250	250	₩ x 20	85	30	30	10	
35	250	250	₩ x 20	120	35	35	10	
40	500	350	W × 30	170	40	40	10	
45	500	550	W x 45	220	45	45	10	
50	1000	600	₩ x 50	280	50	50	10	
55	1000	700	₩ x 55	335	55	55	10	

- ① USE ADVISORY SPEEDS WHEN POSTED
- ② W= WIDTH OF LANE OR OFFSET
 ③ NOT APPLICABLE FOR "TWO-LANE HIGHWAYS"

GENERAL TRAFFIC CONTROL NOTES

- THE PERMITTEE SHALL MAKE MINOR ADJUSTMENTS AT INTERSECTIONS, DRIVEWAYS, BRIDGES, STRUCTURES, ETC., TO FIT ACTUAL FIELD CONDITIONS.
- CONDITIONS.

 2. CONES OR DELINEATORS SHALL BE EXTENDED TO A POINT WHERE THEY ARE VISIBLE TO APPROACHING TRAFFIC.

 3. TRAFFIC CONTROL DEVICES SHALL BE INSTALLED SUCH THAT THE SIGN OR DEVICE FATHLEST FROM THE WORK AREAS SHALL BE PLACED FIRST. THE OTHERS SHALL THEN BE PLACED PROGRESSIVELY TOWARD THE WORK AREA.
- REGULATORY AND WARNING SIGNS WITHIN THE CONSTRUCTION ZONE THAT
 ARE IN CONFLICT WITH THE TRAFFIC CONTROL PLANS SHALL BE REMOVED
 OR COVERED. ALL SIGNS SHALL BE RESTORED UPON COMPLETION OF THE
 WARD CONTROL OF THE WARD CONTROL PLANS SHALL BE RESTORED.

 WARD CONTROL OF THE WARD CONTROL
- FLAGGERS AND/OR POLICE OFFICERS SHALL BE IN SIGHT OF EACH OTHER OR IN DIRECT COMMUNICATION AT TIMES.
- WHEN REQUIRED BY THE ISSUING OFFICE, THE PERMITTEE SHALL
 INSTALL A FLASHING ARROW SIGNAL AS SHOWN ON THE TRAFFIC
 CONTROL. PLANS.
- SIGNS SPACINGS (D), TAPER LENGTHS (T) AND SPACINGS OF CONES OR DELINEATORS SHALL BE AS SHOWN IN TABLE 1, UNLESS OTHERWISE NOTED ON THE TRAFFIC CONTROL PLANS.
- 8. TRAFFIC LANES SHALL BE A MINIMUM OF 10' WIDE.

- ALL CONSTRUCTION WARNING SIGNS SHALL BE PROMPTLY REMOVED OR COVERED WHENEVER THE MESSAGE IS NOT APPLICABLE OR NOT IN USE.
- THE BACKS OF ALL SIGNS USED FOR TRAFFIC CONTROL SHALL BE APPROPRIATELY COVERED TO PRECLUDE THE DISPLAY OF INAPPLICABLE SIGN MESSAGES (i.e., WHEN SIGNS HAVE MESSAGES ON BOTH FACES).
- SIGN MESSAGES (i.e., WHEN SIGNS HAVE MESSAGES ON BOTH FACES),

 1. AT THE END OF EACH DAY'S WORK, OR AS SOON AS THE WORK IS

 COMPLETED, THE PERMITTEE SHALL REMOVE ALL TRAFFIC CONTROL

 DEVICES NO LONGER NEEDED TO PERMIT FREE AND SAFE PASSAGE OF

 PUBLIC TRAFFIC. REMOVAL SHALL BE IN THE REVERSE ORDER OF

 INSTALLATION. REPLACE EXISTING FADED OR OBLITERATED PAYMENT

 MARKINGS THAT ARE NECESSARY FOR SAFE TRAFFIC FLOW IN THE

 CONSTRUCTION AFRE WITH TEMPORARY OR PERMANENT MARKINGS

 BEFORE OPENING THE ROADWAY TO PUBLIC TRAFFIC EACH DAY.
- 12. REPLACE PERMANENT PAVEMENT MARKINGS AND TRAFFIC SIGN UPON COMPLETION OF EACH PHASE OF WORK.
- 13. THE CONTRACTOR SHALL CONTROL TRAFFIC IN AND OUT OF DRIVEWAYS.
- 14. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PART VI, STANDARDS AND GUIDES FOR TRAFFIC CONTROLS FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, UTILITY, AND INCIDENT MANAGEMENT OPERATIONS, OF THE

REVISIONS NO.	NO.			SHT	DATE		ED: STATE ADMINISTRATOR
6	LICENSED TO PROFESSIONAL FRONCE NONEER NOOER		DEPARTMENT OF ACCOUNTING & GENERAL SERVICES DISSION OF PUBLIC WORKS STATE OF HAWAIT				
(§			MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION				
\			KALINAKAKAI MOLOKAI HA				
This work was prepared by me or under my supervision and construction of this project will be under my observation. 'Observation of construction' shall be defined in chapter 115, Harwit Administrative Rules for Professional Engineers, Architects, Surveyors, and Landscape Architects, State of		SHEET DESCRIPTION: TRAFFIC CONTROL PLAN					
Hawas, Subd	Hawaii, Substrapter 1, Section 15-115-2, Definitions, Effective 8/29/94		AUSTIN, TSUTSUMI & ASSOCIATES INC.			PROJECT NO.	DRAWING NO.
		DESIGNED BY: ZS		GT	15-36-6577	C-207	
Linear	Frederic	4 20 2018	DRAWN BY: ATA	APPROVI	GT	DATE	SHEET
License Expiration: 4-30-2018		SCALE AS NOTED		20 FEB 2018	OFY_SHTS		

FILE DRAWER FOLDER

PRELIMINARY ENGINEERING AND DRAINAGE REPORT

APPENDIX



PRELIMINARY ENGINEERING AND DRAINAGE REPORT FOR THE MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION PROJECT

Kaunakakai, Molokai, Hawai'i TMK: (2) 5-3-005: 012 POR.

February 12, 2018

Prepared for:

Fung Associates, Inc. 1833 Kalakaua Avenue, Suite 1008 Honolulu, HI 96815

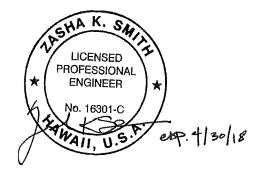


Austin, Tsutsumi & Associates, Inc.

Civil Engineers • Surveyors 501 Sumner Street, Suite 521 Honolulu, Hawaii 96817-5031 Telephone: (808) 533-3646 Facsimile: (808) 526-1267 E-mail: atahnl@atahawaii.com Honolulu • Wailuku • Hilo, Hawaii

PRELIMINARY ENGINEERING AND DRAINAGE REPORT FOR THE MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION

KAUNAKAKAI, MOLOKAI, HAWAII TMK: (2) 5-3-005: 012 POR.



PREPARED FOR Fung Associates, Inc. 1833 Kalakaua Avenue, Suite 1008

BY
AUSTIN, TSUTSUMI & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS

Honolulu, Hawaii 96815

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PRELIMINARY ENGINEERING AND DRAINAGE REPORT FOR MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION

I. INTRODUCTION

The purpose of this report is to provide an overview of the preliminary civil engineering design of the Molokai Public Library Meeting Room Addition project. This report evaluates the existing site conditions, drainage, water, proposed onsite wastewater and roadway improvements.

II. PROPOSED PROJECT

A. LOCATION

The Molokai Public Library Meeting Room Addition project is located in Kaunakakai, Molokai, Hawaii and has a Tax Map Key of TMK: (2) 5-3-005: 012 POR. The project site is bordered by Ala Malama Avenue to the East, Makaena Place to the North and Moanalua Highway to the South. Vehicular access to the library is via driveway off of Mauna Loa Highway and Ala Malama Avenue that also provides pedestrian access via sidewalk. The project site is on a 1.07 acre portion of a 4.21 acre lot owned by the State of Hawaii that also contains a State Office and Civic Center Buildings.

B. PROJECT DESCRIPTION

The Molokai Public Library was built in 1937 and is significant for its history as the only public library serving the island of Molokai. The historic library is a one-story wooden building and is approximately 3,329 square feet (sq ft), located in the central town of Kaunakakai.

The proposed project is to construct an extension to the back of the existing library. This extension will be approximately 4,210 sq. ft. providing custodian area, staff room, community room, men's and women's restrooms, exterior storage and loading area.

III. EXISTING CONDITIONS

A. TOPOGRAPHY AND SOIL CONDITIONS

The ground surface of the site is currently landscaped with grass and pedestrian access paths to the adjacent parking lot. The project site generally slopes in a south westerly direction with an average slope of approximately 1 percent. Onsite elevations range from 5.7 to 7.0 feet mean sea level (MSL).

The soil classification found on the project site is predominately classified as Mala Silty Clay (MmA). For this series, runoff is slow and the erosion hazard is no more than slight. Soils classifications and descriptions are taken from the United States Department of Agriculture Soil Conservation Services publication entitled, Soil Survey of Islands of Kauai, Oahu, Maui, Molokai, and Lanai, State of Hawaii, dated 1972.

B. CLIMATE AND RAINFALL

The Kaunakakai area is generally warm and sunny throughout most of the year. The average annual rainfall amounts to approximately 20-40 inches, with most of the rainfall occurring in the winter months. The average temperature is about 70 degrees Fahrenheit.

C. INFRASTRUCTURE

1. WATER

The project site currently has existing domestic service and landscape irrigation connected to a 1" water meter at the east end of the site near the concrete walkway which connects to an existing 6" water main.

WASTEWATER

The existing library connects to an 8" sewer line running along Ala Malama Avenue owned and operated by the County of Maui. Sewage from the project will be treated at Molokai Wastewater Treatment Facility.

3. DRAINAGE

Storm water runoff generated from the existing property generally sheet flows in a south westerly direction and is collected in onsite drain inlets. The onsite drainage system ties into the county drainage system within Ala Malama Avenue.

Pre-development onsite runoff is estimated to be approximately 0.8 cubic feet per second (cfs), based on the 50-year recurrence interval storm. (See Appendix A for preliminary drainage calculations and Exhibit 3 – Drainage Area Map – Pre-Development Conditions for existing drainage information).

4. ROADWAY

Mauna Loa Highway to the south of the site is a 25-foot wide asphalt concrete (a.c.) paved two-lane road with a right-of-way width of 50 feet. The current posted speed limit for Mauna Loa Highway is 35 miles per hour. There is a driveway stemming off of the highway which provides access to the project site.

Ala Malama Avenue to the east of the site provides pedestrian access to the library. There is no vehicular access off of Ala Malama Avenue. This road is a 48-foot wide asphalt concrete (a.c.) paved two-lane road has a right-of-way width of 50 feet and has parallel parking along each side of the street. The current speed limit for Ala Malama Avenue is 25 miles per hour.

D. FLOOD ZONE

The proposed project site has a flood zone classification of Zone AE. Zone AE is characterized as an areas that have a 1% probability of flooding every year (also known as the "100-year floodplain"), and where predicted flood water elevations above mean sea level have been established. Flood zone classification is based on the Flood Insurance Rate Map (FIRM) number 150003 0187F, effective November 4, 2015, as prepared by the Federal Emergency Management Agency. (See Exhibit 5 for the Flood Zone Map.)

IV. PROPOSED IMPROVEMENTS

A. DRAINAGE PLAN

The project will require minimal site improvements and drainage patterns will not be altered.

B. EROSION CONTROL PLAN

Temporary erosion control measures will be incorporated during construction to minimize soil loss and erosion hazards. Best Management Practices will include temporary sediment basins, temporary diversion berms and swales to intercept runoff, silt fences, dust fences, inlet protection, slope protection, stabilized construction entrances and truck wash-down areas. Periodic water spraying of loose soils will be implemented to minimize air-borne dirt particles from reaching adjacent properties.

C. WATER SYSTEM PLAN

Onsite water system improvements will include a new 1.5" water meter, backflow preventer, and a type "K" copper waterline to service the library. The new water meter will connect to an existing 6" water main within Ala Malama Avenue. Preliminary water contributions are calculated at approximately 1,114 gallons per day (gpd) for total water use. Refer to Appendix B for Preliminary Water Demand Calculations.

D. WASTEWATER SYSTEM PLAN

The proposed sewer flow generated from the project will be collected by a proposed 4" sewer line that will connect to the existing onsite sewer system through an 8" sewer lateral and then to an 8" sewer main within Ala Malama Avenue. Preliminary wastewater contributions are calculated at approximately 413 gpd (average daily demand). Refer to Exhibit 4 for the Onsite Sewer Plan and Appendix C for Preliminary Wastewater Contribution Calculations.

V. CONCLUSION

The proposed grading and drainage design for this project will impose no adverse effects from storm runoff to adjacent and downstream areas. Soil loss will be minimized during the construction period by implementing appropriate erosion control measures. All drainage improvements will conform to the Maui County Standards.

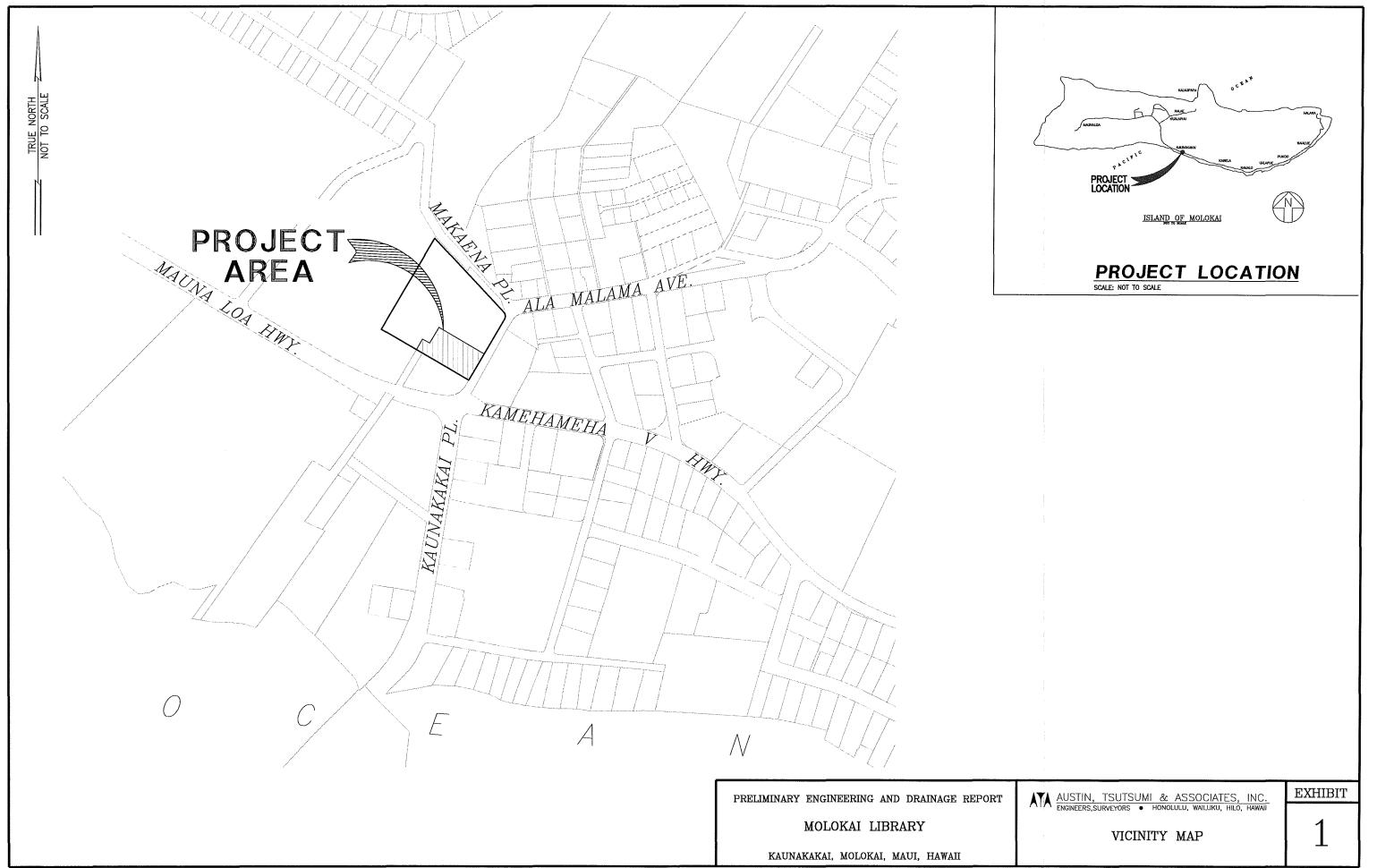
The proposed improvements for this project will be designed in accordance with the applicable rules and regulations of the County of Maui. Based on the preceding information, the project is expected to have no adverse effects on existing facilities or the surrounding environment.

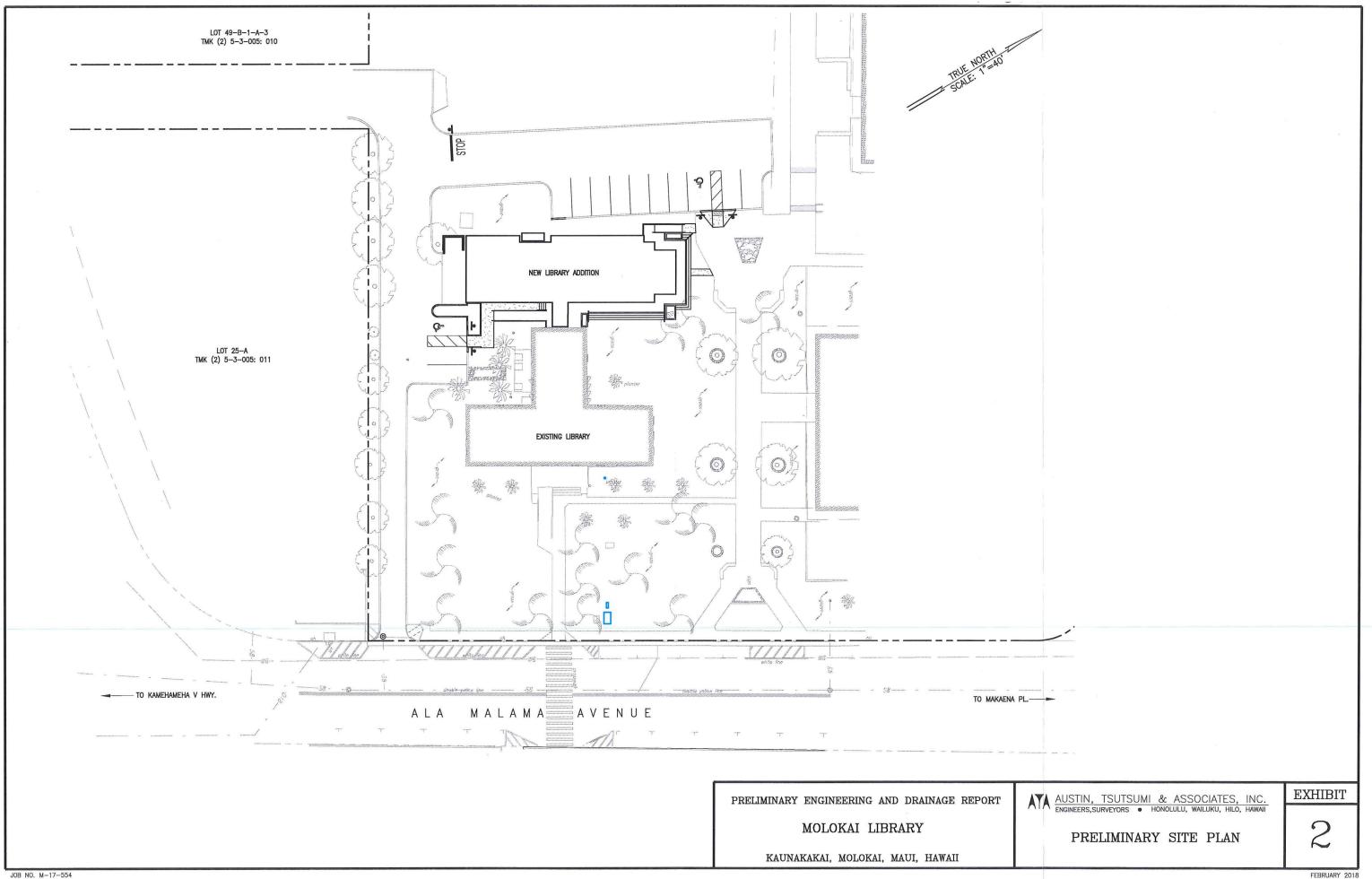
REFERENCES:

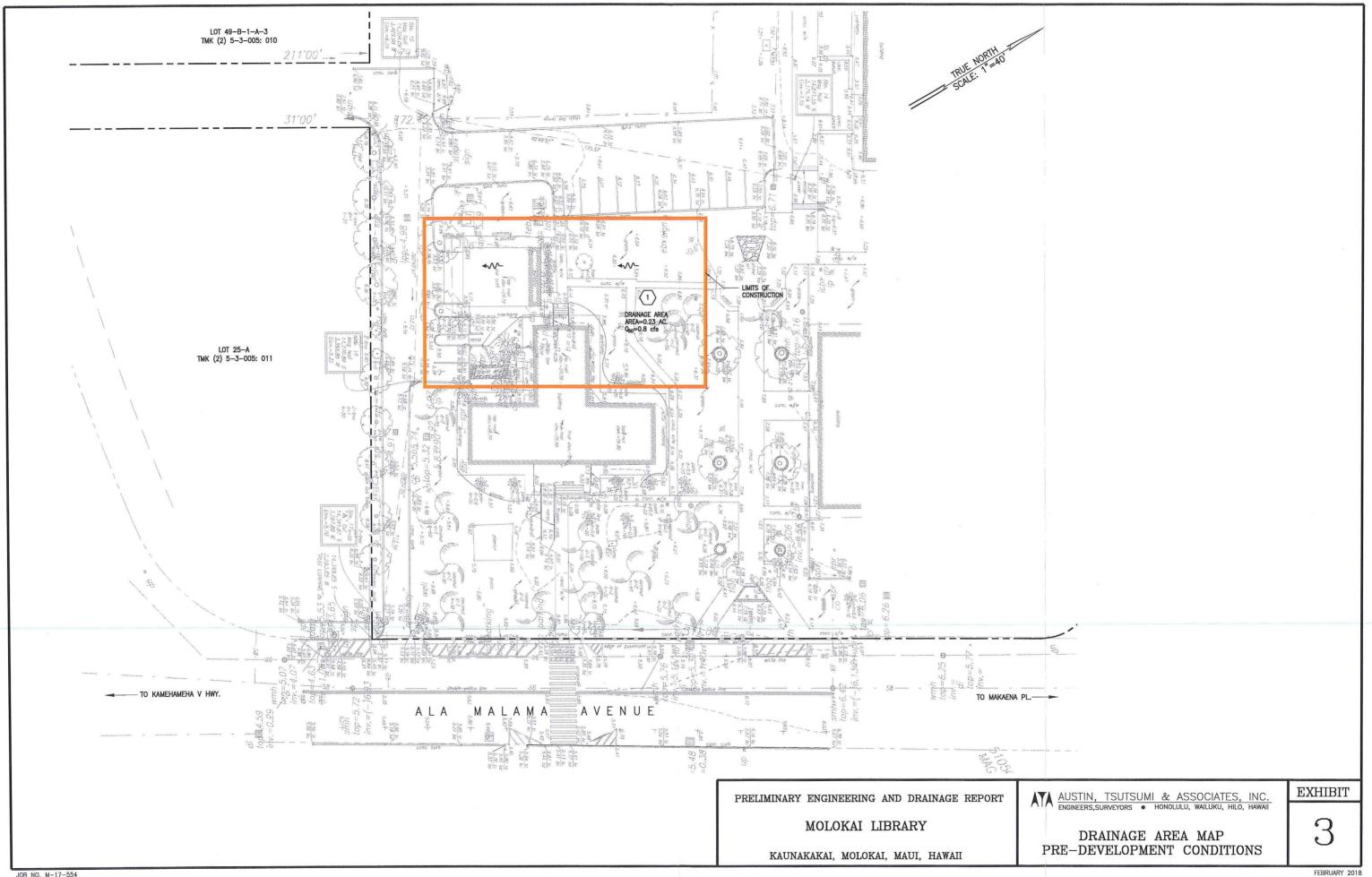
- 1. Department of Public Works & Waste Management, County of Maui, Chap.4, *Rules for the Design of Storm Drainage Facilities in the County of Maui*, November 1995.
- 2. USDA, Soil Conservation Service in Cooperation with the University of Hawaii Agricultural Experiment Station. (August 1972). Soil Survey of Island of Kauai, Oahu, Maui, Molokai, and Lanai, State of Hawaii.
- 3. Federal Emergency Management Agency. (September 19, 2012). *Flood and Insurance Rate Map, Maui County, Hawaii.* Map Number 1500030351F.
- 4. County of Maui, Wastewater Reclamation Division, Wastewater Flow Standards, February 2, 2006.
- 5. Water System Standards, State of Hawaii, 2002.
- 6. Design Standards, Division of Wastewater Management, Vol. 1, February 1984.

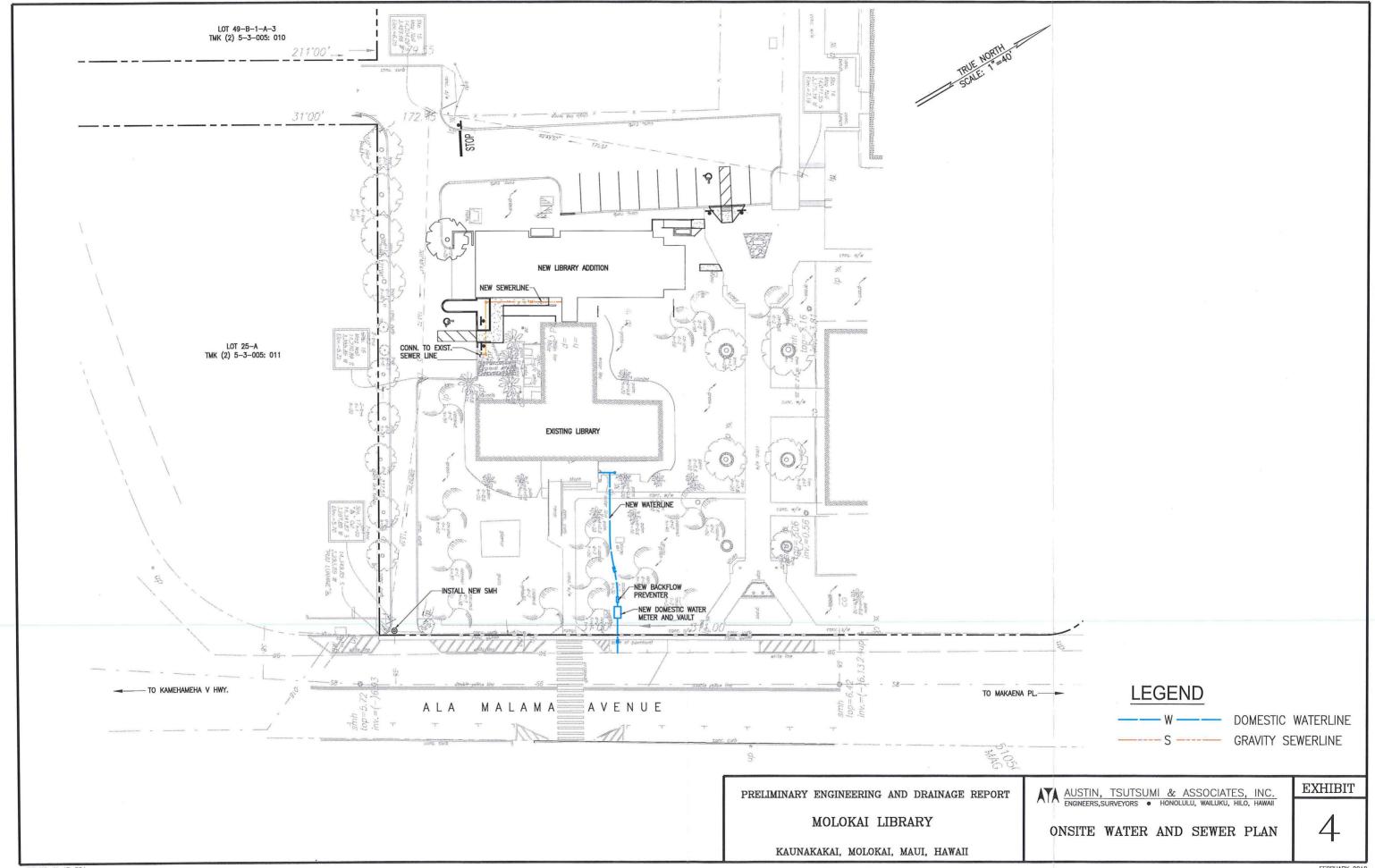


EXHIBITS













Flood Hazard Assessment Report

Notes:

Property Information

COUNTY:

(2) 5-3-005:012 TMK NO:

WATERSHED: KAMILOLOA: KAUNAKAKAI

O MAKAENA PL KAUNAKAKAL HI 96748

Flood Hazard Information

FIRM INDEX DATE:

NOVEMBER 04, 2015

LETTER OF MAP CHANGE(S):

16-09-0721P

FEMIA FIRM PANEL - EFFECTIVE DATE:

1500030187F - NOVEMBER 04, 2015 1500030190E - SEPTEMBER 25, 2009

THIS PROPERTY IS WITHIN A TSUNAMI EVACUTION ZONE: YES FOR MORE INFO, VISIT: http://www.scd.hawaii.gov,

THIS PROPERTY IS WITHIN A DAM EVACUATION ZONE: FOR MORE INFO, VISIT: http://dinreng.hawaii.gov/dam/





Obstaimer: The Hawaii Department of Land and Natural Resources (DLNR) assumes no responsibility arising from the use, accuracy, completeness, and timeliness of any information contained in this report. Viewers/Users are responsible for verifying the occuracy of the information and agree to indemnify the DLNR, its officers, and employees from any liability which may arise from its use of its data or information.

If this map has been identified as 'PREUMINARY', please note that it is being provided for informational purposes and is not to be used for flood insurance rating. Contact your county floodplain manager for flood zone determinations to be used for compliance with local floodplain management regulations.

FLOOD HAZARD ASSESSMENT TOOL LAYER LEGEND

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INVIDATION BY THE 1% ANNUAL CHANGE FLOOD - The 1% annual chance flood (100-year), also know as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. SFHAs include Zone A, AE, AM, AO, V, and VE. The Base Flood Elevation (BFE) is the water surface elevation of the 1% annual chance flood. Mandatory flood insurance purchase applies in these zones:

Zone A: No REE determined

no BFE determined.

Zone AE: BFE determined.

Zone AH: Flood depths of 1 to 3 feet (usually areas of ponding);

Zone AO: Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined.

Ione V: Coastal flood zone with velocity hazard (wave action);

Zone VE: Coastal flood zone with velocity hazard (wave action);

Zone AEF: Floodway areas in Zone AE. The floodway is the channel of stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 136 annual chance flood can be carried without increasing the BFE.

NON-SPECIAL FLOOD HAZARD AREA - An area in a low-to-moderate risk flood zone. No mandatory flood insurance purchase requirements apply, but coverage is available in participating communities.

Zone X5 (X shaded): Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

> Zone X: Areas determined to be outside the 0.2% annual chance floodplain.

OTHER FLOOD AREAS

Zone D: Unstudied areas where flood hazards are undeter-mined, but flooding is possible. No mandatory flood insurance purchase apply, but coverage is available in participating commu-nities.

PRELIMINARY ENGINEERING AND DRAINAGE REPORT

MOLOKAI LIBRARY

KAUNAKAKAI, MOLOKAI, MAUI, HAWAII

AVATIN, TSUTSUMI & ASSOCIATES, INC.
ENGINEERS, SURVEYORS • HONOLULU, WAILUKU, HILO, HAWAII

FLOOD MAP

EXHIBIT

APPENDICIES

APPENDIX A

MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION PRELIMINARY HYDROLOGY CALCULATIONS

DRAINAGE STUDY

Project: MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION

Hydrology Calculations

Summary of Procedures

References:

1. "Rules for the Design of Storm Drainage Facilities in the County of Maui", County of Maui, Department of Public Works and Waste Management.

Pre-development and Post-development Runoff:

Definitions:

1. Drainage Area, A:

Areas delineated by relatively identical drainage patterns based on topographic information and a common point or system.

2. Recurrence Interval, Tm:

The frequency of the occurrence of a particular design-storm. For example, a 100-year frequency storm has a 1% chance of occurring in any given year.

The following criteria will be used in the analysis of the drainage systems:

- a. Onsite & Offsite storm runoff: 50 year 1 hour storm interval
- 3. Intensity of 1-hour Rainfall value, I:

The Rainfall Value is assumed constant over the watershed and uniformly distributed. The 10 year – 1 hour rainfall value is 2.0 inches. The 50 year – 1 hour rainfall value is 2.5 inches. (See Reference 1, Plates 5 & 8).

Methodology:

Rational Method

A. Runoff Quantity, Q:

See Hydrology Calculations.

The equation for the Rational Method is:

c = runoff coefficient

i = intensity of a 1-hour rainfall

A = drainage area (acres)

B. Runoff Coefficient, C:

The percentage of rain that appears as direct runoff.

- 1. For landscaped/graded areas: Runoff coefficient 0.25.
- 2. For roadways, sidewalks, future buildings: Runoff coefficient 0.95.
- A weighted average among runoff coefficients will be used for drainage areas containing a combination of streets, sidewalks, future dwellings and landscaping.

C. Time of Concentration, Tc (min.):

Time required for water to flow from the most remote point of a drainage area to the outlet point.

 The Time of Concentration is determined from the nomograph (See Ref. 1, Plate 1). Data for the longest length of reach, ground character and ground slope are required to use this chart appropriately.

EXISTING ON-SITE HYDROLOGY CALCULATIONS (50 Year - 1 Hour Storm)

Project Site Descriptions:

Area (a)

Total Project Site: a= 0.23 acres

Area Breakdown:

Landscaped/graded areas: 0.13 acres

Parking/Walkway/Building areas: 0.10 acres

Runoff Coefficient (c)

Landscaped/graded areas: c= 0.25

Parking/Walkway/Building areas: c= 0.95

Weighted Average: c= 0.556

Rainfall Intensity (i)

Recurrence Interval: 50 Yr - 1 Hr = 2.5 inches

Longest reach length: approx 84 feet Average site slope: 2.2 %

Time of concentration: 6 minutes

i= 6.2 inches / hour

Runoff (Q)

 $Q = c \times i \times a$

Q = discharge, in cubic feet per second (cfs)

c = runoff coefficient

i = rainfall intensity, inches per hour

a = watershed area, in acres

 $Q_{50} = 0.8 \text{ cfs}$

APPENDIX B

MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION PRELIMINARY WATER DEMAND CALCULATIONS

EXISTING ON-SITE WATER CALCULATIONS

Project Site Description:

Existing Library Area

0.07 acres

Average Users:

Visitors =

125 *

Staff = 5 *

Total = $\frac{3}{130}$ persons/day

Total Average Daily Demand

					Days opened	Water
Billing	Thousand			Days per	per billing	consumed per
Date*	Gallons*	Days*	Weeks	week	period	day
10/26/2016	15	26	3.7	5	18.6	807.7
11/29/2016	21	34	4.9	5	24.3	864.7
12/29/2016	5	30	4.3	5	21.4	233.3
1/21/2017	7	33	4.7	5	23.6	297.0
2/28/2017	15	28	4.0	5	20.0	750.0
3/30/2017	24	30	4.3	5	21.4	1120.0
4/28/2017	21	29	4.1	5	20.7	1013.8
5/30/2017	7	32	4.6	5	22.9	306.3
6/28/2017	15	29	4.1	5	20.7	724.1
7/31/2017	14	33	4.7	5	23.6	593.9
8/30/2017	10	30	4.3	5	21.4	466.7
9/29/2017	13	30	4.3	5	21.4	606.7
10/26/2017	14	27	3.9	5	19.3	725.9

Total Water Demand = 655 gpd

^{*}Visitor/Staff counts and water billing summary provided by the Department of Accounting and General Services.

PRELIMINARY ON-SITE WATER CALCULATIONS

Project Site Description:

$$Visitors = 215$$

$$Staff = 6 *$$

$$Total = 221 persons/day$$

Total Average Daily Demand

Total Water Demand = 1114 gpd

^{*}Staff count provided by the Department of Accounting and General Services.

APPENDIX C

MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION PRELIMINARY WASTE WATER CALCULATIONS

EXISTING ON-SITE SEWER CALCULATIONS

Project Site Description:

Wastewater Contribution Standards

Wastewater Contribution Calculations

125 Visitors x (5 gallons/use/day) x 30% usage = 188 gallons/day
5 Staff x (15 gallons/use/day) = 75 gallons/day (gpd)

Average Daily Wastewater Contribution = 263 gpd

^{*}Visitor/Staff counts provided by the Department of Accounting and General Services.

^{**}Per County of Maui Wastewater Reclamation Division Wastewater Flow Standards estimated for Store Customer and Retail Store Employee as the closest approximation for Library use.

PRELIMINARY ON-SITE SEWER CALCULATIONS

Project Site Description:

Average Users:

Visitors =
$$215$$

Staff = $6 *$
Total = 221 persons/day

Wastewater Contribution Standards

Wastewater Contribution Calculations

215 Visitors x (5 gallons/use/day) x 30% usage =

323 gallons/day

6 Staff x (15 gallons/use/day) =

90 gallons/day (gpd)

Average Daily Wastewater Contribution =

413 gpd

^{*}Staff count provided by the Department of Accounting and General Services.

^{**}Per County of Maui Wastewater Reclamation Division Wastewater Flow Standards estimated for Store Customer and Retail Store Employee as the closest approximation for Library use.

FLORA AND FAUNA SURVEY

APPENDIX

D

BIOLOGICAL RESOURCES SURVEY

FOR THE

MOLOKA'I PUBLIC LIBRARY EXPANSION PROJECT

KAUNAKAKAI, MOLOKA'I, HAWAI'I

by

Robert W. Hobdy Environmental Consultant Kokomo, Maui November 2017

Prepared for: Fung Associates, Inc.

BIOLOGICAL RESOURCES SURVEY MOLOKA'I PUBLIC LIBRARY EXPANSION PROJECT KAUNAKAKAI, MOLOKA'I, HAWAI'I

INTRODUCTION

The Moloka'i Public Library Expansion project lies on an approximately one-acre portion of State land along Ala Malama Street in downtown Kaunakakai, Moloka'i TMK (2) 5-3-05:012 (por.), (see Figure 1). This project proposes the expansion of an existing library facility dating back to 1937. This biological resource survey was initiated by the State in compliance with environmental requirements of the planning process.

SITE DESCRIPTION

This site lies on level land on the coastal plain in Kaunakakai at an elevation of approximately eight feet. The site consists of a library building, parking area, a lawn and ornamental landscaping, and is surrounded by other public facilities in an urban setting. The soil is characterized as Mala Silty clay, 0 - 3% slopes (MmA) which is a deep, well-drained alluvial soil (Foote et al, 1972). Annual rainfall here averages 12 inches with most occurring during the winter months (Armstrong, 1983).

SURVEY OBJECTIVES

This report summarizes the findings of a flora and fauna survey of the Moloka'i Public Library Expansion project in Kaunakakai, Moloka'i that was conducted in November 2017. The objectives of the survey were to:

- 1. Document what plant and animal species occur on the property or may likely occur in the existing habitat.
- 2. Document the status and abundance of each species.
- 3. Determine the presence or likely occurrence of any native flora and fauna, particularly any that are Federally listed as Threatened or Endangered. If such occur, identify what features of the habitat may be essential for these species.
- 4. Determine if the project area contains any special habitats which if lost or altered might result in a significant negative impact on the flora and fauna in this part of the island.

BOTANICAL SURVEY REPORT

SURVEY METHODS

A walk-through botanical survey method was used to cover the entire project area. Notes were made on plant species, distribution and abundance as well as on terrain and substrate.

DESCRIPTION OF THE VEGETATION

The vegetation was typical of a developed urban site with a mowed lawn, an assortment of ornamental landscape plants around the buildings and a number of herbaceous weed species. A total of 63 plant species were recorded during the survey. Seven species were of common occurrence: coconut (*Cocos nucifera*), Bermuda grass (*Cynodon dactylon*), St. Augustine grass (*Stenotaphrum secundatum*), false eranthemum (*Pseuderanthemum carruthersii*), kou (*Cordia subcordata*), Geiger plant (*Cordia sebestina*) and kukui (*Aleurites moluccana*).

Four species were plants native to Hawaii, including the endemic 'akia (*Wikstroemia uva-ursi*) and three indigenous species, kou (*Cordia subcordata*), kīpūkai (*Heliotropium curassavicum*) and 'uhaloa (*Waltheria indica*). The 'akia and kou were planted in the landscape as ornamentals while the kīpūkai and 'uhaloa were of natural occurrence.

DISCUSSION AND RECOMMENDATIONS

Fifty-nine of the sixty-three plant species recorded in the project area were non-native lawn grasses, ornamental plants or herbaceous weeds that are of no conservation concern. The four native plant species recorded are all widespread and common in Hawaii and also have no special protections. No federally listed Endangered or Threatened plant species (USFWS, 2017) were found and no special native plant communities occur here in this urban environment.

The further development of this project area is not expected to have a significant negative impact on the botanical resources in this part of Moloka'i.

PLANT SPECIES LIST

Following is a checklist of all those vascular plant species inventoried during the field studies. Plant families are arranged alphabetically within three groups: Ferns, Monocots and Dicots. Taxonomy and nomenclature of the flowering plants are in accordance with Wagner et al. (1999) and Staples and Herbst (2005).

For each species, the following information is provided:

- 1. Scientific name with author citation
- 2. Common English or Hawaiian name.
- 3. Bio-geographical status. The following symbols are used:

endemic = native only to the Hawaiian Islands; not naturally occurring anywhere else in the world.

indigenous = native to the Hawaiian Islands and also to one or more other geographic area(s).

Polynesian introduction = plants introduced to Hawai'i in the course of Polynesian migrations and prior to western contact.

non-native = all those plants brought to the islands intentionally or accidentally after western contact.

4. Abundance of each species within the project area:

abundant = forming a major part of the vegetation within the project area.

common = widely scattered throughout the area or locally abundant within a portion of it.

uncommon = scattered sparsely throughout the area or occurring in a few small patches.

rare = only a few isolated individuals within the project area.

SCIENTIFIC NAME	COMMON NAME	STATUS	ABUNDANCE
FERNS			
NEPHROLEPIDACEAE (Sword Fern Family)			
Nephrolepis brownii (Desv.) Hovencamp & Miyamoto	Asian sword fern	non-native	rare
POLYPODIACEAE (Polypody Fern Family)			
Phymatosorus grossus (Langsd. & Fisch.) Brownlie	laua'e	non-native	uncommon
MONOCOTS			
AMARYLLIDACEAE (Amaryllis Family)			
Crinum asiaticum L.	giant lily	non-native	uncommon
ARECACEAE (Palm Family)			
Cocos nucifera L.	niu, coconut	Polynesian	
Phoenix roebellenii O'Brien	dwarf date palm	non-native	rare
Ptychosperma elegans (R.Br.) Blume	solitaire palm	non-native	rare
Veitchia merrillii (Becc.) H.E. Moore	Manila palm	non-native	uncommon
ASPARAGACEAE (Asparagus Family)			
Agave attenuata Salm-Dyck	swan's neck agave	non-native	rare
Asparagus densiflorus (Kunth) Jessop	asparagus fern	non-native	uncommon
Cordyline fruticosa (L.) A. Chev.	kī, ti	Polynesian	common
Dracaena reflexa Lamarck	song of India	non-native	rare
CYPERACEAE (Sedge Family)			
Cyperus involucratus Rottboll	umbrella sedge	non-native	rare
Cyperus rotundusL.	nut sedge	non-native	uncommon
POACEAE (Grass Family)			
Bothriochloa bladhii (Retz.) S.T. Blake	beardgrass	non-native	uncommon
Cenchrus ciliaris L.	buffelgrass	non-native	uncommon
Chloris barbata (L.) Sw.	swollen fingergrass	non-native	uncommon
Digitaria violascensLink	smooth crabgrass	non-native	rare
Eleusine indica (L.) Gaertn.	wiregrass	non-native	rare
Eragrostis amabilis (L.) Wight & Arnott	Japanese lovegrass	non-native	rare
Megathyrsus maximus (Jacq.) Simon & Jacobs	Guinea grass	non-native	rare
Sporobolus diander (Retz.) P. Beauv.	Indian dropseed	non-native	rare
Stenotaphrum secundatum (Walter) Kuntze	St. Augustine grass	non-native	common
ZINGIBERACEAE (Ginger Family)			
Alpinia zerumbet (Pers.) B.L. Burt & R.M. Smith	shell ginger	non-native	uncommon
DICOTS			
ACANTHACEAE (Acanthus Family)			
Pseuderantherum carruthersii (Seemann) Guillaumin	false eranthemum	non-native	common
AMARANTHACEAE (Amaranth Family)			
Alternanthera pungens Kunth	khaki weed	non-native	rare
Alternanthera tenella Colla	joyweed	non-native	rare
APOCYNACEAE (Dogbane Family)			
Asclepias curassavica L.	butterfly bush	non-native	rare

SCIENTIFIC NAME	COMMON NAME	CT A TIIC	ABUNDANCE
Calotropis gigantea (L.) Aiton	crown flower	non-native	
Catharanthus roseus (L.) G. Don	Madagascar periwinkle		
ASTERACEAE (Sunflower Family)	Madagascai periwilikie	non-nauve	Tage
Calyptocarpus vialis Less.	atracalor daigu	non notivo	uncommon
· · · · · · · ·	straggler daisy		
Conyza bonariensis (L.) Cronq.	hairy horseweed	non-native	
Cosmos sulphureus Cav.	orange cosmos	non-native	
Cyanthillium cinereum (L.) H. Rob.	little ironweed	non-native	
Emilia fosbergii Nicolson	red pualele	non-native	
Synedrella nodiflora (L.) Gaertn.	nodeweed	non-native	rare
BIGNONIACEAE (Bignonia Family)	A fui		
Spathodea campanulata P. Beauv.	African tulip tree	non-native	rare
BORAGINACEAE (Borage Family) Cordia sebestena L.	~~! tus s		
	geiger tree	non-native	
Cordia subcordata Lam.	kou	_	uncommon
Heliotropium curassavicum L.	kīpūkai	indigenous	rare
CONVOLVULACEAE (Morning Glory Family)	1 1	,•	
Ipomoea obscura (L.) Ker-Gawl.	obscure morning glory	non-native	rare
EUPHORBIACEAE (Spurge Family)	1 1 .	n 1 .	
Aleurites moluccana (L.) Willd.	kukui	Polynesian	
Codiaeum variegatum (L.) Blume	croton	non-native	
Euphorbia hirta L.	hairy spurge		uncommon
Euphorbia hypericifolia L.	graceful spurge	non-native	
Euphorbia prostrata Aiton	prostrate spurge	non-native	
Euphorbia pulcherrima Klotzsch	poinsettia	non-native	
Euphorbia thymifolia L.	thyme-leaved spurge	non-native	rare
FABACEAE (Pea Family)			
Alysicarpus vaginalis (L.) DC.	alyce clover	non-native	
Crotalaria pallida Aiton	smooth rattlepod	non-native	
Indigofera spicata Forssk.	creeping indigo		uncommon
Leucaena leucocephala (Lam.) de Wit	koa haole	non-native	uncommon
Macroptilium artropurpureum (DC.) Urb.	siratro	non-native	uncommon
Neonotonia wightii (Wight & Arnott) Lackey	glycine	non-native	rare
MALVACEAE (Mallow Family)			
Malvastrum coromandelianum (L.) Garcke	flase mallow	non-native	rare
Waltheria indica L.	'uhaloa	indigenous	rare
NYCTAGINACEAE (Four-o'clock Family)			
Boerhavia coccinea Mill.	scarlet spiderling	non-native	rare
PASSIFLORACEAE (Passion Flower Family)			
Turnera ulmifolia L.	yellow alder	non-native	rare
PHYLLANTHACEAE (Phyllanthus Family)			
Phyllanthus tenellus Roxb.	long-stalked phyllanthus	non-native	rare

SCIENTIFIC NAME

PORTULACACEAE (Purslane Family)

Portulaca oleracea L.

RUBIACEAE (Coffee Family)

Gardenia taitensis A. P. de Candolle

Spermacoce assurgens Ruiz & Pav.

THYMELAEACEAE ('Ākia Family)

COMMON NAME

STATUS ABUNDANCE

pigweed

non-native rare

non-native uncommon

non-native rare

Wikstroemia uva-ursi A. Gray 'ākia endemic rare

FAUNA SURVEY REPORT

SURVEY METHODS

A walk-through fauna survey method was conducted in conjunction with the botanical survey. All parts of the project area were covered. Field observations were made with the aid of binoculars and by listening to vocalizations. Notes were made on species, abundance, activities and location as well as observations of trails, tracks, scat and signs of feeding. In addition, an evening visit was made to the area to record crepuscular activities and vocalizations and to see if there was any evidence of occurrence of the Hawaiian hoary bat (*Lasiurus cinereus semotus*) in the area.

RESULTS

MAMMALS

Two non-native mammals were recorded during the survey during three site visits in the project area. Domestic cats (*Felis catus*) were seen during the evening and domestic dogs (*Canis familiaris*) during the day. Taxonomy and nomenclature follow Tomich (1986).

A special effort was made to look for the Hawaiian hoary bat by making an evening survey on the property. When present in an area these bats can be easily identified as they forage for insects, their distinctive flight patterns clearly visible in the glow of twilight. No bats were seen though visibility was excellent. In addition, a bat detection device (Batbox IIID) was employed, set to the frequency of 27,000 Hertz which these bats are known to use in echolocation. No bats were detected using this device either.

Other non-native mammals that could be expected to occur in this habitat include the mongoose (*Herpestes auropunctatus*), rats (*Rattus* spp.) and mice (*Mus domesticus*).

BIRDS

Birdlife was sparse in species represented with just six non-native species being recorded. Taxonomy and nomenclature follow American Ornithologists' Union (2017). Five species were of common occurrence: zebra dove (*Geopelia striata*), common myna (*Acridotheres tristis*), house sparrow (*Passer domesticus*), house finch (*Carpodacus mexicanus*) and common chicken (*Gallus gallus*). The nutmeg mannikin (*Lonchura punctulata*) was uncommon. A few other non-native species could be expected to occur in the project area but this urban habitat is unsuitable for Hawaii's native forest birds and water birds.

INSECTS

Insect life was sparse in numbers with just eight non-native species represented. Taxonomy and nomenclature follow Nishida et al (1992). Two species were common: the long-tailed blue butterfly (*Lampides boeticus*) and the dung fly (*Musca sorbens*). No native insects were observed and no important host plants for native insects were found.

AMPHIBIANS

Just one non-native amphibian, the cane toad (Rhinella marina), was recorded.

DISCUSSION AND RECOMMENDATIONS

During the course of the fauna survey, which included one evening visit to the project area, two mammals, six birds, one amphibian and eight insects were recorded. All of these animal species are non-native in Hawaii and are of no special conservation interest or concern.

No Endangered ōpe'ape'a or Hawaiian bats were detected on or around the project area. No other animal species here are Endangered or Threatened and none are candidates for such status.

Populations of two native seabirds, the Endangered 'ua'u or Hawaiian petrel (*Pterodroma sandwichensis*) and the Threatened a'o or Newell's shearwater (*Puffinus newelli*) are known to nest during the summer and fall months on wet summit ridges like those to the north of this project. These birds fly over the lowlands during the late evening hours to reach their burrows and fly back to the ocean in the early dawn hours. These birds can be confused by bright lights and crash into poles, wires and other structures and be injured or killed by the strike or by vehicles or animals. Young inexperienced birds, taking their inaugural fledgling flights in the late fall are particularly vulnerable. It is recommended that any significant outdoor flood lights or pole lights be hooded to direct the light downward to minimize the distractions and dangers to these birds.

Except for the above concern regarding seabirds, the further development of the project area is not expected to result in negative impacts on the fauna resources on Moloka'i.

ANIMAL SPECIES LIST

Following is a checklist of the animal species inventoried during the field work. Animal species are arranged in descending abundance within four groups: Mammals, Birds, Amphibians and Insects. For each species the following information is provided:

- 1. Common name
- 2. Scientific name
- 3. Bio-geographical status. The following symbols are used:

```
endemic = native only to Hawaii; not naturally occurring anywhere else in the world.
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indigenous = native to the Hawaiian Islands and also to one or more other geographic area(s).

non-native = all those animals brought to Hawaii intentionally or accidentally after western contact.

migratory = spending a portion of the year in Hawaii and a portion elsewhere. In Hawaii the migratory birds are usually in the overwintering/non-breeding phase of their life cycle.

4. Abundance of each species within the project area:

abundant = many flocks or individuals seen throughout the area at all times of day.

common = a few flocks or well scattered individuals throughout the area.

uncommon = only one flock or several individuals seen within the project area.

rare = only one or two seen within the project area.

SCIENTIFIC NAME	COMMON NAME	STATUS	ABUNDANCE
MAMMALS			
FELIDAE (Cat Family)			
Felis catus L.	domestic cat	non-native	uncommon
CANIDAE (Dog Family)			
Canis familiaris L.	domestic dog	non-native	rare
BIRDS			
COLUMBIDAE (Dove Family)			
Geopelia striata L.	zebra dove	non-native	common
STURNIDAE (Starling Family)			
Acridotheres tristis L.	common myna	non-native	common
PASSERIDAE (Sparrow Family)			
Passer domesticus L.	house sparrow	non-native	common
FRINGILLIDAE (Cardueline Finch Family)			
Carpodacus mexicanus Muller	house finch	non-native	common
PHASIANIDAE (Pheasant Family)			
Gallus gallus L.	common chicken	non-native	common
ESTRILDIDAE (Estrildid Finch Family)			
Lonchurus punctulata L.	nutmeg mannikin	non-native	uncommon

SCIENTIFIC NAME INSECTS	COMMON NAME	STATUS	ABUNDANCE
Order DIPTERA - flies			
CULICIDAE (Mosquito Family) Culex quinquefasciatus Say	Southern house mosquito	non-native	uncommon
MUSCIDAE (Housefly Family)	Southern house mosquito	non-nauve	uncommon
Musca sorbens Wiedemann	dung fly	non-native	common
SYRPHIDAE (Hoverfly Family) Eristalis tenax L.	drone fly	non-native	rare
Eristatis tenax L.	drone my	non-nauve	Tale
Order HYMENOPTERA - bees, wasps, ants			
APIDAE (Honey Bee Family)	hanay haa	non-native	11000000000
Apis mellifera L. FORMICIDAE (Ant Family)	honey bee	non-nauve	uncommon
Paratrechina longicornis Latreille	crazy ant	non-native	uncommon
Order LEPIDOPTERA - butterflies, moths			
LYCAENIDAE (Gossamer-winged Butterfly Family)			
Brephidium exilis Boisduval Lampides boeticus L.	Western pygmy blue long-tailed blue	non-native	rare common
Lampides voeticus L.	long-tailed orde	Holl-Hative	Common
Order ORTHOPTERA - grasshoppers, crickets			
ACRIDIDAE (Grasshopper Family) Schistocerca nitens Thunberg	graybird grasshopper	non-native	rare
Schistocerca miens Thunberg	grayourd grassnopper	Holl-Hative	raic
AMPHIBIANS			
BUFONIDAE (Toad Family) Rhinella marina L.	cane toad	non-native	rara
Kriinetta martria L.	cane toad	non-nauve	rare

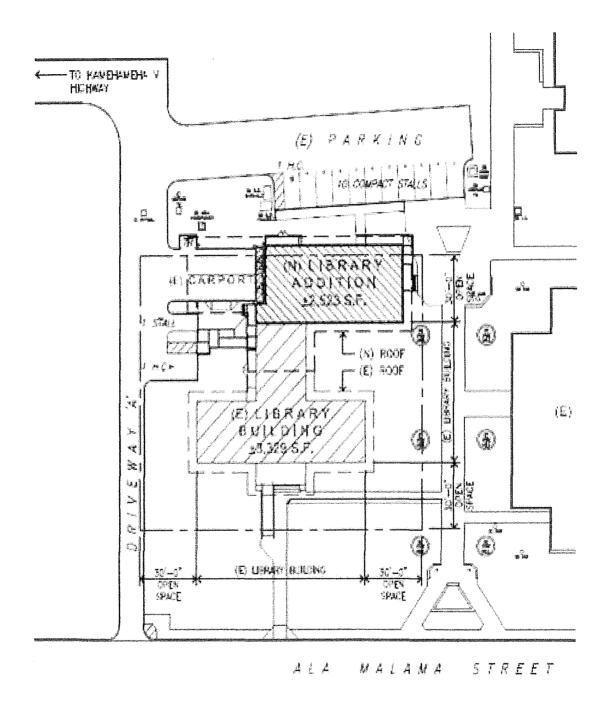


Figure 1. Project Map

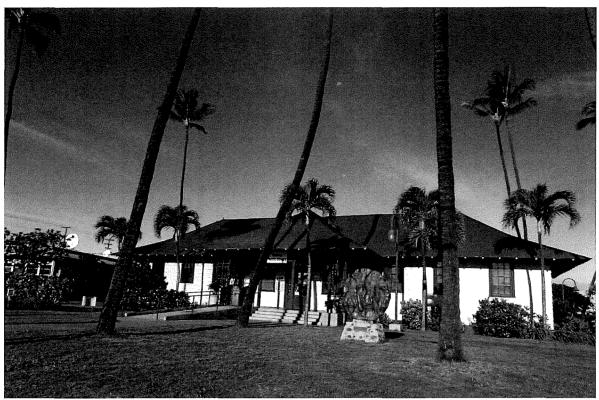


Figure 2. Front of library from Ala Malama Street.

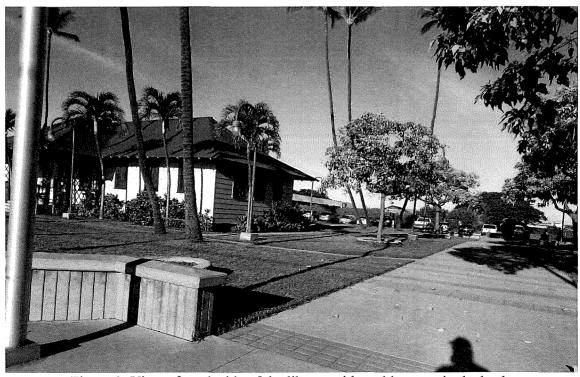


Figure 3. View of north side of the library with parking area in the back.

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LETTER OF PROJECT REVIEW REQUEST TO SHPD

APPENDIX



DAVID Y. IGE GOVERNOR



RODERICK K. BECKER Comptroller

> AUDREY HIDANO Deputy Comptroller

STATE OF HAWAII DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES

P.O. BOX 119, HONOLULU, HAWAII 96810-0119

JAN 3 1 2018

PM-3008.8

Dr. Alan Downer
Administrator
State Historic Preservation Division
Department of Land and Natural Resources
601 Kamokila Boulevard, #555
Kapolei, Hawaii 96707

Dear Dr. Downer:

SUBJECT: Hawaii Revised Statutes, Chapter 6E-8, Review of Proposed Projects

Molokai Public Library, Meeting Room Addition Agency Job Number: D.A.G.S. 15-36-6577

TMK: (2) 5-3-005: 012

Kaunakakai Ahupuaa, Kona Moku

Kaunakakai, Molokai

The Department of Accounting and General Services (DAGS) and Fung Associates, Inc. are submitting the Molokai Library Expansion for your review. DAGS has delegated architectural consultation authority to Ms. Tonia Moy of Fung Associates, Inc. and archaeological consultation authority to Ms. Tanya Lee-Greig of Cultural Surveys Hawaii, Inc. (please see attached letter). We request your department's concurrence with our proposed determination of "no historic properties effected."

I. GENERAL INFORMATION

A. Organization &

Project Contact: Daniel Jandoc, Project Manager

State of Hawaii, DAGS

1151 Punchbowl Street, Honolulu, HI 96813

(t): (808) 586-0469

(e): daniel.jandoc@hawaii.gov

B. Historic Contact: Tonia Moy

Fung Associates, Inc.

1833 Kalakaua Avenue, Suite #1008, Honolulu, HI 96815

(t): (808) 941-3000

(e): tonia@funghawaii.com

Dr. Alan Downer Letter No. PM-3008.8 Page 2

C. Project Name: Molokai Public Library, Meeting Room Addition

D. Project Street Address: 15 Ala Malama Avenue, Kaunakakai, HI 96748

E. Project Area: The project boundary is limited to an area less than 1 acre that includes the Molokai Public Library and the area immediately west of the building (see attached map).

- F. Project Description: This project involves demolition of an existing carport, relocation of one plumeria tree, and the removal of four palm trees in preparation for a proposed meeting room addition at the rear (west) side of the existing library. Footings will extend 20 inches below grade, and a new sewer line will be connected to the existing. The proposed addition meets the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties in the following ways:
 - 1. The existing historic library will be left entirely intact.
 - 2. The 1990s carport will be demolished in order to constrict the new extension's footprint to that of the existing library.
 - 3. The addition will be connected by a breezeway through the rear of the building. That portion of the building was a 1992 enclosure of the once open lanai. Therefore, no historic materials shall be destroyed.
 - 4. The new work shall be differentiated from the old through materials. Powder-coated aluminum windows will be used in a similar configuration to existing, with large openings of sliding doors, the foundation will be concrete piers with lattice, and a wood interior will complement the original library's redwood tongue and groove interior walls.
 - 5. The proposed addition will have a double pitched roof with the same pitch as the original library building. However, the addition will be a simple double-pitched roof while the historic building has a curve to its double-pitch. The roof height will be no higher than existing.
 - 6. The addition will only be connected at the 1992 enclosure; should it be removed in the future, the essential form and integrity of the historic property and its current environment would be easily restored.
- G. Consulting Parties: Maui Cultural Resources Commission

II. IDENTIFICATION OF HISTORIC PLACES & EVALUATION OF SIGNIFICANCE

- A. Summary of Previous Archaeological Studies within a One-Mile Radius of the Current Project Area
 - 1. A search of archaeological investigations within a one-mile radius of the current project area shows the completion of roughly 30 studies (Table 1 and Figure 1).

- 2. Historic properties reflective of pre-contact dry-land agriculture with associated short-term and recurrent habitation, ceremonial features, petroglyph panels, lithic procurement, and possible burial features were identified on the surface of undeveloped lands mauka of the current project area and within undeveloped lands of adjacent ahupua'a. Subsurface deposits reflective of pre-contact to historic occupation and use of the coastline were also identified makai of the current project area, and centered on the area immediately adjacent to Kaunakakai Wharf and Harbor (Table 2 and Figure 2).
- 3. Historic properties reflective of historic era ranch activities and the early development of Kaunakakai Town (i.e. early flood control efforts and Kaunakakai Harbor improvements) were identified in the elevations above Kaunakakai Town, adjacent to Kaunakakai Gulch, and at Kaunakakai Wharf and Harbor (Table 2 and Figure 2).
- B. Significant Historic Properties within the Project Parcel and Results of Archaeological Studies Specific to the Project Parcel
 - The Molokai Public Library is listed in the Hawaii Register of Historic Places under criteria A and C as Molokai's only public library and as an intact example of early 20th century architecture in Hawaii; it is not listed in the National Register of Historic Places.
 - 2. The Former Judiciary Building, originally constructed on piers, was once located within proposed expansion area. This structure is no longer on site and has been relocated to an area near Kaunakakai Harbor.
 - 3. Archaeological monitoring was conducted during the installation of subsurface telecommunication ducts for a new radio facility within the State of Hawaii, DAGS Molokai Baseyard facility. Excavation to a depth of 1.68 m (5.5 ft.) was required to accommodate concrete vaults for the telecommunication line. Archaeological observation and documentation of the exposed sediments showed that the subsurface conditions of the monitored area consisted of modern and historic fill deposits over sterile alluvium (Sprouse et al. 2013). While isolated historic era artifacts were encountered within the fill, no intact cultural deposits or buried structures were identified during the DAGS telecommunications project (Sprouse et al. 2013:26-44).

III. EFFECT ASSESSMENT

Due to the nature of this project, we believe that the Department of Land and Natural Resources, State Historic Preservation Division (SHPD) will be able to determine "no historic properties affected" for this rehabilitation project and we request your concurrence.

Dr. Alan Downer Letter No. PM-3008.8 Page 4

Thank you very much for your consideration. Please feel free to call Ms. Tonia Moy at (808) 941-3000 should you or your staff have any questions. We look forward to working with SHPD on this project.

Very truly yours,

KEITH S. KOGACHI

Acting Public Works Administrator

DJ:csc

Attachments:
Submittal Maps and Photographs
Previous Archaeology Summary
Historic Properties Summary
Meeting Minutes
SHPD Consulting Delegation



FUNG ASSOCIATES INC.

architecture

preservation =

planning

interiors

MEETING MINUTES FINAL

By: Alison Chiu Date: 11/20/2017

Project: Molokai Public Library, Meeting Room Addition

DAGS Job No. 15-36-6577

Meeting Date: November 17, 2017

Time: 9:00 AM

Location: Maui Research and Technology Center at 590 Lipoa Parkway, Suite #110 (Kihei)

Fung Associates, Inc. at 1833 Kalakaua Avenue, Suite #1008 (Honolulu)

Attendees: See attached sign-in sheet

The following items were discussed and confirmed at the meeting.

I. Project Status & Design Comments

- a. Molokai Public Library is listed on the Hawaii Register; it is not listed on the Federal Register
- b. Project intends to meet SOI Standards for Rehabilitation while meeting the following:
 - i. ADA access
 - ii. Fire rating codes
 - iii. Library/community user needs
- c. Schematic elevations and plans were shown to SHPD for preliminary comments
 - i. Massing of new portion will be designed to be similar to and compatible with existing historic fabric, but will be differentiated with materials and methods of construction; for example, the new roof will be double pitched, vs. the historic curved roof; use of wood vs. aluminum (historic) detail components.
- d. Footings will extend 20" below existing grade; Archaeology acknowledged this and noted they will likely request monitoring during grading
- e. Architecture branch to lead consultation
- f. Mechanical work is in progress; currently, the plan is provide partial at both exterior & attic
- II. Consultation Milestones / Project Submittals to SHPD
 - a. SHPD requests copies/records of nomination to be provided with submittal, which should clearly outline identification of the resource, assessment of project impact, and proposed determination for SHPD to concur/not concur.
 - b. FAI to see what comments Maui CRC may have to project. UPDATE: December Maui CRC meeting is full. Project will be on January meeting agenda. Team can submit to SHPD at this point.

The meeting concluded at approximately 10:00 AM.



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architecture - preservation - planning interiors

SIGN IN SHEET

Project:

Molokai Public Library, Meeting Room Addition DAGS Job No. 15-36-6577

Meeting Date:

November 17, 2017

Time:

9:00 AM

Location:

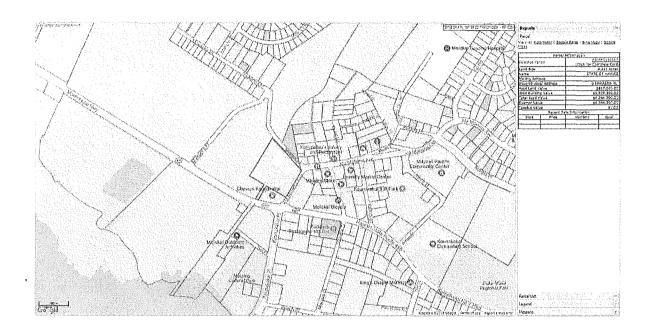
Maui Research and Technology Center at 590 Lipoa Parkway, Suite #110 (Kihei) Fung Associates, Inc. at 1833 Kalakaua Avenue, Suite #1008 (Honolulu)

ATTENDEES: Please review contact information and initial by your name

NAME	TITLE	COMPANY	EMAIL
Dr. Susan Lebo	Archaeology Branch Chief	SHPD Archaeology	Susan,A.Lebo@hawaii.gov
Dr. Matthew B. Fariss VIA PMINE	Maui Lead Archaeologist	SHPD Archaeology	Matthew.B.Fariss@Hawaii.gov
Jenny Pickett	Maui Island Archaeologist	SHPD Archaeology	Jenny.L.Pickett@hawaii.gov
Kaiwi Yoon	Architecture Branch Chief	SHPD Architecture	kaiwi.n.yoon@hawaii.gov
Tanya Gumapac- McGuire - Symm	Architectural Historian	SHPD Architecture	Tanya.Gumapac- McGuire@hawaii.gov
Daniel Jandoc	DAGS Project Manager	DAGS	daniel.jandoc@hawaii.gov
Tanya Lee-Greig	Project Manager, Cultural Lead	Aina	Tanya@ainaarch.com
Tonia Moy Waz	Project Manager, Historic Lead	FAI	tonia@funghawaii.com
Vanessa Ko	Project Manager	FAI	vanessa@funghawaii,com
Alison Chiu Alison	Architectural Historian	FAI	alison@funghawaii.com
			Turura.

TMK Map:

Maui County Real Property Tax (January 4, 2018)



Molokai Public Library Meeting Room Addition Page 4

General Project Location Map: Google Maps (October 9, 2013)



Project Location

Map of Project Area:

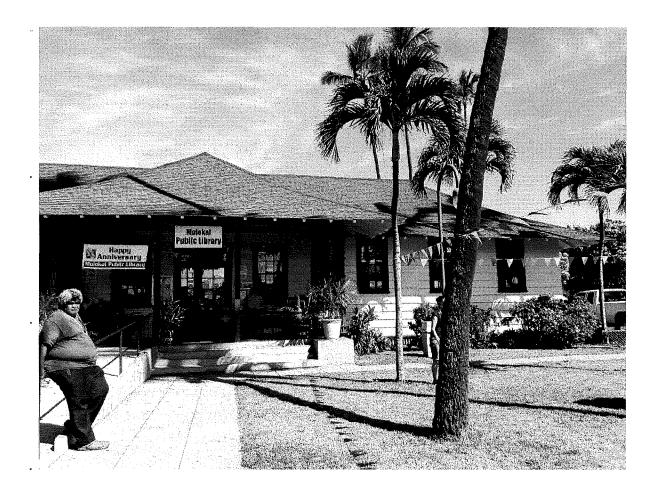
Google Maps (October 9, 2013)



Area of Potential Effect (APE)

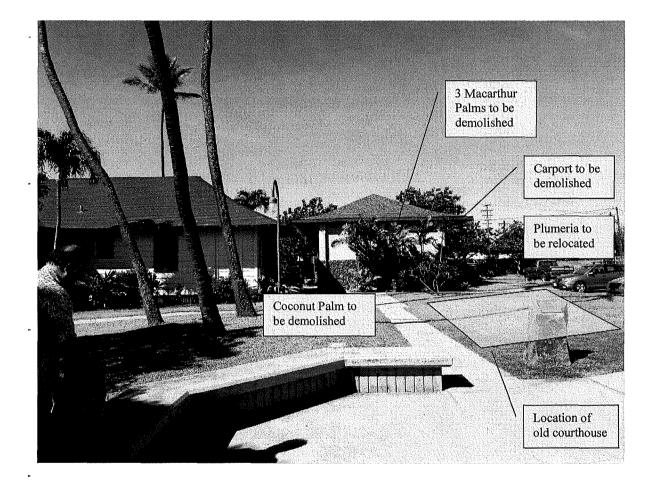
Photographs:

Molokai Public Library (Front/East Facing)

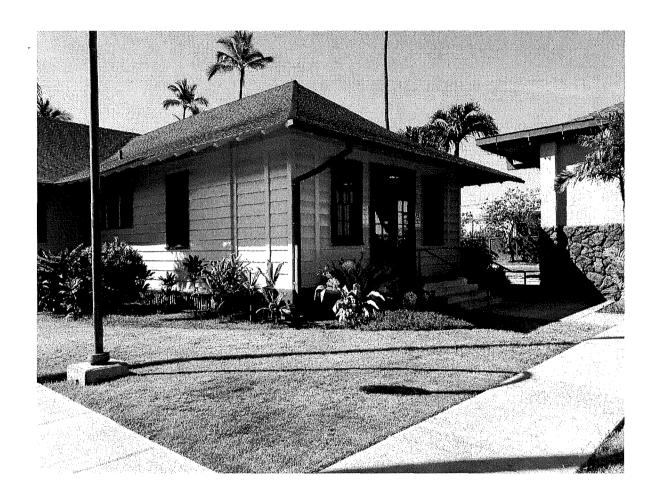


Photographs:

Library (north facade) and carport



Photographs:
Rear Library Entrance (west facade)



Photographs:

Carport (to be demolished)

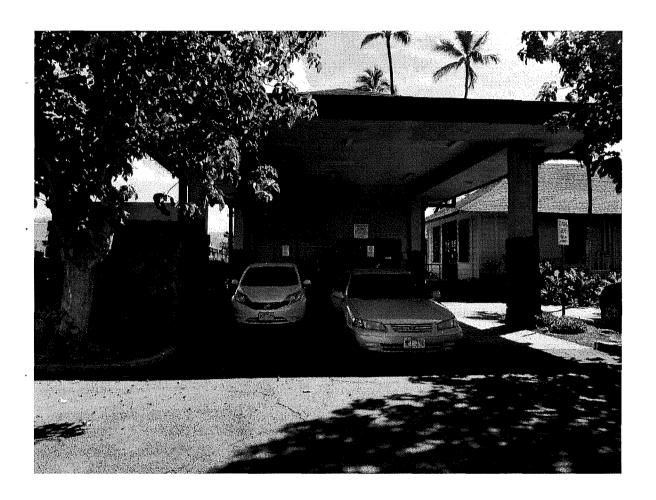


Table 1. Previous Archaeological Studies within a One-Mile Radius of the Current Project Area

Author	Ahupua'a	Type of Study
McElroy and Eminger 2015	Kaunakakai	Archaeological Monitoring: Soil borings were completed in anticipation of potential modifications to the Kaunakakai leves system. A total of 18 borings were archaeologically monitored No historically significant sites or deposits were were encountered.
Heidel et al. 1998	Kaunakakai	Archaeological Data Recovery: Data recovery at SIHP 50-60-03-00895 and -00896. Twelve units were excavated, Trenches 1 and 2 at State site 50-60-03-896 and Trenches 3-12 at Archaeological efforts concluded that both historic properties were constructed and used historically with subsequent modern impact through trash deposits. The structures associated with SIHP -00895 were interpreted as historic erawork areas and a storage shed, while charcoal from an earlies subsurface burn layer that identified between 40-60 cmbs returned radiocarbon dates of 1480-1690 and 1400-1660 ca A.D. This layer was interpreted as being related to pre-contact agricultural activities that predated the construction of the architectural features. SIHP -00896 was a cattle wall associated with historic ranching and delineating property boundaries.
McGerty and Carson 1999	Kaunakakai	Archaeological Inventory Survey: Identified three additiona surface features associated with SIHP 50-60-03-00895 which included a paved terrace (Feature D), an alignment (Feature E) and two adjoined, small terraces (Feature F).
Borthwick and Hammatt 1994	Kaunakakai	Archaeological Inventory Survey: Noted that though much of the project area had been modified, two historic properties (50-60-06-00895 and -00896) were identified and described was SIHP -00896 is a stacked boulder wall. SIHP -00895 consisted of an enclosure (Feature A) with surface pavements (Feature B), and possible planting areas (Feature C).
Stine et al. 2014	Kaunakakai	Archaeological Monitoring: Monitoring of five soil augers for the Kaunakakai Harbor Ferry System Improvements. Identified one historic property (SIHP 50-60-03-02525) consisting of boulder fill associated with the railroad bed constructed in 1898 for the American Sugar Co. railroad.
Muise and Rechtman 2008	Makakupaia, Kamiloloa, Kaunakakai, Kalama'ula	Archaeological Monitoring: Monitoring of roughly two miles of state, county, and DHHL public right-of ways on the island of Moloka'i, alongside existing roadways extending roughly from Kalama'ula to Ali'i Fish Pond as well as a marine landing site at Ali'i Fish Pond. No archaeological resources encountered during the course of monitoring.

Author	Ahupua'a	Type of Study
McGuire and Hammatt 2000	Kaunakakai	Archaeological Monitoring: Monitoring of the clearing an grubbing phase of the Kaunakakai Drainage System "A Improvements. No historically significant finds, burial cultural deposits, cultural materials or artifacts were observed
Titchenal 1998	Kaunakakai	Archaeological Monitoring: Monitoring during construction a Malama Cultural Park. Five cultural features were recorde during the monitoring process. These included a structural cobble pavement, floor with associated historical artifacts an traditional midden components (Feature 4); three primar deposits of historic trash (Features 1, 3, and 5); and a perfeature of undetermined function with associated midden material (Feature 2)
Estioko-Griffin 1988	Kalama'ula Kamiloloa Makakupaia	Archaeological Field Inspection: Field inspection of three project areas in the lower end of Kamiloloa, the lower end of Makakupaia and the Kalama'ula subdivision. Relative to the current project area is the findings within Kalama'ula which included rock mounds, walls, L-Shapes, C-Shapes, a platform and enclosures. Inferred probable function based on the location, construction and comparable sites from other part of the island include temporary shelter for the L-Shapes and C Shapes, military use for the C-Shapes, dryland agriculture for the rock mounds and the complexes, and burial for a platform Several sites/features were of undetermined function.
Dye 1977	Kaunakakai	Archaeological Reconnaissance: Identified seven major structural features that make up SIHP 50-60-03-1600 which a Pre-Contact to Historic Era Habitation and Burial Complex.
Davis 1977	Kaunakakai	Archaeological Reconnaissance: Identified a site complete possibly representing two different periods of occupation, the earlier of which is thought to be pre-contact. The site is located on a hillside immediately above the flood plain on a intermittent stream. No historically significant cultural materials were found on the flood plain proper. It is suggested that the identified features are associated with dry-land cultivation carried out on the flood plain.
Kennedy 1988	Kaunakakai	Archaeological Inventory Survey: Noted that grading hat taken place within the project area and that the entire lot hat been disturbed, both above and below the surface. No historically significant cultural materials were identified.

Author	Ahupua'a	Type of Study
Keala and Elison 2014	Kaunakakai	Archaeological Monitoring: Two archaeological sites were encountered. SIHP 50-60-03-2514 is a historic wall or Kaunakakai Place which associated with the American Sugar Co. and SIHP 50-60-03-2523 is a historic support beam below the Kaunakakai Wharf. Aside from the two historic structures no cultural material or deposits were encountered during monitoring.
Dye and Murakami 1998	Kaunakakai	Archaeological Inventory Survey: Two historic properties were identified. SIHP 50-60-06-1660 is a petroglyph gallery and limestone quarry with an associated cultural deposit and 50-60-06-1661 is the old Kaunakakai School grounds.
Athens and Silva 1983	Kaunakakai	Archaeological and Historical Investigations: Excavation of four test pits and 26 backhoe trenches resulted in the identification of historic era deposits (SIHP 50-60-03-00630) that were noted as highly disturbed from previous grading, bulldozing, and land filling activities, and structural remains could not be positively identified. Pre-contact deposits were also documented in the underlying calcareous sand, consisting of shell midden remains, however, were limited to only a few areas, being densest in the southwestern quadrant of the property. One of two radiocarbon dates from hearth features indicates an occupation beginning about A.D. 1200-1300, which is now the earliest known for the south coast of Moloka
Dye and Jourdane 2006	Kaunakakai	Archaeological Assessment: The project area was previously under commercial pineapple cultivation for many years. No historic properties were documented during the construction of the Moloka'i Education Center Building.
Sprouse et al. 2013	Kaunakakai within the proposed project parcel	Archaeological Monitoring: Monitoring of the installation of new underground telecommunication ducts within the Kaunakakai Civic Center. Excavations across the project area revealed modern/historic fill deposits over sterile alluvium. No intact cultural deposits or features were encountered during the monitoring operations.
Shun 1982	Kaunakakai	Archaeological Reconnaissance and Testing: Parallel mounds of indeterminate function and a buried cultural layer (SIHP 50-60-03-00631) with a carbon dated age range between 1769 and 1869.

Author	Ahupua'a	Type of Study
McElroy et al. 2013	Kaunakakai	Archaeological Assessment: Pedestrian survey and excavation of nine trenches throughout the park to determine the nature of stratigraphy on the parcel and to identify any cultural material or deposits that might occur there. No historically significant sites or cultural materials identified.
McElroy and Eminger 2015	Kaunakakai	Archaeological Monitoring: Monitoring of soil borings performed in anticipation of potential modifications to the Kaunakakai levee system. A total of 18 borings were monitored and no archaeological deposits or materials were encountered.
Madeus and Hammatt 2010	Kaunakakai	Archaeological Monitoring: Monitoring of ground altering activities associated with improvements to the existing wastewater system at Kaunakakai High and Elementary School. No archaeological deposits or other historically significant materials were encountered.
Folio and Hammatt 2016	Kaunakakai	Archaeological Inventory Survey: Inventory survey of approximately 1.62 consisting of pedestrian survey and subsurface testing resulted in the identification of a historic era cultural deposit (SIHP 50-60-03-2573) interpreted as a possible buried refuse area.
McGerty and Spear 2006	Kaunakakai	Archaeological Assessment: Limited to a pedestrian survey of approximately 5-acres. Noted previous ground disturbance within the parcel, no historically significant sites or other cultural materials identified on the surface.
Tomonari-Tuggle 1990	Kalama'ula	Archaeological Inventory Survey: Pedestrian survey resulting in the identification and documentation of 54 previously unidentified historic properties (SIHP 50-60-03-1700 through - 1753) and two previously identified historic properties (SIHP - 800 and -802) with subsurface testing of selected sites. Documented historic properties were reflective of low intensity traditional Hawaiian agriculture, short-term and low-intensity habitation areas related to either agricultural field tending or warfare encampments with some evidence of extended occupation at SIHP 50-60-03-1716.

Author	Ahupua'a	Type of Study
Komori 1983	Kaunakakai	Archaeological Reconnaissance: Pedestrian survey and exploratory augering across approximately 78,996 sq. ft. While no historic properties were identified on the surface, augering encountered a subsurface cultural deposit (SIHP 50-60-03-00630) extending over a 700 sq. ft. area, the content for which consisted of midden remains reflective of a traditional Hawaiian diet, indigenous artifacts (n=2, coral abrader and basalt whetstone) and one pearl shell button.
Medrano and Dega 2016	Kaunakakai	Archaeological Monitoring: Monitoring of ground disturbing activities associated with the improvements completed at Duke Maliu Regional Park. Monitoring resulted in the documentation of intact alluvium characterized by sediment with high clay content. No historically significant sites or other cultural materials identified during monitoring.
Cordy 2011	Kaunakakai	Archaeological Survey/Training Project: Identification and documentation of two previously identified historic properties (SIHP 50-60-03-00996 [heiau] and -00998 [gardening enclosure]) and 10 newly identified historic properties (SIHP 50-60-03-02445 through 02454) mauka of Kaunakakai Town. These historic properties are reflective of short-term habitation, ceremonial spaces, dryland agriculture, and one possible long-term residential area.
Hommon and Ahlo 1983	Kalama'ula, Kapa'akea, Kamiloloa	Archeological Inventory Survey: Identification of 71 historic properties (SIHP -00901, -00902, -00904 through -00908, -00910 through -00971, and -00975 through -00977) comprised of 212 component features in the mid to upper elevations of Kalama'ula, Kapa'akea and Kamiloloa Ahupua'a. The majority of the features were interpreted as pre-contact agricultural features with associated habitation areas, storage sites, quarry locations, a water catchment and possible animal pen. Ceremonial features and possible burial sites were also identified. Along with sites of probable pre-contact origin, five features associated with historic ranching and military activities were also identified.
Landrum 1984	Kaunakakai	Archaeological Reconnaissance: Identified a buried cultural deposit (SIHP 50-60-03-00632) reflective of pre-contact use of the area; as well as, a historic foundation, which was not given a state site number.

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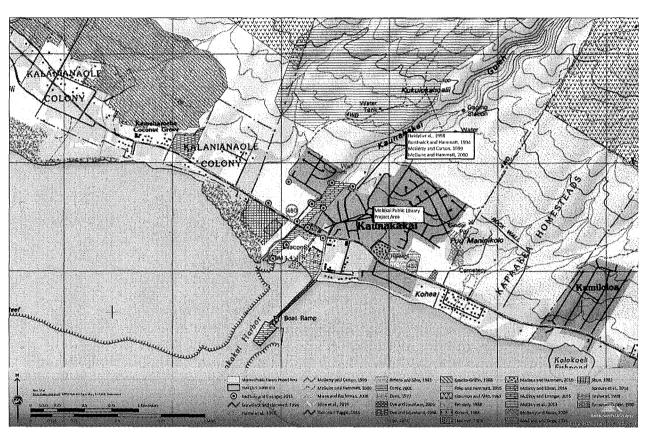


Figure 1.. A Portion of the Kaunakokai 7.5' Topographic Quadrangle (1993) showing Previous Archaeological Studies within a One-Mile Radius of the Current Project Area

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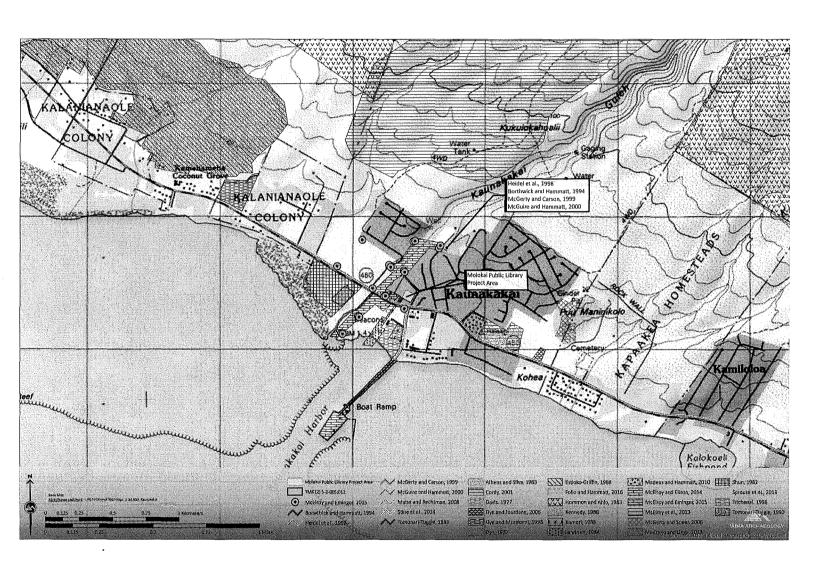


Table 1. Historic Properties Identified within a One-Mile Radius of the Current Project Area

SIHP 50-60-03-	Formal Type	Function	Probable Age
00630	Cultural Deposit	Habitation	Historic
00631	Cultural Deposit	Possible Habitation	Late Pre-Contact
00632	Cultural Deposit	Habitation	Pre-Contact
00886	Complex	Agriculture	Pre-Contact
00887	Complex	Agriculture	Pre-Contact
00888	Complex	Agriculture	Pre-Contact
00890	Alignment	Pier	Historic
00895	Complex	Habitation	Historic
00896	Wall	Anitmal Husbandry	Historic
00996	Notched Enclosure	Ceremonial	Pre-Contact
00998	Complex	Agriculture/Habitation/Ceremonial	Pre-Contact
01030	Platform	Habitation	Early Historic
01600	Complex	Habitation/Burial	Pre-Contact to Historic
01660	Complex	Habitation/Quarry	Pre-Contact
01661	Complex	Education	Historic
01741	Complex	Shelters	Pre-Contact
01742	Complex	Ceremonial	Pre-Contact
01743	Modified Outcrop	Agriculture	Pre-Contact
D1744	Mound	Agriculture	Pre-contact
01747	Complex	Agriculture/Habitation	Pre-Contact
01748	Enclosure	Habitation	Pre-Contact
02447	Petroglyphs	Ceremonial	Pre-Contact
02448	Complex	Field Shelter	Pre-Contact to Early
	•		Historic
02449	Enclosure	Field Shelter	Pre-Contact to Early
			Historic
02453	Complex	Permanent Habitation	Pre-Contact to Early
00454	F	r: II Chalba	Historic
02454	Enclosure	Field Shelter	Pre-Contact to Early Historic
02514	Wall	Commerce	Historic
02523	Wall	Wharf	Historic
02525	Railroad Bed	Transportation	Historic
02563	Walls	Levee	Historic
02503 02573	Cultural Deposit	Refuse Disposal	Historic
Mounds	Linear Mounds	Indeterminate	Historic

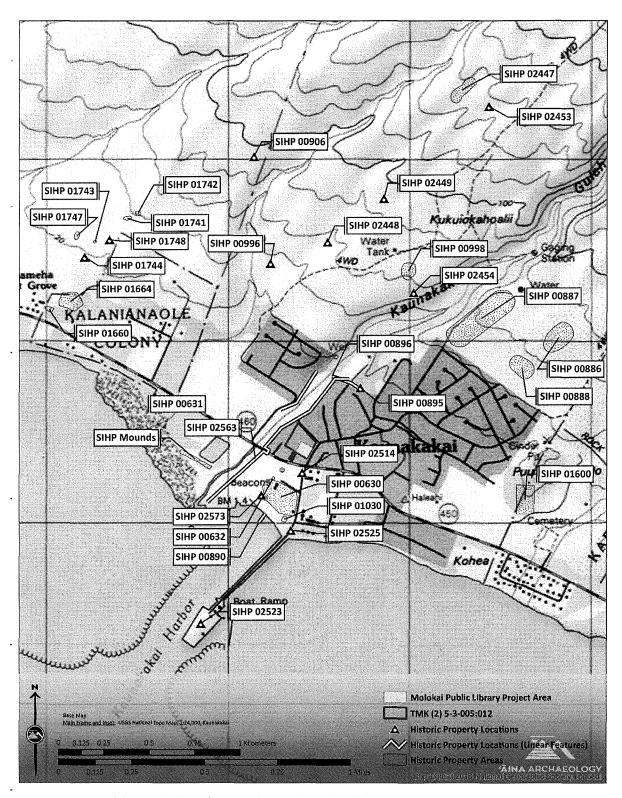
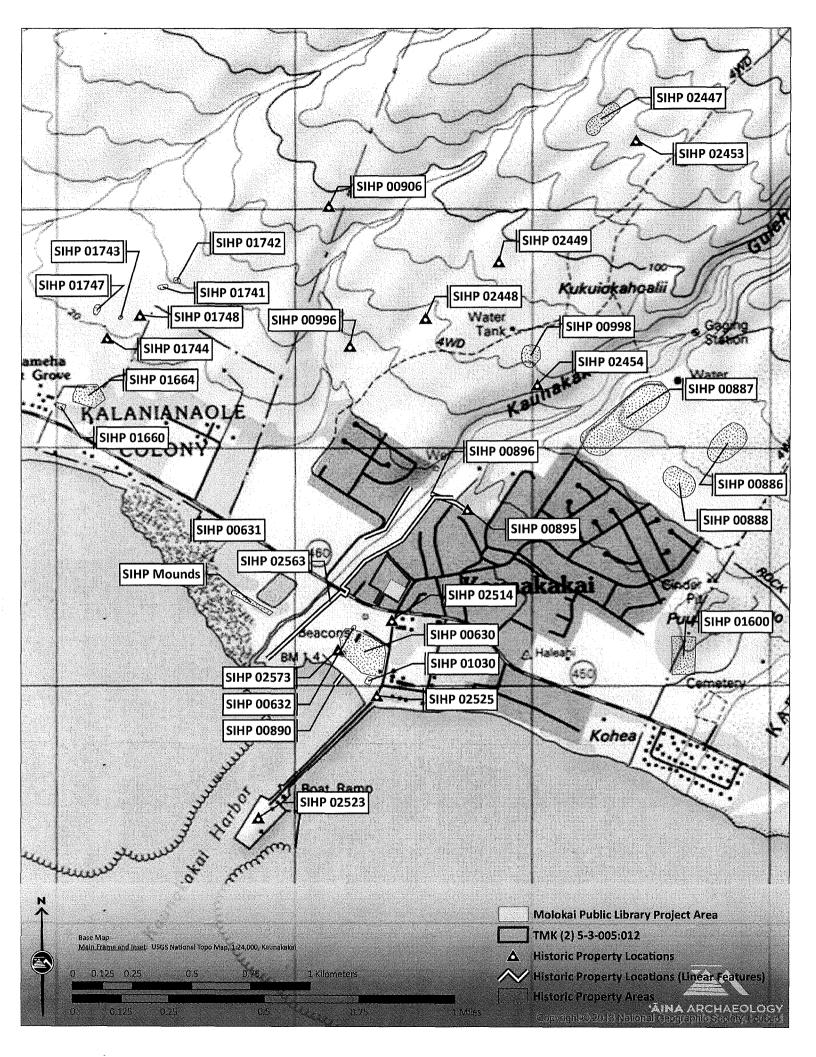


Figure 1. A Portion of the Kaunakakai 7.5' Topographic Quadrangle (1993) showing Historic Property Locations within a One-Mile Radius of the Current Project Area



ARCHAEOLOGICAL MONITORING PLAN

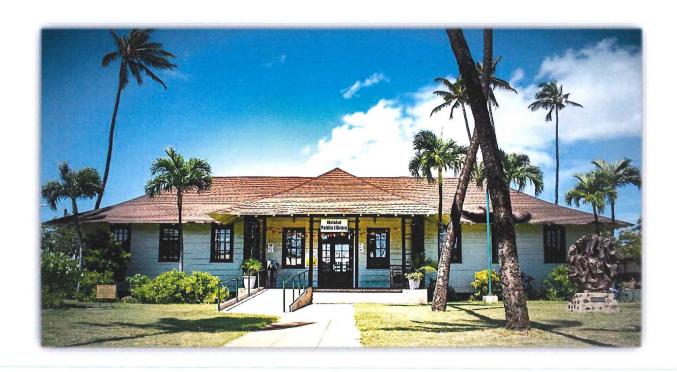
APPENDIX

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DRAFT

ARCHAEOLOGICAL MONITORING PLAN FOR THE PROPOSED MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION

Kaunakakai Ahupua'a, Kona Moku (Moloka'i Tax District), Moloka'i Island TMK: [2] 5-3-005:012 por.





Oʻahu: 725 Kapiolani Blvd, C400 Honolulu, HI 96813

Maui: P.O. Box 1063 Pu'unene, HI96784

DRAFT

ARCHAEOLOGICAL MONITORING PLAN FOR THE PROPOSED MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION

Kaunakakai Ahupua'a, Kona Moku (Moloka'i Tax District), Moloka'i Island TMK: [2] 5-3-005:012 por.

2/7/2018

State Agency:

Department of Accounting and General Services (DAGS)

1151 Punchbowl Street

Honolulu, HI 96813

Prepared For:

Fung Associates, Inc. 1833 Kalakaua Ave., Suite 1008 Honolulu, HI 96815

Prepared By:

Tanya Lee-Greig, M.A.



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1.0 Introduction

The State of Hawai'i Department of Accounting and General Services (DAGS), along with the Hawai'i State Public Library System, is seeking to expand the capacity of the historic Molokai Public Library which is located on a portion of TMK (2) 5-3-005:012 within Kaunakakai Ahupua'a, Kona Moku (Moloka'i Tax District), Moloka'i Island (Figure 1-1 and Figure 1-2). The overall footprint of the project area is limited to less than one-acre and includes the Molokai Public Library and area immediately west of the building.

1.1 PROJECT DESCRIPTION

Molokai Public Library is listed on the Hawaii Register of Historic Places significant as the only public library on Molokai and as a great example of rural architecture done by Harry K. Stewart, a prominent architect of the 1920s and 1930s whose style reflects a Hawaiian Regionalism that was gaining prominence at the time. As the only library in all of Molokai, the library is the center of numerous community activities. Unlike most libraries in the State, Molokai Public Library has no meeting room and currently has no extra space for any kind of growth of collections. This project is to provide an extension to the library to house staff functions as well as a meeting room that can be used by the public. This will allow the entire original building to house the growing collection. The goal of the project is to provide this needed space while not adversely impacting the historic character of the library.

The area in which the meeting room will be constructed consists of a carport was initially constructed to house the library bookmobile (Figure 1-3), and an open grassy area that served as the former location of the Old Judiciary Building (Figure 1-4 and Figure 1-5). The proposed meeting room addition to the Molokai Public Library will be constructed off a *lanai* (open deck) that was enclosed in 1992 and will be connected via a breezeway through the rear portion of the former lanai ensuring that the primary historic structure remains intact (Figure 1-6). Initial site groundwork will involve the demolition of an existing carport, relocation of one plumeria tree, and the removal of four palm trees in preparation for the construction of a proposed meeting room addition. The meeting room addition will be constructed on post and pier footings with low CMU wall supports (Figure 1-7), the excavation for which will extend approximately 50 cm (20 in.) below the current ground surface (Figure 1-8). In addition to the new meeting room, a new sewer line will be connected to the existing utility to serve the restroom facilities planned for the new meeting room.



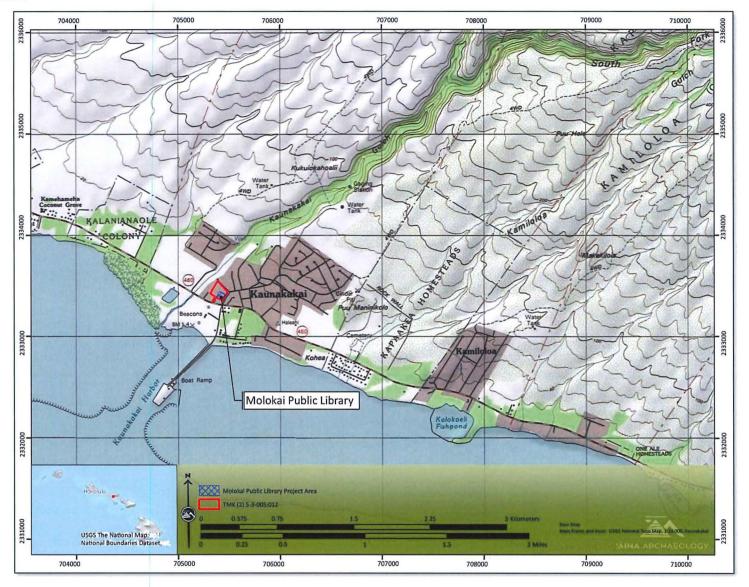


Figure 1-1. Portions of the Kaunakakai (1992) USGS 7.5 minute Topographic Quadrangles showing the current project area (hatched in blue) in relation to the overall TMK boundary outlined in red.



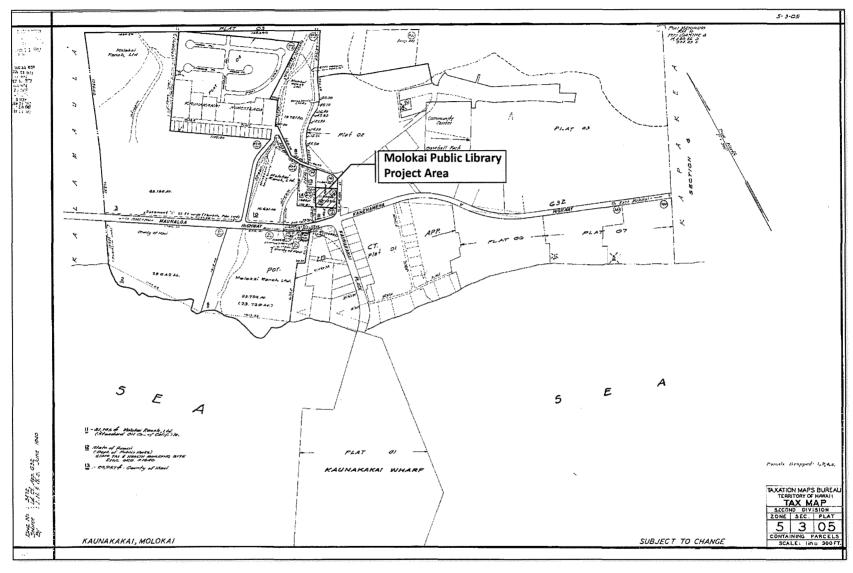


Figure 1-2. Tax Map Key (2) 5-3-05 showing the location of the project area in cross-hatch.





Figure 1-3. General view of the rear section of the Molokai Public Library and proposed location of the meeting room addition (in the foreground), book mobile carport to the right of frame, view to southeast



Figure 1-4. Overview of existing enclosed lanai and location of the meeting room addition (open grassy area), book mobile carport in background, view to east.



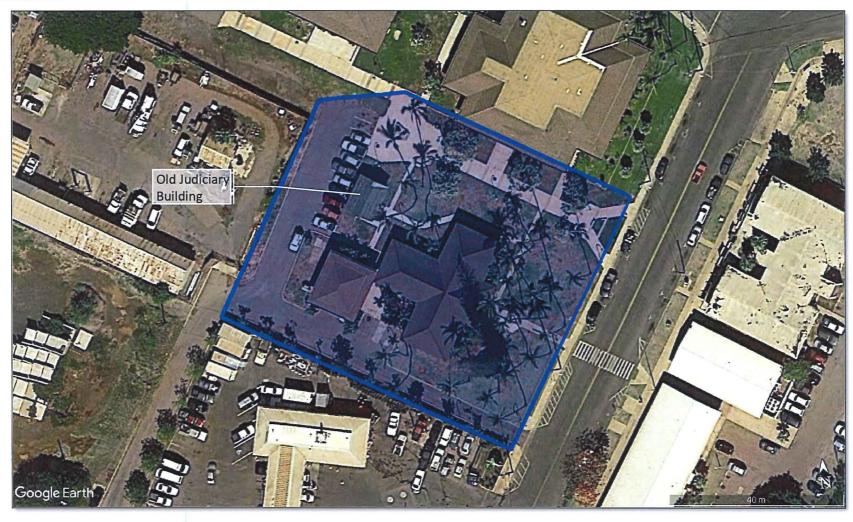


Figure 1-5. Google Earth aerial imagery 1/15/2013 showing the current project area (shaded in blue) and location of the old judiciary building in relation to the library structure and proposed construction area.



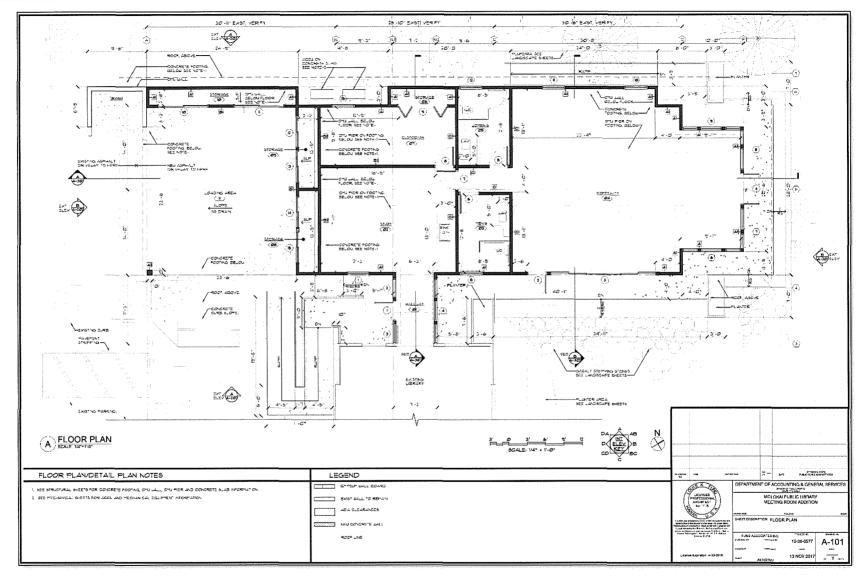


Figure 1-6. Proposed floor plan showing the location of the existing library (bottom) in relation to the meeting room addition (plan courtesy of Fung Associates, Inc.).



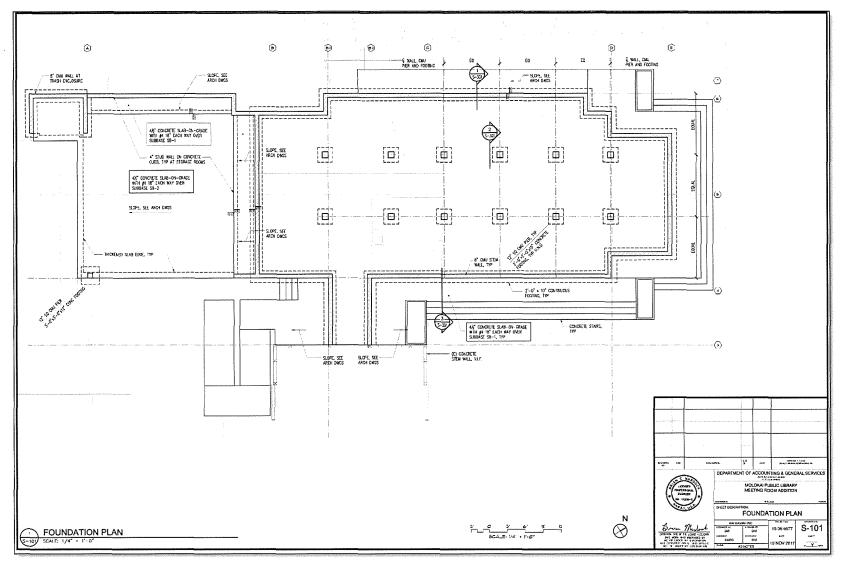


Figure 1-7. Foundation plan for the proposed meeting room addition showing the number of pier foundations and locations of the low CMU wall (plan courtesy of Fung Associates, Inc).



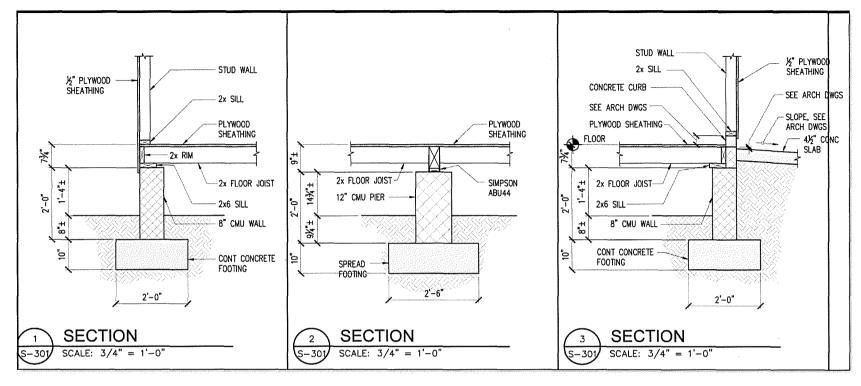


Figure 1-8. Depths of pier and CMU wall footings in relation to the current ground surface (cross-sections courtesy of Fung Associates, Inc.).



1.2 Purpose for Archaeological Monitoring

As the extent of ground disturbing activities associated with the proposed Molokai Public Library Expansion project is limited to the post and pier footings with anticipated excavation depths limited to 2 to 2½ ft. in previously disturbed sediments, and given the fact that there have been no archaeological studies completed within the footprint of the overall library area, the Hawai'i State Historic Preservation Division (SHPD) has indicated a necessity for archaeological monitoring as an identification measure for the current project (per agency to agency consultation between the Department of Accounting and General Services [DAGS] and SHPD, November 17, 2017).



2.0 ENVIRONMENTAL SETTING

2.1 NATURAL ENVIRONMENT

The Molokai Public Library is located between the 0 and 20 foot contour, approximately 380-450 meters (0.23 -0.27 mi.) back from the modern coastline. The U.S. Department of Agriculture (USDA) soil survey data shows that the sediments within the current project area are a part of the Jaucas-Mala-Pulehu Association. This soil association is generally found on deep to nearly level excessively drained soils that have a coarse to fine textured subsoil (Foote et al. 1972:12).

More specifically, the current project overlies the lower limits of Mala Silty Clay (MmA) and near the inland limits the Kealia Silt Loam (KMW) in this region (Figure 2-1). The Mala Soil Series is formed of recent alluvium and consists of well-drained soils on the bottom of drainage ways and alluvial fans along the coastal plains (Foote et al. 1972:92). A representative profile consists of a dark reddish-brown silty clay underlain by stratified layers of dark reddish brown and very dark gray alluvium that is mostly silty clay (Foote et al. 1972:92). Runoff is slow and the erosion hazard of these soils is no more than slight with a water capacity of 1.4 inches per foot (Foote et al. 1972:92). In low lying areas, this soil is subject to flooding during heavy rains and shallow brackish water wells are often dug in this type of soil (Foote et al. 1972:92). At the time of the USDA soil survey, MmA soil was used for alfalfa, truck crops, orchards, pasture, and wildlife habitat.

The Kealia Soil Series is often found in association with the Mala Soil Series and consists of poorly drained soils on nearly level coastal flats (Foote et al. 1972:67). KMW soil units have a high salt content with a slope range of zero to one percent resulting in ponding in low areas after a heavy rain. This soil has a brackish water table that fluctuates with the tides as the water table is nearer to the surface along the shoreline and occurring at a depth of 0.30 to 1.01 m (12 to 40 in.) The subsurface layers of KMW soils are a dark reddish brown to dark reddish gray in the upper part and dark grayish brown to black near and at the water table (Foote et al. 1972:67). At the time of the USDA soils survey, areas with underlying KMW soils was used for wildlife habitat and pasture with small areas in urban development (Foote et al. 1972:68).

Within Kaunakakai Town, the annual rainfall averages less than 15 inches per year with the heaviest rainfall occurring during the *ho'oilo* season from November through March (Armstrong 1973:61-62; Giambelluca et al. 2013; Stearns and Macdonald 1947). The natural drainage of the region is via Kaunakakai Gulch which drains into the wetlands *makai* of the current project area. Depositions of marine and fluvial or stream sediments has resulted in series of narrow flats that characterized the southern coast (Stearns and Macdonald 1947:2). Molokai vegetation zones include *kiawe* (*Prosopis pallida*) and lowland shrubs, Alpine stone desert, open and closed guava forests with shrubs, and closed 'ōhi'a lehua (*Metrosideros polymorpha*) rainforest (Armstrong 1973:70). Prior to human settlement, the surrounding soil types and rainfall accumulation of the general area likely supported a lowland dry shrubland and grassland native ecosystem (Pratt and



Gon III 1998). Current vegetation within the vicinity of the current project area consists entirely of landscape plantings that include *niu* (*Cocos nucifera*), royal palms (*Roystonea regia*), *lā'ī* (*Cordyline fruticose*), plumeria trees, *tiare* hedges (*Gardenia taitensis*), other ornamental plants, and non-native lawn grass.



Figure 2-1. Portions of the Kaunakakai (1992) USGS 7.5 minute Topographic Quadrangles showing the current project area (hatched in blue) and overall TMK boundary outlined in red in relation to the underlying soil types (USDA-NRCS-NCGC 2001).





Figure 2-2. Plumeria tree and palms within the current project area.

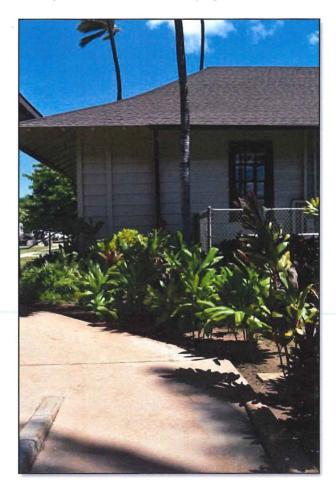


Figure 2-3. Lā'ī as a part of the landscaping plantings within the current project area.



2.2 BUILT ENVIRONMENT

The current project area is bound by Ala Malama Avenue to the southeast, State office buildings to the northeast, the County of Maui Baseyard to the northwest, and the Chevron Station Kaunakakai to the southwest (Figure 2-4). The built environment in the immediate vicinity of the project area includes the above-mentioned road way and facilities; as well as, the asphalt parking lot for the library to the northwest, a large carport for the old book mobile within the limits of the proposed construction area, and concrete sidewalks. The presence of utility boxes and an electrical transformer within the current project area indicate a high probability for the presence of subsurface utility lines within the limits of proposed construction.



Figure 2-4. Google Earth aerial imagery 7/3/2014 showing the location of the current project area (shaded in blue) in relation to the overall built environment.





Figure 2-5. Molokai Public Library parking lot, library building center of frame and bookmobile carport to the right of frame, view to south-southwest.



Figure 2-6. Book mobile carport center of frame and library building to the right of frame, view to north.





Figure 2-7. Overview of southern section of the proposed construction limits within the current project area, focus on concrete utility boxes and electrical box, book mobile carport to the right of frame, view to northwest.



3.0 CULTURAL HISTORICAL OVERVIEW

The island of Moloka'i was traditionally divided into two *moku*, or traditional Hawaiian districts, prior to Western contact and included Ko'olau Moku defined by the predominantly windward environment to the north and Kona Moku which encompassed the remaining portion of the island (Summers 1971:iii). These *moku o loko*, or *moku* as they are most commonly called, literally means "to cut across, divide, separate" (Lucas 1995:77). When used as a term of traditional land tenure, a *moku* is similar to a modern political district and the largest of the traditional sociopolitical land divisions. The Civil Code of 1859 however, shows that following the Māhele of 1848, the *moku* of Moloka'i had been consolidated for taxation, educational, and judicial purposes with the names of Kona and Ko'olau dropped creating a single district called Moloka'i district (Coulter 1935:216). By 1915 and subsequent years, the portions of Moloka'i designated as the Kalaupapa settlement which included Kalaupapa, Kalawao, and Waikolu was carved out into a separate county called Kalawao. While the County of Kalawao was placed under the jurisdiction and control of the Department of Health (Hawaii Revised Statutes [HRS] Section 326-34) and included in the first judicial circuit (O'ahu) for judicial purposes, the remaining portion of the island fell under the jurisdiction of the County of Maui as Moloka'i District (Coulter 1935:223)

Within the traditional *moku* are smaller units of land called the *ahupua'a*, the name of which is derived from the Hawaiian term *ahu* (altar), which was erected at the point where the boundary of land was intersected by the *alaloa* (main road encircling the island), upon which a carved *pua'a* (hog) image, made of kukui wood and stained with red ochre was placed along with the tax of food items from that particular land unit as payment to the *ali'i* (chief) during the annual progression of the *akua makahiki*, (Alexander 1882:4). The typical configuration of the *ahupua'a* extends from the sea to the mountain so that the *ali'i* (chiefs), as well as the *maka'āinana* (common people) could have access to products of the *uka* (mountain region), the cultivated land, and the *kai* (sea) (Alexander 1882:4). While the boundaries of these larger land divisions generally followed prominent landforms (i.e. ridge lines, the bottom of a ravine, or defined by a depression) there were times where a stone or rock that was notable from a tradition or sacred use would mark a corner or determine a line (Alexander 1890:105-106). Along similar lines, the growth of a certain kind of tree, herb or grass, or the habitat of a certain kind of bird would sometimes define a the boundary of a land division (Alexander 1890:105-106).

The current project area is located within the *moku* of Kona (Modern District of Moloka'i), *ahupua'a* of Kaunakakai, on the island of Moloka'i (Figure 3-1).



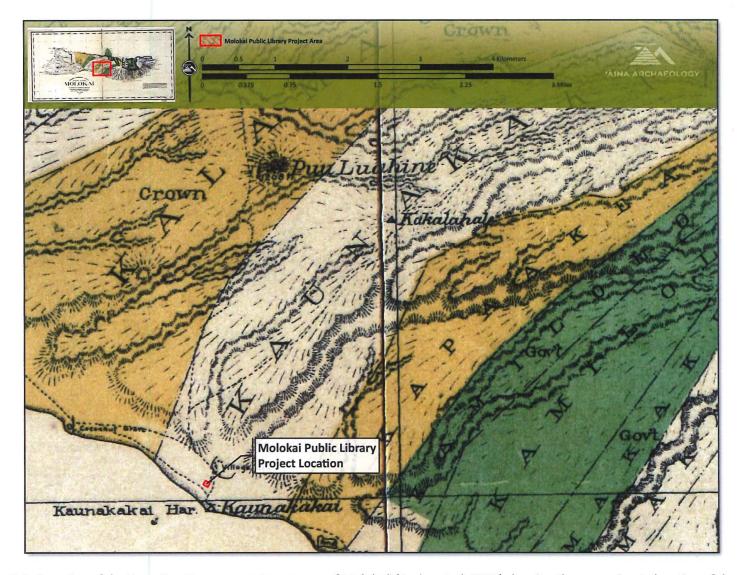


Figure 3-1. A portion of the Hawaiian Government Survey map of Moloka'i (Dodge et al. 1897) showing the approximate location of the current project area in relation to the traditional moku of Kona and ahupua'a of Kaunakakai (crown lands in yellow and government lands in green).



3.1 HAWAIIAN SETTLEMENT AND LAND USE WITHIN KAUNAKAKAI AHUPUA'A

Early demographic observations may provide some insight into the locations of the traditional population centers of Moloka'i. The first formal census calculations note that by 1823, over three-fourths of the population of Moloaka'i lived on the Eastern end of the Island, noting large settlements at Kalua'aha, Puko'o, Halawa Valley, Kamalo'o, and Kaunakakai, with over 500 people in Halawa Valley and 144 at Kamalo'o and Kaunakakai respectively (Willis and Lee n.d.). Though known as Kaunakakai today, an older name for this place has been recorded as Kaunakakahakai (Andrews 1865:556; Fornander 1917b:575; Willis and Lee n.d.:Appendix D). Translations of the place name of Kaunakahakai are varied and include "resting on the beach" (Willis and Lee n.d.:Appendix D), "beach landing" (Pukui et al. 1976), "Kauna kahaka'i (to go along in company of four)" (Cooke 1949:83), and "current of the sea" (Ne et al. 1992:74).

As a whole, the island of Moloka'i is well known for the immense fish ponds that line the southern shoreline of the island and Kaunakakai specifically as a good place for the canoes to land and fish to be gathered (Willis and Lee n.d.:Appendix D). The geology of Moloka'i and importance of the marine resources to those who lived along the southern coast line was recorded by European observers:

The mountains, forming the eastern part of the island, gradually descend to the westward, and like those of owe, terminate on a low isthmus, which appears to divided the island into two peninsulas.... The country from Crynoa [?] rises from the sea by an ascent, uninterrupted with chasms, hills, or vallies [sic]. The uniform surface, on advancing to the westward, exhibited a gradual decrease in the population; it discovered an uncultivated barren soil, and a tract of land that gave residence only to a few of the lower orders of the islanders, who resort to the shores for the purpose of taking fish, which they abound. Those so employed are obliged to fetch their fresh water from a great distance; none but what is brackish being attainable on the western parts of Morotoi (Moloka'i). (Vancouver and Vancouver 1798:202)

A specific marine resource that Kaunakakai was especially noted for was the *aloalo*, or squilla (*Squilla* sp.), a type of crustacean that would grow up to four inches long and live in the holes of dead coral near the shore (Handy et al. 1991:520). Handy and others further note that only the males, which were recognizable by a characteristic jerky movement when lured from their hole, were caught for subsistence. In addition to the faunal resources of the marine environment, the manufacture of *pa'akai* (salt) may have also played a role in traditional land use and lifeways that would expand and continue as a commercial venture at Kaunakakai until at least 1924 (Figure 3-2). With regard to the taste and color of *pa'akai* that was made here, the people of Moloka'i would say that, "Our salt is not too sour, our salt is white" (Willis and Lee n.d.:Appendix D).



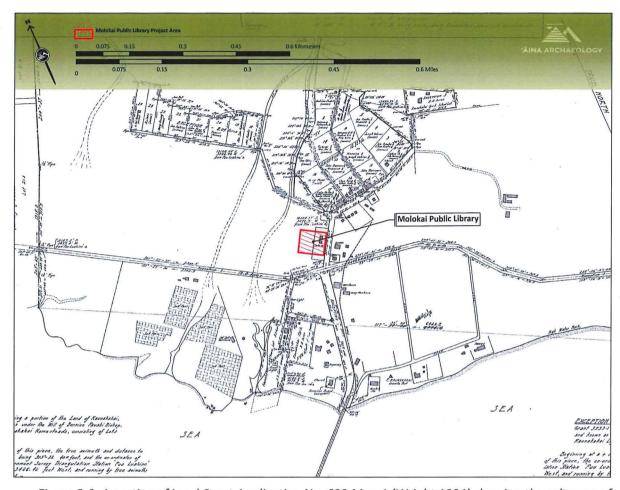


Figure 3-2. A portion of Land Court Application No. 632 Map 1 (Wright 1924) showing the salt pans of Kaunakakai in relation to the approximate location of the Molokai Library Project area.

Though the resources of the ocean appear to have been the primary focus of traditional subsistence along the southern shoreline prior to Western contact, Handy and others describe dry land agriculture practices, as well as farming within the marsh lands, that characterize the southern coast of Moloka'i:

While the windward pali coast and Halawa Valley on the eastern tip of Molokai were famous for taro, the southern coast and the western plateau of the island were planted in sweet potatoes along the shore and on the *kula* (plain). At Kamalo was observed a unique method of planting potatoes on top of mounds in marshy soil, around the base of which taro is planted....

...On the slopes of Kakalahale and Luahine hills, between Kaunakakai and Kalamaula, there were potato plantations. (Handy et al. 1991:517)



3.1.1 Warfare and the Importance of Kaunakakai

Prior to Western contact and into the wars of unification carried out by Kamehameha I, Kaunakakai was an important connecting point for *ali'i* during times of war.

3.1.1.1 Alapa'i Nui and his Defense of Moloka'i

Alapa'i nui was at Kīhei following an abandoned campaign against Maui following the death of King Kekaulike and ascension of his nephew Kamehameha-nui when he had heard that the ruling chief of O'ahu had decided to make war on Moloka'i. Kamakau notes that because the chiefs of Molokai were the children and grandchildren of Keawe, Alapa'i had become sympathetic to the trials of his 'ohana (family) and went to the aid of Moloka'i:

He sailed from Maui and landed at Puko'o. From Waialua to Kalua'aha the fleet of Hawaii extended. The fighting was in progress at Kamalo'o (Kamalō) with Ka-pu-lei as the battlefield. There the forces of Hawaii, joined with those of Molokai, made a formidable array. The chief of Oahu, Ka-pi'i-oho-o-ka-lani, was encamped at Kalama'ula, and the country form Kaunakakai to Na'iwa was occupied by the chiefs and fighting men of O'ahu....

On the fifth day at Kawela the decisive battle was fought. Every able-bodied man came out of his house to fight. The Molokai forces attacked from the hills, those of Hawaii from the sea, while a great number landed from the feet and fought on land. The battle began in the morning and lasted until afternoon. The ruling chief of Oahu found himself surrounded by sea and by land and hemmed into a small space. Ka-pi'i-oho-o-ka-lani died at Kawela below Kamiloloa, and many chiefs and fighting men were slaughtered, but some escaped and sailed for Oahu.

At the close of the war on Molokai, the chiefs were gratified by the return to them of their lands. (Kamakau 1992:70-71)

West of the approach to the Kaunakakai wharf was Kamehameha V's home, Malama. The beach in front of this site was used exclusively by the Ali'i for sun bathing. Emerson reported that there was a maika field "on the plains back of Kaunakakai" but the location of that field is now forgotten.

3.1.1.2 Internal Struggles on Moloka'i

After the battles in which Kuali'i retained his title as $m\bar{o}'\bar{1}$ of O'ahu (Fornander 1917a), word was brought to him of the internal wars on Moloka'i, where the chiefs were in conflict with one another over the rich fishing resources of Kona Moku. Kaunakakai became central focus as a meeting place for Kuali'i and the chiefs of Kekaha. Fornander describes the conflict as follows:

The chiefs on the Koolau side of Molokai were anxious to get possession of Kekaha, a stretch of country from Kawela to Maamomi (Mo'omomi); and the reason why these chiefs were so desirous of getting possession of this section of country was on account of the fishing. But the chiefs of Kekaha, knowing the value of these fishing grounds,



were determined to hold on to them; so this determination on their part caused a general internal conflict at this time.

When Kualii heard of this general conflict on Molokai, he left Hilo and set sail for Molokai. On the way Kualii touched at Honokowai in Kaanapali, Maui where a chief by the name of Paepae arrived at the same time. This Paepae was one of the chiefs of Kekaha, and the reason why he had come to Maui was to enlist Kauhi, one of the chiefs of Maui, to come to their aid. When Paepae saw for himself that it was indeed Kualii he decided there an then to abandon his first idea of enlisting Kauhi's aid...Upon his arrival at Kaunakakai he found that all the chiefs of Kekaha had gone to Kalamaula prepareing for another battle to commence upon the arrival of Kauhi.... Paepae told Kualii the object of his errand ... (w)hen Kuallii heard this he immediately gave his consent and the canoes were again put to sea and they set sail for Kaunakakai where they arrived in due time....

At the final battle which was fought in Pelekunu ... Paepae showed is quality by routing the whole army. After this great slaughter at Pelekunu, Paepae stood up in the canoe and spoke to the people in a boastful manner saying: "You are all slain by the war club of Kualii." ... The chiefs of Koolau then gave up to Kualii to the whole of Molokai.(Fornander 1917c)

3.1.1.3 Kamehameha I and the Wars of Unification

Following the Battle of Kepaniwai at Iao Valley on Maui, where Kamehameha I solidified his victory on Maui, the high chiefess Kekuipoiwa Liliha and her daughter Keōpuōlani, the latter of whom would later become the Sacred Wife to Kamehameha I and Queen Mother to his ruling heirs, escaped through Olowalu to meet their mother, high chiefess Kalola, at Kalama'ula, Moloka'i (Fornander 1880:237). When Kamehameha heard of this, he sent word to Kalola to not proceed to O'ahu as he would coming to take them back to Hawai'i Island. Kamehameha and his company of chiefs landed at Kaunakakai to meet with Kalola at Kalama'ula, and upon seeing her ill health asked her for her daughter and granddaughter so that he might take them back to Hawai'i to rule as chiefs, to which Kalola answered, "If I die, the girl and the sisters are yours." (Kamakau 1992:149)

Kaunakakai would play a final central role as a meeting place of *ali'i* during the wars of unification under Kamehameha I as one of the places in which he landed his great war party (Kamakau 1992:159) and would later reside and hold council to plan his campaign against O'ahu (Kamakau 1992:172).

3.2 WESTERN CONTACT AND 19th CENTURY CULTURE CHANGE

In the years following the unification of the Hawaiian Islands, the demographics and economy of Moloka'i would go through rapid and drastic changes. The arrival of the Protestant missionaries in the 1820s resulted in the establishment of a network of public schools throughout the villages of the archipelago. In 1828, a group of missionaries travelled to Moloka'i to determine the



progress of the schools and traveled from Hālawa to Kaunakakai where they stayed for the night. Andrews records the journey and environment of early nineteenth century Kaunakakai and the southern coastline as follows:

Having examined a large school here, we walked on, and the chiefs followed, in canoes. We travelled along, on the sea shore, finding very little vegetation, on account of the drouth. There is scarcely any water on this side of the island. About two o'clock, P.M., we reached Kumuali, where we concluded to finish the examination....

Here then is presented the interesting spectacle, of a population of 5,0000 souls on a single island, emerging from the darkness of heathenism, through the instrumentality of *native teachers*, who were themselves heathens, eight years ago — and already enjoying the benefits of Christianity so far, that *one fifth of the whole population* are receiving instruction in Christian schools; and nearly all these are able to read the work of God, whenever it can be put into their hands.

We estimated the number of inhabitants at 5,000. We numbered nearly 700 houses, and think there are about 1,000 on the island. We think nearly one quarter of the people are members of the schools. (Andrews and Greene 1829)

3.2.1 1840-1851 - The Great Māhele

In 1848, King Kamehameha III and 245 *ali'i* (royalty) and *konohiki* (landlord) came together to divide the lands of the kingdom into three classifications. The Crown and the *ali'i* received their land titles and awards for both whole *ahupua'a* and individual parcels within an *ahupua'a* which were then subsequently formally granted in 1850 (Alexander 1890:114). The lands given to the *ali'i* and *konohiki* were referred to as Konohiki Lands and lands retained by the King as Crown Lands. The distinction of Crown land is important and defined as:

... private lands of His Majesty Kamehameha III., to have and to hold for himself, his heirs and successors forever; and said lands shall be regulated and disposed of according to his royal will and pleasure subject only to the rights of tenants. (Kingdom of Hawaii 1848)

At the death of Kamehameha IV and with lack of a clear heir some confusion as to the inheritance of Crown lands and whether or not it followed the family line or the throne. It was decided by the Supreme Court that under the confirmatory Act of June 7th, 1848, "the inheritance is limited to the *successors* to the *throne*," "the wearers of the crown which the conqueror had won," and that at the same time "each successive possessor may regulate and dispose of the same according to his will and pleasure as private property, in the manner as was done by Kamehameha III" (Alexander 1890:121).

The third classification of lands partitioned out was termed Government lands that were defined and set aside for management in the following manner:



... those lands to be set apart as the lands of the Hawaiian Government, subject always to the rights of tenants. And we do hereby appoint the Minister of the Interior and his successors in office, to direct, superintend, and dispose of said lands, as provided in the Act ... (p)rovided, however, that the Minister ... shall have the power, upon the approval of the King in Privy Council, to dispose of the government lands to Hawaiian subject, upon such other terms and conditions as to him and the King in Privy Council, may seem best for the promotion of agriculture, and the best interests for the Hawaiian Kingdom ... (Kingdom of Hawaii 1848)

In 1850, most of the chiefs ceded a third of their lands to Kamehameha III in order to obtain an allodia title for the remainder. The majority of these lands were then placed into the Government land base (Alexander 1890:114). The designation of lands to be set aside as Government lands, paved the way for land sales to foreigners and in 1850 the legislature granted resident aliens the right to acquire fee simple land rights (Moffat and Fitzpatrick 1995:41-51).

In designations of lands as either Crown or Government, and through all awards of whole ahupua'a, ili, and later land sales to foreigners classified as Land Grants, the rights of the native tenants were expressly reserved, "Koe na Kuleana o Kanaka" (Reserving the Rights of Native Tenants) (Alexander 1890:114). In an Act ratified on August 6th, 1850, the gathering rights of the common people for personal use, which included the gathering of both terrestrial and marine resources, in addition to the right to water and the right of way on the lands of the Konohiki, were guaranteed and embodied in Section 10477 of the Civil Code (Alexander 1890:114-115). By this same Act, resolutions passed by the Privy Council granted fee simple titles, free of all commutation, with the exception of awards granted within the towns of Honolulu, Lāhainā, and Hilo, to all native tenants for their cultivated lands and house lots (hereafter referred to as kuleana land) (Alexander 1890:115). Claims of the native tenants, or kuleana land claims, were presented to and heard by the Land Commission whose duty was to:

...ascertain the nature and extent to each claimant's rights in land, and to issue an Award for the same which is prima facie evidence of title "and shall furnish as good and sufficient a ground upon which to maintain an action for trespass, ejectment or other real action against any other person or persons whatsoever, as if the claimant, his heirs or assigns had received a Royal Patent for the same." (Alexander 1890:110)

Though there are no known *kuleana*, or Land Commission Award claims recorded for Kaunakakai Ahupua'a, Sprouse and others (2013:14) note that according to an Interior Department letter of October 15, 1889, the *ahupua'a* of Kaunakakai was owned by Kalani Pueo in 1843. An additional Interior Department Letter dated January 115, 1852 and January 24, 1854 indicates that Abner Pākī, Pauahi's father, was the owner of Kaunakakai Ahupua'a. In 1855 however, Lot Kapuawia (Kamehameha V) purchased the *ahupua'a* of Kaunakakai outright for \$200 as his sought to increase his land holdings on Moloka'i with a "desire to have a country estate, he bought up land and cattle from the resident Hawaiians and used Moloka'i as a vacation ground from his cares of the State" (Figure 3-3) (Judd in Summers 1971:23). Upon his death in 1872, King Kamehameha



left Kaunakakai Ahupua'a to Ke Ali'i Ruth Ke'elikōlani who maintained a house at Kaunakakai (see Figure 3-3). When Ruth Ke'elikōlani passed in 1883, her lands were inherited by the trust of Ke Ali'i Bernice Pauahi Bishop through the authorization of King Kalākaua in 1890 through the legislature via "An Act to Settle the Title to Certain Unawarded Lands and to Authorize a Compromise with the Trustees under the Will of Bernice Pauahi Bishop" (Sprouse et al. 2013:15) and finalized through Land Grant 3533 issued by Queen Lili'uokalani (Figure 3-4).

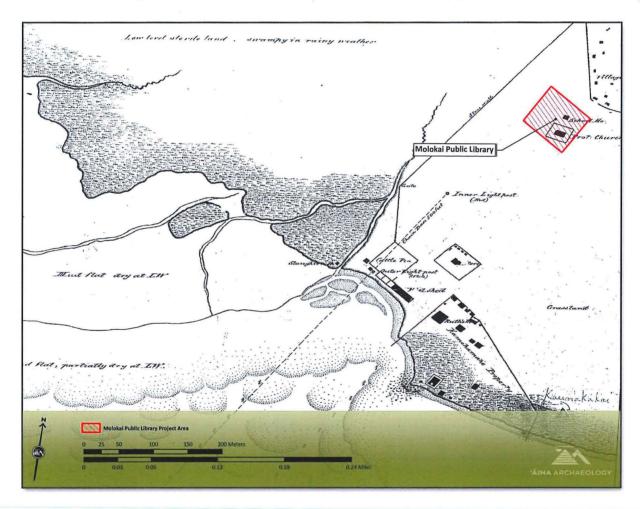
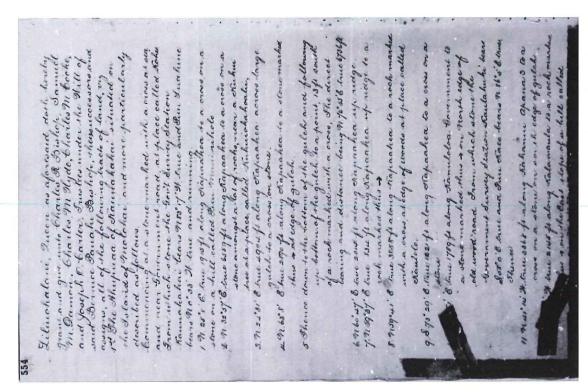


Figure 3-3. A portion of the Hawaiian Government Survey Map of Kaunakakai Harbor (Jackson 1882)showing the location of the current project area in relation to Ke Ali'i Ruth Ke'elikōlani, not the proximity of the former Protestant Church and school house, which would later become Cooke Hall (see Figure 3-2 above) in relation to the current project area.





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Figure 3-4. Land Grant 3533 transferring Kaunakakai Ahupua'a to the trustees of Bernice Pauahi Bishop Estate (Office of Hawaiian Affairs 2014)

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3.2.2 1850-1900 – Foreign Influence, Changing Economies, and the Development of Kaunakakai as a Commercial Center

When the Gold Rush hit California in the 1850s, many of Moloka'i's men left their fish nets, fish ponds, cattle raising, salt pans and *kukui* oil businesses and went to California also. Still, others went to Lāhainā and Honolulu to find jobs that others had left vacant when they went to the States (Willis and Lee n.d.:Appendix F). Nonetheless, Willis and Lee make clear, that industry did not falter, and the people continued to prosper. The population of Moloka'i however did experience a decline as men returning to visit Moloka'i from Lāhainā and Honolulu brought with them the introduction of "Ha'ole diseases" and in 1850 and again in the late 1860s, many died from flu epidemics (Willis and Lee n.d.:Appendix F).

Adapting to the changing economy and growing prominence of commercial ranching, Kamehameha IV established a sheep ranch on Moloka'i in 1859 and constructed his residence on the beach at Kaunakakai opposite the then natural break in the reef. The residence in that area is known as Malama, and historically attributed to Kamehameha V (Athens and Silva 1983; Titchenal 1998). R. W. Meyer, who had served Kamehameha IV and would later go on to establish his own small sugar plantation at Kala'e, became manager of ranch operations on Moloka'i for Kamehameha V in 1864. During his tenure as ranch manager, Kaunakakai Harbor would be their transportation link and key to agricultural activities (Strazar 2000:12).

After 1866, Kaunakakai Harbor also became vital to bringing in supplies for the Kalaupapa Settlement as the waters and shoreline along the peninsula were not hospitable to barge and ship landings. Goods, personnel, and visitors landed at Kaunakakai and were then transported by mule from the top side and down the pali trail. Finally, Kaunakakai would also become the port of exchange for the short-lived sugar industry during the 1880s as sugar and molasses from the Meyer sugar mill at Kala'e were taken to Kaunakakai harbor via bullock cart and transferred into small boats that would land at Malama (Meyer et al. 1982:97; Strazar 2000:12) and take the sugar and molasses to larger ships anchored in the harbor.

In 1897, Molokai Ranch was formed by a group of men who purchased holdings from the Bishop Estate, thus transferring ownership of the *ahupua'a* of Kaunakakai once again (Cooke 1949:2). A year later the American Sugar Company (ASCO) was incorporated by the ranch. A half mile long wharf that could accommodate local steamships was constructed by ASCO in 1898 off of the shoreline fronting the village of Kaunakakai (Cooke 1949:74). The new plantation and ranching operations made Kaunakakai the urban center of Moloka'i, but the sugar venture was short-lived. The high-salinity of water pumped from surface wells could not sustain sugarcane agriculture (Condé and Best 1973:275), but it was locally believed that:

...in the construction of the railroad from the mill to the dock at Kaunakakai, the railroad builders had disturbed a heiau ...since the railroad builders at American Sugar Company had not only used the heiau stones in building roadbed, but had also routed



the railroad directly through the center of the temple site, the whole organization was doomed to disaster... (Condé and Best 1973:275).

It is possible that the reference was to the destruction of Mahinahina Heiau (Site 131), said to have been located 500 feet northeast of the Kaunakakai Pier (Stine et al. 2014:11, 15).

3.3 KAUNAKAKAI AHUPUA'A AND THE CURRENT PROJECT AREA IN THE 20TH CENTURY AND MODERN ERA

Though the sugar industry on Moloka'i would wane in the early part of the twentieth century, commercial pineapple agriculture would take its place in the early 1920s and the port of Kaunakakai would become an even greater economic center. Over eighty structures were constructed to house the California Packing Corporation (Calpac) labor force and to store agricultural supplies. With the success of commercial pineapple cultivation in the Maunaloa and Nā'iwa areas, Kaunakakai Wharf remained the island's principal port. The harvested fruit was trucked to Kaunakakai, where it was crane-loaded onto barges and shipped to the Calpac cannery in Kahului, Maui (Larsen and Marks 2010:371). At the same time, Molokai Ranch was becoming a more organized operation and owned a majority of the leased pineapple lands, while maintaining cattle ranching as their focus of land use for the areas surrounding Kaunakakai Town (Lee-Greig and Hammatt 2008:11).

The village of Kaunakakai would expand as the development of homesteads associated with the Territory of Hawai'i, rather than Hawaiian Homesteads, would occur rather quickly (Stine et al. 2014:15). Two clusters of homestead lots are shown on the 1924 Land Court Application 632 Map (see Figure 3-2), with Lots 2-17 included in Kaunakakai Town and Lots 18-25 located west of the town.

In 1929, the American Sugar Company offered Mrs. Roland Gay, who had started an exchange library at her home, the use of a small building near the beach for the library (Moy 1993). On December 12, 1936, construction for a new public library began on the site of the old Cooke Hall community center (see Figure 3-2) ("Molokai Personals, Special Star-Bulletin Correspondence" 1936; Strazar 2000:14, 15) and was completed and dedicated on May 21, 1937 (Moy 1993). The National Register Nomination Form for the Molokai Public Library notes:

The Molokai Public Library is significant for its history as the only public library on Molokai as well, as for its architectural significance as an outstanding public structure. The county librarian reported in the Maui News that "the Molokai Branch of the Maui County Free Library is an example of a library that is modem, inviting and friendly, as well as useful." 1 The building cost \$15,764 to construct in 1936-37 with 55% of the amount in territorial appropriating, 45% in matching Federal funds. The architect was Harry Stewart, an architect with the Department of Public Works, Roy Zahren, engineer and inspector, John De Fries, territorial inspector and J. V. Marciel Jr. was the contractor. (Moy 1993)



With the growth of the Kaunakakai Town, water supply and flooding would become long-term issues for the area. Water projects initiated in the 1950s were directed at alleviating these problems. Kaunakakai Stream, which used to empty through up to four meandering coastal outlets, was channelized into one levied outlet to greatly reduce the flood hazard. In the late 1950s to early 1960s a 5.5 mile tunnel project along the mauka portion of Kaunakakai Gulch produced enough water to be "stored in a 1.4 billion gallon reservoir at Kualapu'u" (Summers 1971:25).

Pineapple production on Moloka'i was phased out during the 1970s, with complete abandonment by the early 1980s. While the towns of Maunaloa and Kualapu'u have continued to support sizable populations, Kaunakakai has remained the island's major urban center and Kaunakakai Harbor the island's primary port. Tourism and service-related industries have begun to replace commercial agriculture as the town's primary economic foundation followed by government service related industry. In general, the modern land use within the vicinity of the current project area is currently focused on municipal, retail, and other domestic service businesses associated with the development of Kaunakakai Town as the primary residential, commerce, and civic center on the island.

3.4 Previous Archaeological Studies Completed within the Surrounding Vicinity

The most comprehensive island-wide archaeological study on Moloka'i was put together by Catherine Summers with her publication of Moloka'i: A Site Survey (1971) through the Department of Anthropology at the Bernice P. Bishop Museum. Based on previous research, particularly John F. G. Stokes' 1909 survey of *heiau* and other major sites on Moloka'i, and through revisiting some 100 locations, the descriptions provided by Summers enumerates the archaeological sites of Moloka'i by individual *ahupua'a* (Summers 1971).

With the exception of a 115-acre survey of the Kaunakakai Field System *mauka* of Kaunakakai Town completed in 1988 (Weisler 1989) and a more recent study completed by Cordy as a part of an archaeological field school and training program west of Kaunakakai Gulch (Cordy 2001), archaeological work completed in Kaunakakai has been primarily focused on the coastal portion of the *ahupua'a*, between Kamehameha Highway and the ocean. Sub-surface surveys conducted within the coastal Kaunakakai region clearly indicated a rapid alluviation and shoreline accretion which has been linked to the 19th century introduction of cattle, deer, goats, and sheep (Morgenstein and Kaschko 1981). Below the modern fill layers and historically generated alluvial deposits, cultural deposits range from pre-contact to the post-contact historic time period. Komori (1983) and Athens (1983) both encountered the most notable cultural layer in this area at the intersection of Kaunakakai Place and Hio Place, assigned State Inventory of Historic Properties (SIHP) #50-60-03-630. Two features within this sub-surface deposit were dated to A.D. 1230-1340 and A.D. 1435-1665 (Athens 1983:82). Historic-era artifacts collected were generally fragmentary with radiocarbon dates from AD 1850 to the present, indicating the highly disturbed nature of much of the cultural deposit at SIHP-630.



During the Kaunakakai Field System survey mauka of Kaunakakai Town (Weisler 1989), one wall and three complexes were identified and documented (SIHP-886 to SIHP-889). The three complexes (SIHP-886 to SIHP-888) represented the largest dryland agricultural system recorded on leeward Moloka'i up until that time (Weisler 1989:iii). Seven features within the complex were subjected to limited sub-surface testing, which resulted in the recovery of sparse faunal samples. Carbon dating indicated "that the agricultural zone on the east side of Kaunakakai Gulch (SIHP-886, SIHP-887, and SIHP-888) was used as early as the late 13th century (Early Expansion Period) and into the beginning of the Proto- Historic Period (AD 1650-1795; temporal periods after Kirch 1985)" (Weisler 1989:61). Cordy's survey on the west side of Kaunakakai Gulch resulted in similar findings with the identification of 10 historic properties (SIHP 50-60-03-02445 through 02454) largely reflective of dry-land agricultural practices and associated religious activities. Component features included short-term, or recurrent habitation sites and field shelters, ceremonial spaces, dryland planting features, and one possible long-term residential area (Cordy 2001).

Surveys along the inland reaches adjacent *ahupua'a* of Kalama'ula (Athens 1984; Hommon and Ahlo 1983; Tomonari-Tuggle 1990) and Kamiloloa (Davis 1977; T. Dye 1977) have also identified extensive agricultural complexes with associated temporary habitation features, pre-historic and historic permanent habitation sites, and an early historic cemetery (T. Dye 1977). Extensive work in the similar environment of nearby Kawela and Makakupa'ia Iki Ahupua'a was conducted by the Bishop Museum (Weisler and Kirch 1982) and resulted in the identification of approximately 500 features related to traditional agriculture which "includes the majority of archaeological sites within the *ahupua'a* of Kawela and Makakupa'ia Iki" (Weisler 1989:47). The following table (Table 3-1) presents a summary of archaeological studies completed within a one-mile radius of the current project area while Figure 3-5 shows the locations and extents of these studies in relation to the current project area.



Table 3-1. Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-5)

Author	Ahupua'a	Type of Study
Stokes 1909	Island Wide	Archaeological Survey: General survey of heiau (monumental ceremonial structures) which
		documented Kamalae Heiau at the foot of the ridge behind Kaunakakai Town.
Summers 1971	Island Wide	Archaeological Survey: Notes the presence of Site 131 Mahinahina Heiau thought to be located
		approximately 500 ft. northeast of the pier at Kaunakakai
Davis 1977	Kaunakakai	Archaeological Reconnaissance: Identified a site complex possibly representing two different
		periods of occupation, the earlier of which is thought to be pre-contact. The site is located on a
		hillside immediately above the flood plain on an intermittent stream. No historically significant
		cultural materials were found on the flood plain proper. It is suggested that the identified
		features are associated with dry-land cultivation carried out on the flood plain.
Dye 1977	Kaunakakai	Archaeological Reconnaissance: Identified seven major structural features that make up SIHP
		50-60-03-1600 which is a Pre-Contact to Historic Era Habitation and Burial Complex.
Shun 1982	Kaunakakai	Archaeological Reconnaissance and Testing: Parallel mounds of indeterminate function and a
		buried cultural layer (SIHP 50-60-03-00631) with a carbon dated age range between 1769 and
		1869.
Athens and Silva 1983	Kaunakakai	Archaeological and Historical Investigations: Excavation of four test pits and 26 backhoe
		trenches resulted in the identification of historic era deposits (SIHP 50-60-03-00630) that were
		noted as highly disturbed from previous grading, bulldozing, and land filling activities, and
		structural remains could not be positively identified. Pre-contact deposits were also
		documented in the underlying calcareous sand, consisting of shell midden remains, however,
		were limited to only a few areas, being densest in the southwestern quadrant of the property.
		One of two radiocarbon dates from hearth features indicates an occupation beginning about
		A.D. 1200-1300, which is now the earliest known for the south coast of Molokai



Table 3-1 (continued). Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-5)

Author	Ahupua'a	Type of Study
Hommon and Ahlo 1983	Kalama'ula,	Archeological Inventory Survey: Identification of 71 historic properties (SIHP -00901, -00902, -
	Kapa'akea,	00904 through -00908, -00910 through -00971, and -00975 through -00977) comprised of 212
	Kamiloloa	component features in the mid to upper elevations of Kalama'ula, Kapa'akea and Kamiloloa
		Ahupua'a. The majority of the features were interpreted as pre-contact agricultural features
		with associated habitation areas, storage sites, quarry locations, a water catchment and
		possible animal pen. Ceremonial features and possible burial sites were also identified. Along
		with sites of probable pre-contact origin, five features associated with historic ranching and
		military activities were also identified.
Komori 1983	Kaunakakai	Archaeological Reconnaissance: Pedestrian survey and exploratory augering across
		approximately 78,996 sq. ft. While no historic properties were identified on the surface,
		augering encountered a subsurface cultural deposit (SIHP 50-60-03-00630) extending over a 700
		sq. ft. area, the content for which consisted of midden remains reflective of a traditional
		Hawaiian diet, indigenous artifacts (n=2, coral abrader and basalt whetstone) and one pearl
		shell button.
Landrum 1984	Kaunakakai	Archaeological Reconnaissance: Identified a buried cultural deposit (SIHP 50-60-03-00632)
		reflective of pre-contact use of the area; as well as, a historic foundation, which was not given a
		state site number.
Estioko-Griffin 1988	Kalama'ula	Archaeological Field Inspection: Field inspection of three project areas in the lower end of
	Kamiloloa	Kamiloloa, the lower end of Makakupaia and the Kalama'ula subdivision. Relative to the current
	Makakupaia	project area is the findings within Kalama'ula which included rock mounds, walls, L-Shapes, C-
		Shapes, a platform, and enclosures. Inferred probable function based on their location,
		construction and comparable sites from other parts of the island include temporary shelter for
		the L-Shapes and C-Shapes, military use for the C-Shapes, dryland agriculture for the rock
		mounds and the complexes, and burial for a platform. Several sites/features were of
		undetermined function.



Table 3-1 (continued). Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-5)

Author	Ahupua'a	Type of Study
Kennedy 1988	Kaunakakai	Archaeological Inventory Survey: Noted that grading had taken place within the project area
		and that the entire lot had been disturbed, both above and below the surface. No historically
		significant cultural materials were identified.
Weisler 1989	Kaunakakai	Archaeological Inventory Survey: Intensive survey with subsurface testing between the 40 and
		75m contours above Kaunakakai Town. Documentation of four historic properties, three of
		which comprised a large dryland agricultural system (SIHP 50-60-03-00886 to -00889) and a
		large boundary wall (SIHP -00889) which parallels Kaunakakai Gulch. Test excavation of four
		field shelters and three agricultural features yielded radiocarbon dates of likely occupation
		during late 13th and continuing into the 17th-18th centuries.
Tomonari-Tuggle 1990	Kalama'ula	Archaeological Inventory Survey: Pedestrian survey resulting in the identification and
		documentation of 54 previously unidentified historic properties (SIHP 50-60-03-1700 through -
		1753) and two previously identified historic properties (SIHP -800 and -802) with subsurface
		testing of selected sites. Documented historic properties were reflective of low intensity
		traditional Hawaiian agriculture, short-term and low-intensity habitation areas related to either
		agricultural field tending or warfare encampments with some evidence of extended occupation
		at SIHP 50-60-03-1716.
Borthwick and Hammatt	Kaunakakai	Archaeological Inventory Survey: Noted that though much of the project area had been
1994		modified, two historic properties (50-60-06-00895 and -00896) were identified and described.
		was SIHP -00896 is a stacked boulder wall. SIHP -00895, consisted of an enclosure (Feature A)
		with surface pavements (Feature B), and possible planting areas (Feature C).
Dye and Murakami 1998	Kaunakakai	Archaeological Inventory Survey: Two historic properties were identified. SIHP 50-60-06-1660 is
		a petroglyph gallery and limestone quarry with an associated cultural deposit and 50-60-06-
		1661 is the old Kaunakakai School grounds.



Table 3-1 (continued). Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-5)

Author	Ahupua'a	Type of Study
Heidel et al. 1998	Kaunakakai	Archaeological Data Recovery: Data recovery at SIHP 50-60-03-00895 and -00896. Twelve units
		were excavated, Trenches 1 and 2 at State site 50-60-03-896 and Trenches 3-12 at.
		Archaeological efforts concluded that both historic properties were constructed and used
		historically with subsequent modern impact through trash deposits. The structures associated
		with SIHP -00895 were interpreted as historic era work areas and a storage shed, while charcoal
		from an earlier subsurface burn layer that identified between 40-60 cmbs returned radiocarbon
		dates of 1480-1690 and 1400-1660 cal A.D. This layer was interpreted as being related to pre-
		contact agricultural activities that predated the construction of the architectural features. SIHP -
		00896 was a cattle wall associated with historic ranching and delineating property boundaries.
Titchenal 1998	Kaunakakai	Archaeological Monitoring: Monitoring during construction at Malama Cultural Park. Five
		cultural features were recorded during the monitoring process. These included a structural,
		cobble pavement, floor with associated historical artifacts and traditional midden components
		(Feature 4); three primary deposits of historic trash (Features 1, 3, and 5); and a pit feature of
		undetermined function with associated midden material (Feature 2)
McGerty and Carson 1999	Kaunakakai	Archaeological Inventory Survey: Identified three additional surface features associated with
		SIHP 50-60-03-00895 which included a paved terrace (Feature D), an alignment (Feature E), and
		two adjoined, small terraces (Feature F).
McGuire and Hammatt	Kaunakakai	Archaeological Monitoring: Monitoring of the clearing and grubbing phase of the Kaunakakai
2000		Drainage System "A" Improvements. No historically significant finds, burials, cultural deposits,
		cultural materials or artifacts were observed.
Dye and Jourdane 2006	Kaunakakai	Archaeological Assessment: The project area was previously under commercial pineapple
		cultivation for many years. No historic properties were documented during the construction of
		the Moloka'i Education Center Building.



Table 3-1 (continued). Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-5)

Author	Ahupua'a	Type of Study
McGerty and Spear 2006	Kaunakakai	Archaeological Assessment: Limited to a pedestrian survey of approximately 5-acres. Noted
		previous ground disturbance within the parcel, no historically significant sites or other cultural
		materials identified on the surface.
Muise and Rechtman 2008	Makakupaia,	Archaeological Monitoring: Monitoring of roughly two miles of state, county, and DHHL public
	Kamiloloa,	right-of ways on the island of Moloka'i, alongside existing roadways extending roughly from
	Kaunakakai,	Kalama'ula to Ali'i Fish Pond as well as a marine landing site at Ali'i Fish Pond. No archaeological
	Kalama'ula	resources encountered during the course of monitoring.
Madeus and Hammatt	Kaunakakai	Archaeological Monitoring: Monitoring of ground altering activities associated with
2010		improvements to the existing wastewater system at Kaunakakai High and Elementary School.
		No archaeological deposits or other historically significant materials were encountered.
Cordy 2011	Kaunakakai	Archaeological Survey/Training Project: Identification and documentation of two previously
		identified historic properties (SIHP 50-60-03-00996 [heiau] and -00998 [gardening enclosure])
		and 10 newly identified historic properties (SIHP 50-60-03-02445 through 02454) mauka of
		Kaunakakai Town. These historic properties are reflective of short-term habitation, ceremonial
		spaces, dryland agriculture, and one possible long-term residential area.
McElroy et al. 2013	Kaunakakai	Archaeological Assessment: Pedestrian survey and excavation of nine trenches throughout the
·		park to determine the nature of stratigraphy on the parcel and to identify any cultural material
		or deposits that might occur there. No historically significant sites or cultural materials
		identified.
Sprouse et al. 2013	Kaunakakai	Archaeological Monitoring: Monitoring of the installation of new underground
	within the	telecommunication ducts within the Kaunakakai Civic Center. Excavations across the project
	proposed	area revealed modern/historic fill deposits over sterile alluvium. No intact cultural deposits or
	project parcel	features were encountered during the monitoring operations.



Table 3-1 (continued). Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-5)

Author	Ahupua'a	Type of Study
Keala and Elison 2014	Kaunakakai	Archaeological Monitoring: Two archaeological sites were encountered. SIHP 50-60-03-2514 is a
		historic wall on Kaunakakai Place which associated with the American Sugar Co. and SIHP 50-60-
		03-2523 is a historic support beam below the Kaunakakai Wharf. Aside from the two historic
		structures, no cultural material or deposits were encountered during monitoring.
Stine et al. 2014	Kaunakakai	Archaeological Monitoring: Monitoring of five soil augers for the Kaunakakai Harbor Ferry
		System Improvements. Identified one historic property (SIHP 50-60-03-02525) consisting of
		boulder fill associated with the railroad bed constructed in 1898 for the American Sugar Co.
		railroad.
McElroy and Eminger 2015	Kaunakakai	Archaeological Monitoring: Monitoring of soil borings performed in anticipation of potential
		modifications to the Kaunakakai levee system. A total of 18 borings were monitored and no
		archaeological deposits or materials were encountered.
Folio and Hammatt 2016	Kaunakakai	Archaeological Inventory Survey: Inventory survey of approximately 1.62 consisting of
		pedestrian survey and subsurface testing resulted in the identification of a historic era cultural
		deposit (SIHP 50-60-03-2573) interpreted as a possible buried refuse area.
Medrano and Dega 2016	Kaunakakai	Archaeological Monitoring: Monitoring of ground disturbing activities associated with the
		improvements completed at Duke Maliu Regional Park. Monitoring resulted in the
		documentation of intact alluvium characterized by sediment with high clay content. No
		historically significant sites or other cultural materials identified during monitoring.



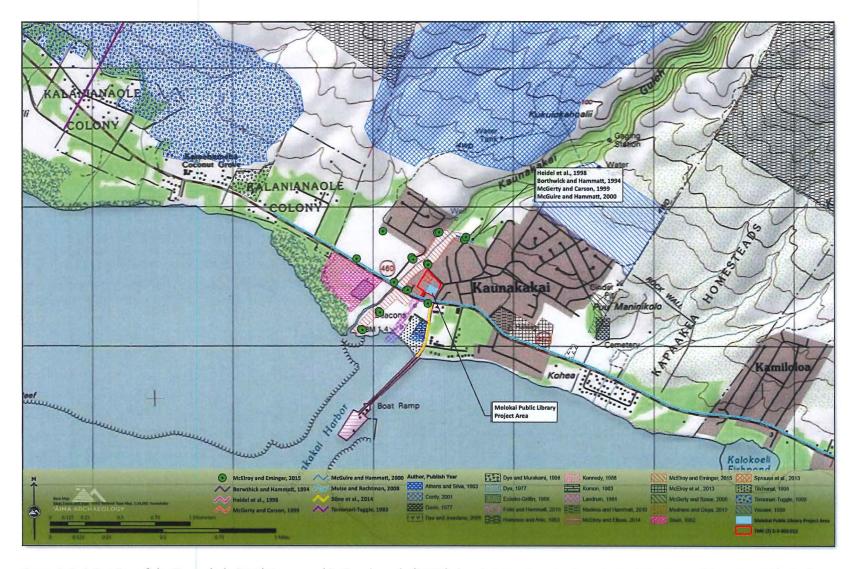


Figure 3-5. A Portion of the Kaunakakai 7.5' Topographic Quadrangle (1993) showing Previous Archaeological Studies within a One-Mile Radius of the Current Project Area.



3.5 SUMMARY OF BACKGROUND RESEARCH AND PROJECT AREA EXPECTATIONS

The current project area is located along the eastern edge of the Kaunakakai commerce center. While the pre-contact and historic-era settlement pattern for Kaunakakai Ahupua'a as described in Sections 3.1 through 3.2 have also been documented through archaeological and historical researd (see Section 3.4), encountering any surface indications of such historically significant archaeological sites within the current project area give the level of development at this location is unlikely. Paucity of archaeological sites on the surface of areas in the immediate vicinity notwithstanding, historically significant cultural deposits and structural remains have been identified in subsurface contexts. Such findings have included traditional habitation deposits and buried historic structural remnants associated with the commercial development of Kaunakakai Harbor, the information of which has proven valuable toward better understanding land use and settlement chronology.

The project area, specifically, has been utilized for commercial and public buildings historically, including an old school house and church prior to the 1920s (see also Figure 3-3), the Cooke Hall community center from at least 1924 to 1936 (see also Figure 3-2), and the Old Judiciary building from roughly 1935 to 2013 (Strazar 2000:14) (see also Figure 1-5). Therefore, while the possibility for encountering significant pre-contact deposits during excavation for pier and wall foundations for the proposed Molokai Library Meeting Room Addition is low (see Figure 1-8), there may be a higher probability for encountering historic deposits and remnants representative of the commercial and civic history of Kaunakakai within the current project area.



4.0 ARCHAEOLOGICAL MONITORING PLAN

As stated in HAR §13-279-3, archaeological monitoring may be recommended or required as an identification, mitigation, or post-mitigation contingency measure. As the extent of ground disturbing activities associated with the proposed Molokai Public Library Meeting Room Addition is limited to the post and pier footings with anticipated excavation depths limited to 2 to 2½ ft. in previously disturbed sediments, and given the fact that there have been no archaeological studies completed within the footprint of the overall library area, the Hawai'i State Historic Preservation Division (SHPD) has indicated a necessity for archaeological monitoring as an identification measure for the current project (per agency to agency consultation between the Department of Accounting and General Services [DAGS] and SHPD, November 17, 2017).

As previously noted, while the possibility for encountering significant pre-contact deposits during excavation for pier and wall foundations for the proposed Molokai Library Meeting Room Addition is low (see Figure 1-8), there is a higher probability for encountering historic deposits and remnants representative of the commercial and civic history of Kaunakakai (see Section 3.5) anywhere the current project area. The following sections outline archaeological procedures to be carried out during construction for the *Molokai Public Library Meeting Room Addition* and will serve as the governing archaeological monitoring plan for the project.

4.1 COORDINATION MEETING

Prior to construction commencement, the on-site archaeologist shall hold a coordination meeting to orient the construction crew to the requirements of the archaeological monitoring program. At this meeting the monitor will inform every one of his or her authority to temporarily halt construction in the event of a potentially significant find and that all historic finds, including objects such as bottles are the property of the landowner and may not be removed from the construction site. At this time, it will be made clear that the archaeologist must be on site during all ground disturbing activities.

4.2 AUTHORITY TO HALT GROUND DISTURBING ACTIVITIES

The on-site archaeologist shall have the authority to stop work immediately in the area of any findings so that documentation can proceed, and appropriate treatment can be determined. In addition, the archaeologist will have the authority to slow and/or suspend construction activities to ensure that the necessary archaeological sampling and recording can take place.

4.3 Archaeological Monitoring Fieldwork

On-site monitoring is recommended for all initial ground disturbance activities. A qualified archaeologist will monitor all ground disturbance associated with the project's construction. Given the relatively limited areal excavation footprint and shallow excavation depths (see Figure



1-7 and Figure 1-8), it is possible that once the excavation of initial footings and any utility trenches have been completed, and in the event that no historically significant cultural material deposits or culturally sensitive remains are identified, that archaeological monitoring may move to on-call monitoring. Any shift to on-call monitoring or other departure from this plan shall not commence without consultation with and written concurrence from, SHPD/DLNR.

Archaeological monitoring fieldwork may include the identification of subsurface structural and/or utility remnants of the old judiciary building, as well as, archaeological deposits (e.g. trash pits or shallow cultural layers) the documentation of which will utilize current standard archaeological recording techniques and include the following:

Recordation of sediment profiles exposed during excavation where cultural features or artifacts are exposed, as well as, representative profiles of general profile sidewalls even when if no historically significant sites are encountered shall include the following:

- 1. Sediment descriptions using standard USDA soil terminology and Munsell Soil Color Charts,
- 2. Drawings to scale of entire profile sidewalls were cultural features are observed and/or representative sections were exposures are archaeologically sterile,
- 3. Photographs with a scale,
- 4. Depiction of profile locations on project area maps or construction plans, and,
- 5. Sampling of cultural features to include the collection of representative artifacts, bulk sediment samples, and/or the on-site screening of measured volumes of feature fill to determine feature contents.

Documentation of all inadvertent non-burial historic properties encountered shall be completed in accordance of HAR Chapter 13-280. The following procedures shall be followed in the event that human remains are encountered during project excavation:

- No further work will take place, including no screening of back dirt, cleaning and/or excavation of the burial area, and no exploratory work of any kind unless specifically requested by the SHPD.
- 2. All human skeletal remains that are encountered during construction will be handled in accordance with HRS Chapter 6E-7 and 6E-8 and HAR Chapter 13-300 in consultation with SHPD/DLNR.
- 3. All documentation of all inadvertent burial historic properties shall be conducted in accordance with HRS Chapter 6E-43 and Chapter 13-300.

4.3.1 Laboratory Procedures

Laboratory work will be conducted in accordance with HAR 13-279-5-(6) and laboratory analysis of non-burial related finds shall be conducted in the following manner:



- 1. All cultural material collected shall tabulated into table form and portable artifact and flora/fauna analysis shall minimally include the following:
 - a. artifacts will be documented as to provenience, weight, length, width, type of material, and presumed function,
 - b. faunal remains will be documented as to provenience, count, weight, and genus/species were possible
- 2. Photographs of representative artifacts will be taken for inclusion into the archaeological monitoring report. Bone and shell midden materials will be sorted down to species, when possible, and then tabulated by provenience.
- 3. As appropriate, collected charcoal material obtained within intact cultural deposits will be analyzed for species identification. Charcoal samples ideal for dating analyses will be sent to Beta Analytic, Inc. for radiocarbon dating.
- 4. If appropriate, basalt artifacts may be sent to the University of Hawai'i-Hilo Geoarchaeology lab for Energy-Dispersive Xray Flourescence (EDXRF) analysis in order to identify and possibly geographically locate the source material.
- 5. All analyzed samples, provenience information, and results will be presented in table form within the archaeological monitoring report.

4.4 REPORT PREPARATION

In order to fulfill the requirements of archaeological monitoring studies per HAR §13-279-4 and -5, the development and submittal of an archaeological monitoring report shall be prepared and submitted to SHPD for review and acceptance. A primary objective of this report will be to present a stratigraphic overview of the project area that will allow for predictive assessments for the probability of encountering historically significant deposits and/or culturally sensitive features within adjacent properties in the event of future development.

At a minimum, the report will address the requirements of a monitoring report per HAR §§13-279-5(1) through (10). Photographs of excavations will be included in the monitoring report even if no historically-significant sites are documented. If burials and/or human remains are identified during archaeological monitoring, any letters, memos, and/or reports generated as a result of the find may be requested by the Burial Sites Program. Should burial treatment be completed as part of the monitoring effort, a summary of this treatment will need to be included as a part of the archaeological monitoring report.

4.5 ARCHIVING AND CURATION OF COLLECTED MATERIALS

In the event that human burials are encountered during the course of monitoring and removed only at the direction of SHPD, all human skeletal remains and any associated artifacts or $moep\bar{u}$ will be temporarily curated in a clean and secured on site location until a burial treatment plan prepared in accordance with HAR 13-300-33 has been reviewed, accepted, and re-interment and/or preservation arrangements have been made.



Materials not associated with burials will be temporarily stored at the contracted archaeologist's facilities until an appropriate curation facility is selected in consultation with the landowner and/or project proponent. The location of the depository and summary of the collection items will be included in a section of the archaeological monitoring report.



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LETTER OF DESIGN REVIEW FROM CULTURAL RESOURCES COMMISSION

APPENDIX



ALAN M. ARAKAWA Mayor

WILLIAM R. SPENCE Director

MICHELE CHOUTEAU McLEAN
Deputy Director



COUNTY OF MAUI DEPARTMENT OF PLANNING

February 2, 2018

Munekiyo Hiraga Attn: Yukino Uchiyama, Associate 305 High Street, Suite 104 Wailuku, Hawaii 96793

Dear Ms. Uchiyama:

RE: DESIGN REVIEW BY THE CULTURAL RESOURCES COMMISSION FOR A PROPOSED ADDITION TO THE MOLOKAI PUBLIC LIBRARY, KAUNAKAKAI, MOLOKAI, TMK

(2) 5-3-005:012

At its January 4, 2018 meeting, the Cultural Resources Commission (Commission) reviewed the design for the proposed addition to the Molokai Public Library. The subject property is listed in the Hawaii Register of Historic Places. Pursuant to Subsection 2.88.060.F, Maui County Code, the Commission may provide design review for buildings eligible or listed in the Hawaii or National Register of Historic Places.

Given the historical and architectural significance of the property, the Commission recommended that the proposed addition follow the Secretary of the Interior's *Standards for Rehabilitation*. The Commission further commented that the proposed design, as presented, appears to comply with the *Standards for Rehabilitation*.

Should you have any questions or require additional clarification, please contact Annalise Kehler, Cultural Resources Planner, at (808) 270-7506.

Sincerely,

WILLIAM SPENCE

Planning Director

xc: Yukino Uchiyama, Munekiyo Hiraga (PDF) Tonia Moi, Fung Associates (PDF)

CRC File (K:\WP DOCS\PLANNING\CRC\2018\Molokai Public Library Addition Design Review\CRC Comment Letter)

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CULTURAL IMPACT ASSESSMENT REPORT

APPENDIX



FINAL

CULTURAL IMPACT ASSESSMENT FOR THE PROPOSED MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION

Kaunakakai Ahupua'a, Kona Moku (Moloka'i Tax District), Moloka'i Island TMK: [2] 5-3-005:012 por.



Ua ao Hawaiʻi ke ʻōlino nei mālamalama Hawaiʻi is enlightened, for the brightness of day is here ʻŌlelo Noʻeau 2773 (Pukui 1983:305) COVER PHOTO: MAIN ENTRANCE OF MOLOKAI PUBLIC LIBRARY. MANA'O (MEANING) BEHIND 'ŌLELO NO'EAU 2773

Hawai'i is in an era of education (Pukui 1983:305). Hawai'i is described as bright, shiny and brilliant. It is likened to the brightness of day. The word for day in Hawaiian is ao, but it also means light and light represents intelligence and wisdom. Hawai'i gains these characteristics of light, brightness and brilliance because of the education and intellect of our people.... (Kawaa 2010)

FINAL

CULTURAL IMPACT ASSESSMENT FOR THE PROPOSED MOLOKAI PUBLIC LIBRARY MEETING ROOM ADDITION

Kaunakakai Ahupua'a, Kona Moku (Moloka'i Tax District), Moloka'i Island TMK: [2] 5-3-005:012 por.

2/9/2018

State Agency:

Department of Accounting and General Services (DAGS)

1151 Punchbowl Street

Honolulu, HI 96813

Prepared For:

Fung Associates, Inc. 1833 Kalakaua Ave., Suite 1008 Honolulu, HI 96815

Prepared By:

Tanya Lee-Greig, M.A.



Executive Summary

Project

Cultural Impact Assessment for the Proposed Molokai Public Library Meeting Room Addition

Project Area and Region of Influence

The State of Hawai'i Department of Accounting and General Services (DAGS), along with the Hawai'i State Public Library System, is seeking to expand the capacity of the historic Molokai Public Library which is located on a portion of TMK (2) 5-3-005:012 within Kaunakakai Ahupua'a, Kona Moku (Moloka'i Tax District), Moloka'i Island. The overall footprint of the project area is limited to less than one-acre and includes the Molokai Public Library and area immediately west of the building.

For this study, or cultural impact assessment, the *ahupua'a* of Kaunakakai is considered the overall "study area" while the construction footprint of the proposed project is identified as the "project area"

Results of Research and Outreach

The focus of consultation was to understand if the proposed Molokai Public Library Meeting Room Addition will have an adverse effect on traditional cultural practices. Given the location of the proposed project within Kaunakakai Town and the small construction footprint, adverse effects to *mauka* or *makai* resources, as well as previously documented significant historic properties and known burial areas as a result of the project are not anticipated. Likewise, hinderance of access to these resources as a result of proposed project construction activities and build-out is not anticipated.

The main concern expressed by some who participated in the consultation was in regard to the Hina sculpture, *Pu'ino Kolu o Hina*. *Ho'okupu* and *lei* have been known to appear and be left with the sculpture, while visitor tours of Kaunakakai Town have included the sculpture as an educational focus. Regarding this concerns about retaining visibility to the structure, project plans show that the construction footprint is located directly behind the library structure while landscaping plans show a good distance from the construction footprint and therefore clear line of site to Ala Malama will be maintained. While the plaque and basalt plinth is located on the edge of the construction footprint there are no plans to remove it, either temporarily or permanently, and will stay in place throughout construction.

Finally, with regard to potentially significant historic properties within the current project area, , has been utilized for commercial and public buildings historically, including an old school house and church prior to the 1920s, the Cooke Hall community center from at least 1924 to 1936, and the Old Judiciary building from roughly 1935 to 2013. Therefore, while the probability for encountering significant pre-contact deposits during excavation for pier and wall foundations for



the proposed Molokai Library Meeting Room Addition is low, there may be a possibility for encountering historic deposits and remnants representative of the commercial and civic history of Kaunakakai within the current project area. Preliminary consultation with the State Historic Preservation Division has indicated that Archaeological monitoring would likely be recommended as an identification measure.

Project Recommendations

With regard to *Pu'ino Kolu o Hina* and the accompanying plaque, it is recommended that access to the sculpture and plaque is not hindered during construction. Because of the significance of both to the community, and to ensure that the plaque is protected during construction, it is additionally recommended that both the sculpture and plaque are clearly labeled on construction plans with a note regarding avoidance. It is also recommended that protective measures for the plaque be undertaken during construction of the meeting room and hardscape features.



Acknowledgments

Many thanks go out to the various individuals who shared their *mana'o* for this study. Information shared helped tremendously in understanding the significance of *Pu'ino Kolu o Hina* which pushed us to take a deeper look into understanding the relationship of Moloka'i with Hina, along with the genesis and *mana'o* behind the sculpture.

Most important it is with sincerest gratitude and fondest aloha that I thank Aunty Kau'i Manera for taking the precious time and offering her *kokua* in reaching out to *kūpuna* of Kaunakakai and those who grew up in town for this study. Mahalo Nunui!



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1.0 Introduction

The State of Hawai'i Department of Accounting and General Services (DAGS), along with the Hawai'i State Public Library System, is seeking to expand the capacity of the historic Molokai Public Library which is located on a portion of TMK (2) 5-3-005:012 (Figure 1-1) within Kaunakakai Ahupua'a, Kona Moku (Moloka'i Tax District), Moloka'i Island. The overall footprint of the project area is limited to less than one-acre and includes the Molokai Public Library and area immediately west of the building.

As a part of the Environmental Assessment process for the proposed project, 'Āina Archaeology, is conducting a study of traditional cultural practices within and adjacent to the proposed project area. The purpose of this study is to identify and assess any potential impacts that the proposed project may have on these practices. The Guidelines for Assessing Cultural Impacts adopted on November 19, 1997 by the Environmental Council, State of Hawai'i states:

(For) the cultural portion of an environmental assessment, the geographical extent of the inquiry should, in most instances, be greater than the area over which the proposed action will take place (proposed project area). This is to ensure that cultural practices which may not occur within the boundaries of the project area, but which may nonetheless be affected, are included in the assessment.... An ahupua'a is usually the appropriate geographical unit to begin an assessment of cultural impacts of a proposed action, particularly if it includes all of the types of cultural practices associated with the project area. (State of Hawaii Office of Environmental Quality Control 2012:11)

For this study, or cultural impact assessment, the *ahupua'a* of Kaunakakai is considered the overall "study area" while the construction footprint of the proposed project is identified as the "project area" (Figure 1-2).

1.1 PROJECT DESCRIPTION

Molokai Public Library is listed on the Hawaii Register of Historic Places significant as the only public library on Molokai and as a great example of rural architecture done by Harry K. Stewart, a prominent architect of the 1920s and 1930s whose style reflects a Hawaiian Regionalism that was gaining prominence at the time. As the only library in all of Molokai, the library is the center of numerous community activities. Unlike most libraries in the State, Molokai Public Library has no meeting room and currently has no extra space for any kind of growth of collections. This project is to provide an extension to the library to house staff functions as well as a meeting room that can be used by the public. This will allow the entire original building to house the growing collection. The goal of the project is to provide this needed space while not adversely impacting the historic character of the library.



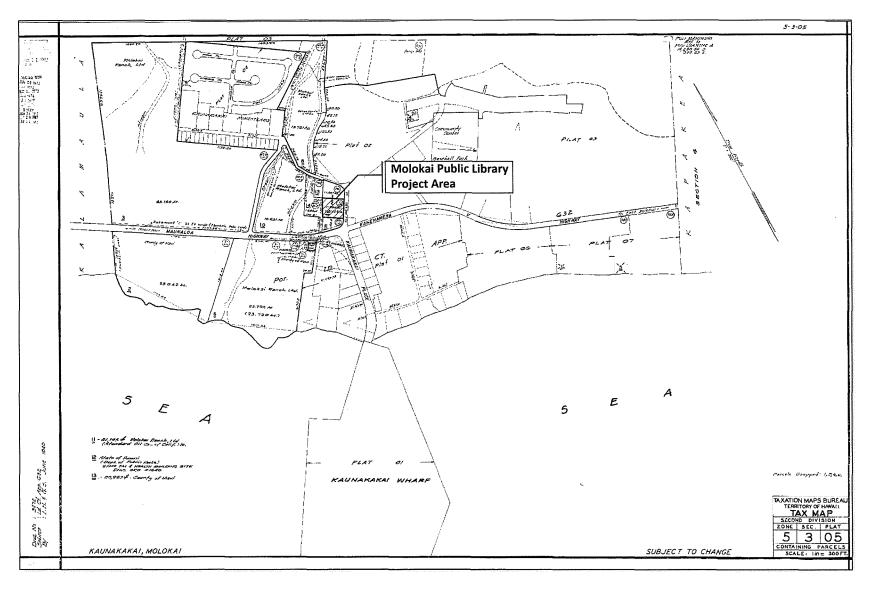


Figure 1-1. Tax Map Key (2) 5-3-05 showing the location of the project area in cross-hatch.



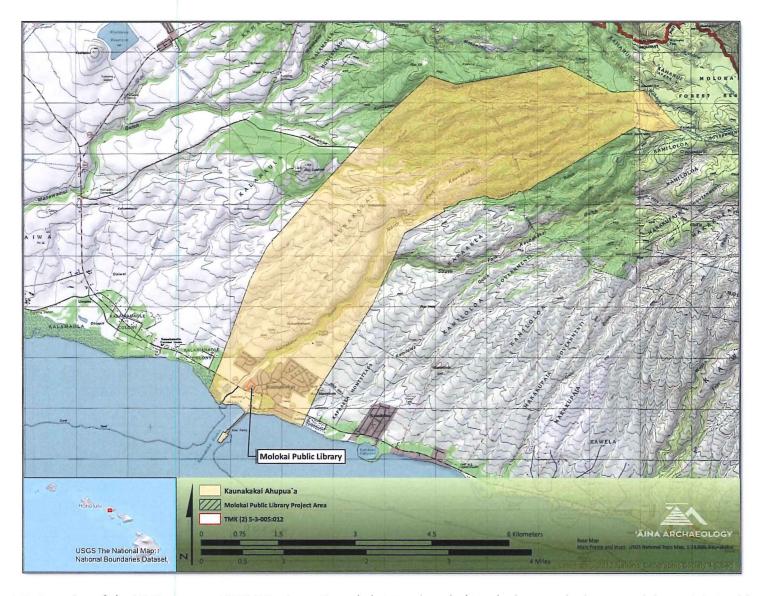


Figure 1-2. A portion of the US Topo map, USGS 7.5 minute Kaunakakai Quadrangle (1992), showing the location of the Molokai Public Library (project area) in relation to the ahupua'a of Kaunakakai (study area).



The area in which the meeting room will be constructed consists of a carport was initially constructed to house the library bookmobile (Figure 1-3) and an open grassy area that served as the former location of the Old Judiciary Building (Figure 1-4 and Figure 1-5). The proposed meeting room addition to the Molokai Public Library will be constructed off a *lanai* (open deck) that was enclosed in 1992 and will be connected via a breezeway through the rear portion of the former lanai ensuring that the primary historic structure remains intact (Figure 1-6). Per design concepts proposed by historic architects Fung Associates, Inc. the proposed addition will meet the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties as follows:

- The existing historic library will be left entirely intact.
- The 1990s carport will be demolished in order to constrict the new extension's footprint to that of the existing library.
- The addition will be connected by a breezeway through the rear of the building. That portion of the building was a 1992 enclosure of the once open lanai. Therefore, no historic materials shall be destroyed.
- The new work shall be differentiated from the old through materials. Powder-coated aluminum windows will be used in a similar configuration to existing, with large openings of sliding doors, the foundation will be concrete piers with lattice, and a wood interior will complement the original library's redwood tongue and groove interior walls.
- The proposed addition will have a double pitched roof with the same pitch as the original library building. However, the addition will be a simple double-pitched roof while the historic building has a curve to its double-pitch. The roof height will be no higher than existing.
- The addition will only be connected at the 1992 enclosure; should it be removed in the future; the essential form and integrity of the historic property and its current environment would be easily restored.





Figure 1-3. General view of the rear section of the Molokai Public Library and proposed location of the meeting room addition (in the foreground), book mobile carport to the right of frame, view to southeast.



Figure 1-4. Overview of existing enclosed lanai and location of the meeting room addition (open grassy area), book mobile carport in background, view to east.



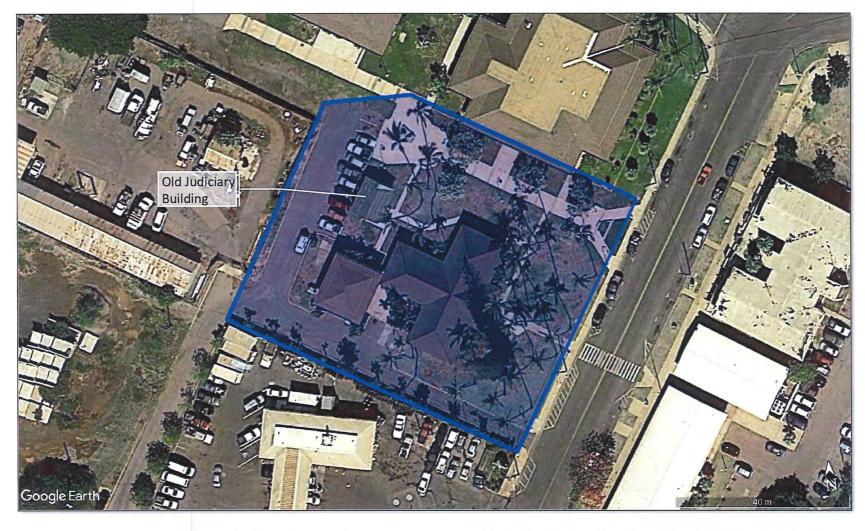


Figure 1-5. Google Earth aerial imagery 1/15/2013 showing the current project area (shaded in blue) and location of the old judiciary building in relation to the library structure and proposed construction area.



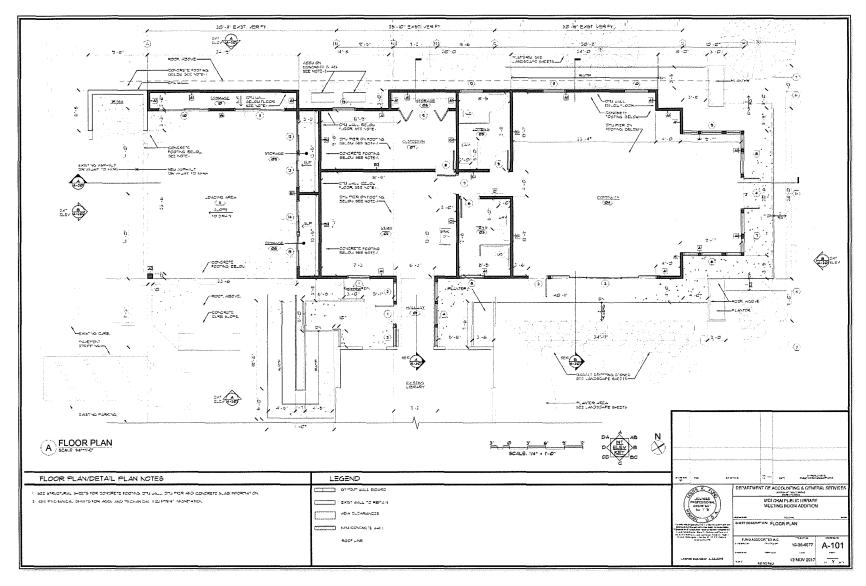


Figure 1-6. Proposed floor plan showing the location of the existing library (bottom) in relation to the meeting room addition (plan courtesy of Fung Associates, Inc.).



1.2 SCOPE OF WORK

The following outlines the scope of work carried out to complete the outreach and research for this Cultural Impact Assessment (CIA):

- Background Research into the general traditional cultural history and land use of Kaunakakai
 Ahupua'a overall (study area), with a focus on the cultural traditions of the *makai* reaches,
 along with *mauka-makai* connectivity where appropriate. This research will assist in a broad
 understanding of the cultural context for traditional cultural practices of the region that
 occurred prior to Western European contact and into the current era. Research materials
 would include:
 - o review of past and present environmental conditions to understand the natural and cultural resources of the region;
 - o study of Hawaiian history prior to and following Western contact with a focus on the *makai* environment of Kaunanakai Ahupua'a. This study would include but not be limited to a review of:
 - documents of the Māhele 'Āina;
 - previous archaeological studies; and,
 - historic maps and survey notes.
- Community Consultation and Outreach to include consultation and meetings where possible with either individuals or small groups and organizations that have cultural and generational ties to the area. This effort will assist in identifying and understanding current and past cultural practices within and adjacent to the proposed project area.
- Synthesis of the Results of Community Consultation and Outreach to include:
 - o a discussion on the cultural resources, practices and beliefs identified through consultation and research;
 - o for identified resources and practices, their location within the broad geographical area in which the proposed project is located; and,
 - o their direct or indirect significance or connection to the project site.
- Analysis and Discussion concerning the nature of the cultural resources and practices within
 the study area that may be affected directly or indirectly by the proposed project. This
 analysis and discussion would include but not be limited to an evaluation of:
 - o potential effect of the proposed project on cultural resources, practices or beliefs;
 - the potential of the proposed action to isolate cultural resources, practices or beliefs from their setting; and
 - the potential of the proposed action to introduce elements which may alter the setting in which cultural practice is taking place.



2.0 ENVIRONMENTAL SETTING

The overall study area of Kaunakakai Ahupua'a is located along the dry leeward slopes of south central Moloka'i and includes approximately 5310 acres extending from the shoreline to the summit of Kikiakalā at approximately 3159 ft. above mean sea level (amsl). A low-lying coastal terrace extends from the shoreline up to one-mile out with an extensive fringing reef that buffers the shore from approaching swells. The Molokai Public Library (current project area) is located between the 0 and 20-foot contour, approximately 0.23 -0.27 mi. inland from the modern coastline (see Figure 1-2).

2.1 NATURAL ENVIRONMENT OF THE CURRENT PROJECT AREA

The U.S. Department of Agriculture (USDA) soil survey data shows that the sediments within the current project area are a part of the Jaucas-Mala-Pulehu Association. This soil association is generally found on deep to nearly level excessively drained soils that have a coarse to fine textured subsoil (Foote et al. 1972:12).

More specifically, the current project overlies the lower limits of Mala Silty Clay (MmA) and near the inland limits the Kealia Silt Loam (KMW) in this region (Figure 2-1). The Mala Soil Series is formed of recent alluvium and consists of well-drained soils on the bottom of drainage ways and alluvial fans along the coastal plains (Foote et al. 1972:92). A representative profile consists of a dark reddish-brown silty clay underlain by stratified layers of dark reddish brown and very dark gray alluvium that is mostly silty clay (Foote et al. 1972:92). Runoff is slow and the erosion hazard of these soils is no more than slight with a water capacity of 1.4 inches per foot (Foote et al. 1972:92). In low lying areas, this soil is subject to flooding during heavy rains and shallow brackish water wells are often dug in this type of soil (Foote et al. 1972:92). At the time of the USDA soil survey, MmA soil was used for alfalfa, truck crops, orchards, pasture, and wildlife habitat.

The Kealia Soil Series is often found in association with the Mala Soil Series and consists of poorly drained soils on nearly level coastal flats (Foote et al. 1972:67). KMW soil units have a high salt content with a slope range of zero to one percent resulting in ponding in low areas after a heavy rain. This soil has a brackish water table that fluctuates with the tides as the water table is nearer to the surface along the shoreline and occurring at a depth of 0.30 to 1.01 m (12 to 40 in.) The subsurface layers of KMW soils are a dark reddish brown to dark reddish gray in the upper part and dark grayish brown to black near and at the water table (Foote et al. 1972:67). At the time of the USDA soils survey, areas with underlying KMW soils was used for wildlife habitat and pasture with small areas in urban development (Foote et al. 1972:68).

Within Kaunakakai Town, the annual rainfall averages less than 15 inches per year with the heaviest rainfall occurring during the *ho'oilo* season from November through March (Armstrong 1973:61-62; Giambelluca et al. 2013; Stearns and Macdonald 1947). The natural drainage of the region is via Kaunakakai Gulch which drains into the wetlands *makai* of the current project area.



Depositions of marine and fluvial or stream sediments has resulted in series of narrow flats that characterized the southern coast (Stearns and Macdonald 1947:2). Molokai vegetation zones include *kiawe* (*Prosopis pallida*) and lowland shrubs, Alpine stone desert, open and closed guava forests with shrubs, and closed 'ōhi'a lehua (Metrosideros polymorpha) rainforest (Armstrong 1973:70). Prior to human settlement, the surrounding soil types and rainfall accumulation of the general area likely supported a lowland dry shrubland and grassland native ecosystem (Pratt and Gon III 1998). Current vegetation within the vicinity of the current project area consists entirely of landscape plantings that include *niu* (*Cocos nucifera*), royal palms (*Roystonea regia*), *lā'ī* (*Cordyline fruticose*), plumeria trees, *tiare* hedges (*Gardenia taitensis*), other ornamental plants, and non-native lawn grass.



Figure 2-1. Portions of the Kaunakakai (1992) USGS 7.5 minute Topographic Quadrangles showing the current project area (hatched in blue) and overall TMK boundary outlined in red in relation to the underlying soil types (USDA-NRCS-NCGC 2001).





Figure 2-2. Plumeria tree and palms within the current project area.

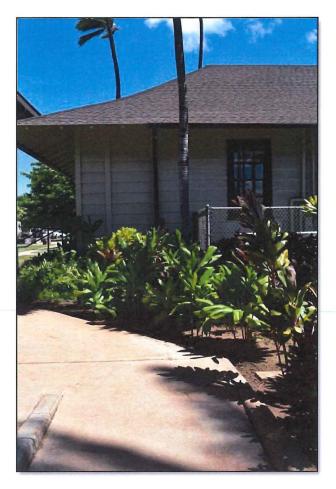


Figure 2-3. Lā'ī as a part of the landscaping plantings within the current project area.



2.2 BUILT ENVIRONMENT

The current project area is bound by Ala Malama Avenue to the southeast, State office buildings to the northeast, the County of Maui Baseyard to the northwest, and the Chevron Station Kaunakakai to the southwest (Figure 2-4). The built environment in the immediate vicinity of the project area includes the above-mentioned road way and facilities; as well as, the asphalt parking lot for the library to the northwest, a large carport for the old book mobile within the limits of the proposed construction area, and concrete sidewalks. The presence of utility boxes and an electrical transformer within the current project area indicate a high probability for the presence of subsurface utility lines within the limits of proposed construction.



Figure 2-4. Google Earth aerial imagery 7/3/2014 showing the location of the current project area (shaded in blue) in relation to the overall built environment.





Figure 2-5. Molokai Public Library parking lot, library building center of frame and bookmobile carport to the right of frame, view to south-southwest.



Figure 2-6. Book mobile carport center of frame and library building to the right of frame, view to north.





Figure 2-7. Overview of southern section of the proposed construction limits within the current project area, focus on concrete utility boxes and electrical box, book mobile carport to the right of frame, view to northwest.



3.0 BACKGROUND RESEARCH

The island of Moloka'i was traditionally divided into two *moku*, or traditional Hawaiian districts, prior to Western contact and included Ko'olau Moku defined by the predominantly windward environment to the north and Kona Moku which encompassed the remaining portion of the island (Summers 1971:iii). These *moku o loko*, or *moku* as they are most commonly called, literally means "to cut across, divide, separate" (Lucas 1995:77). When used as a term of traditional land tenure, a *moku* is similar to a modern political district and the largest of the traditional sociopolitical land divisions. The Civil Code of 1859 however, shows that following the Māhele of 1848, the *moku* of Moloka'i had been consolidated for taxation, educational, and judicial purposes with the names of Kona and Ko'olau dropped creating a single district called Moloka'i district (Coulter 1935:216). By 1915 and subsequent years, the portions of Moloka'i designated as the Kalaupapa settlement which included Kalaupapa, Kalawao, and Waikolu was carved out into a separate county called Kalawao. While the County of Kalawao was placed under the jurisdiction and control of the Department of Health (Hawaii Revised Statutes [HRS] Section 326-34) and included in the first judicial circuit (O'ahu) for judicial purposes, the remaining portion of the island fell under the jurisdiction of the County of Maui as Moloka'i District (Coulter 1935:223)

Within the traditional moku are smaller units of land called the ahupua'a, the name of which is derived from the Hawaiian term ahu (altar), which was erected at the point where the boundary of land was intersected by the alaloa (main road encircling the island), upon which a carved pua'a(hog) image, made of kukui wood and stained with red ochre was placed along with the tax of food items from that particular land unit as payment to the ali'i (chief) during the annual progression of the akua makahiki, (Alexander 1882:4). The typical configuration of the ahupua'a would cover the regions of the overall ecosystem which included kai hohonu (deep sea), kohola (reef), kahakai (seashore), kula (plains), nahele (forests), and kualono (mountain top), thus extending from the sea to the mountain so that the ali'i (chiefs), as well as the maka'āinana (common people) could have access to products of the uka (mountain region), the cultivated land, and the kai (sea) (Alexander 1882:4). While the boundaries of these larger land divisions generally followed prominent landforms (i.e. ridge lines, the bottom of a ravine, or defined by a depression) there were times where a stone or rock that was notable from a tradition or sacred use would mark a corner or determine a line (Alexander 1890:105-106). Along similar lines, the growth of a certain kind of tree, herb or grass, or the habitat of a certain kind of bird would sometimes define a the boundary of a land division (Alexander 1890:105-106).

The current project area is located within the *moku* of Kona (Modern District of Moloka'i), *ahupua'a* of Kaunakakai, on the island of Moloka'i (Figure 3-1 and Figure 1-2).



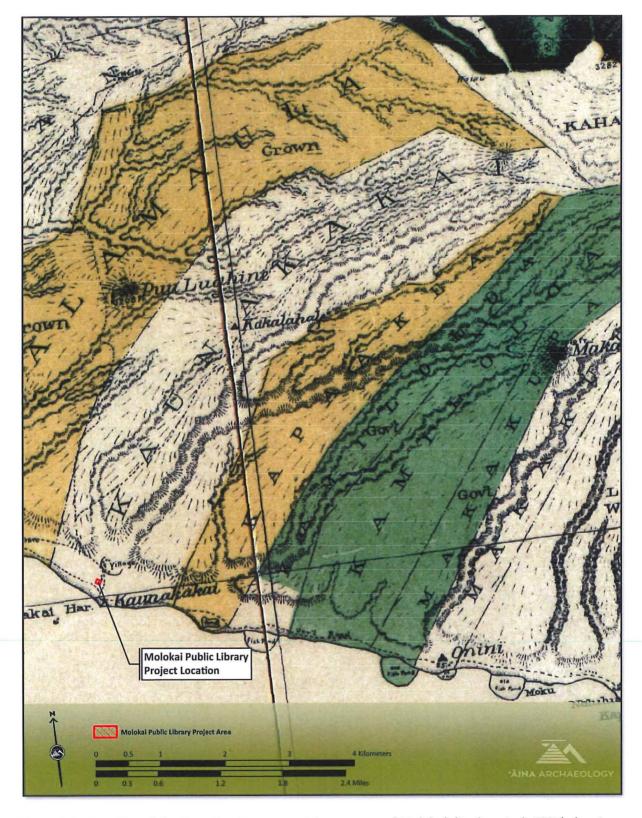


Figure 3-1. A portion of the Hawaiian Government Survey map of Moloka'i (Dodge et al. 1897) showing the approximate location of the current project area in relation to the traditional moku of Kona and ahupua'a of Kaunakakai (crown lands in yellow and government lands in green).



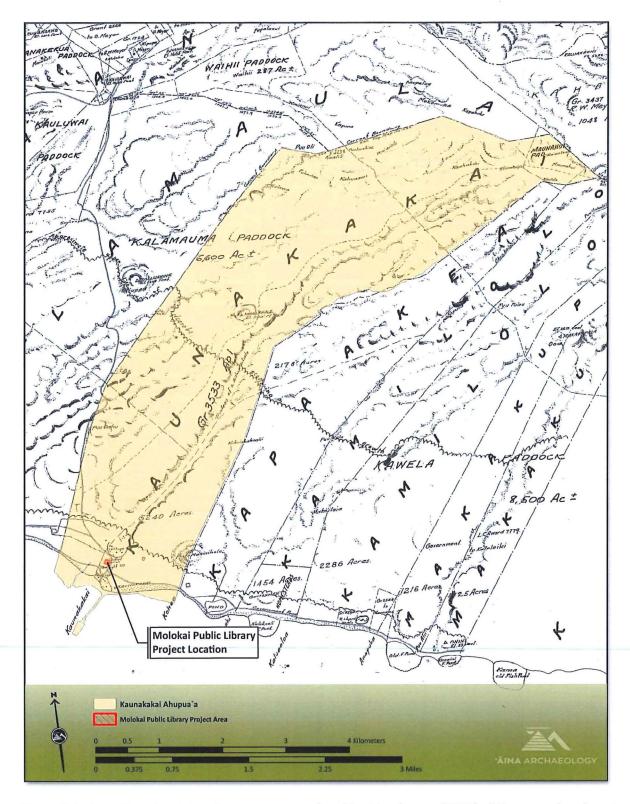


Figure 3-2. A portion of registered map 1299 completed by Mondsarrat (1886) of the central and west section of Moloka'i showing the current study area and location of the Molokai Public Library in relation to the overall ahupua'a (in orange) which shows the modern shoreline based on the 1992 USGS Kaunakakai topographic quadrangle.



3.1 HE MO'OLELO NO KAUNAKAKAI I KA WA KAHIKO

In the preface of *Place Names of Hawaii* (Pukui et al. 1976:x), Samuel Elbert states that:

Hawaiians named taro patches, rocks and trees that represented deities and ancestors, sites of houses and heiau, canoe landings, fishing stations in the sea, resting places in the forests, and the tiniest spots where miraculous or interesting events are believed to have taken place.

Place names are far from static ... names are constantly being given to new houses and buildings, land holdings, airstrips, streets, and towns and old names are replaced by new ones ... it is all the more essential, then to record the names and the lore associated with them (the ancient names) now.

Intrinsic in these statements of Elbert is the knowledge that the oldest place names held meaning and could tell the story of an area, or recorded the resources of a particular place, prior to European contact. A study of the place name meanings for the study area may yield some insight into the stories, patterns of life and land use within Kaunakakai Ahupua'a. The place names listed below are for land areas, fisheries, land divisions, markers, and other resources specific to Kaunakakai. These areas were identified through research of the available historic literary resources which include the Hawaiian Government and Territorial Survey Maps (Dodge et al. 1897; Mondsarrat 1886) and USGS Topographic 7-Minute Map (U.S. Geological Survey 1992). Unless indicated otherwise, the spelling, orthography, and translations presented below are taken from Pukui and others (1976).

Ananoia, Ananoio	Lit. "noddy tern cave," place name noted in the metes and bounds description of		
	Kaunakakai Ahupua'a for Grant 3533 to the trustees of the Bernice Pauahi Bishop		
	Estate; sea bird (Anous sp.)		
Elimakapoi	Place name noted on Registered Map 1299 off of the "old wood road" near the		
	apex of the ahupua'a		
Halawa	Lit. "curve", place name noted on Registered Map 1299 at the edge of Kuhuaawi		
	Gulch		
Kaahukini	Place name noted on Registered Map 1299 off of the "old wood road" near the		
	apex of the ahupua'a		
Kaalili	Place name noted on Registered Map 1299 within Kahuaawi Gulch		
Kahuaawi	Translation unknown		
(gulch)			
Kakalahale	Lit. "ridge house"		
(puʻu [hill])			
Ka Lae O Ka Manu	A spit of sand at Malama, Kamehameha V's home; named for the plover that used		
	to settle there (Cooke 1949:110, 151)		
Kaluaolohe	Lit. "naked pit" (U.S. Coast and Geodetic Survey 1903:407)		
Kapa'akea	Lit. "the coral or limestone surface"		
(ahupua'a)			
Kapahuku	Place name noted in the metes and bounds description of Kaunakakai Ahupua'a		
	for Grant 3533 to the trustees of the Bernice Pauahi Bishop Estate.		
Kaulolo	Translation unknown;		
Kaunakakahakai	Older name for Kaunakakai (Andrews 1865:556; Fornander 1917b:575; Willis and		
	Lee n.d.:Appendix D).		



	"resting on the beach" (Willis and Lee n.d.:Appendix D), "beach landing" (Pukui et				
	al. 1976:95), "Kauna kahaka'i (to go along in company of four)" (Cooke 1949:83),				
	and "current of the sea" (Ne et al. 1992:74)				
Kaunakakai	There are several surfing sites with summer swells on both sides of the harbor.				
(ahupua'a, town,					
gulch)					
Kikiakalā	Possibly short for <i>kiiki-a-ka-lā</i> , heat of the sun.				
Koheo	Lit. "to show off or twirl"				
Kukuiakahoalii	Lit. "light or kukui of Kohoʻāliʻi", Kohoʻāliʻi was an important god impersonated in				
	certain ceremonies, at <i>makahiki</i> the impersonator ate ceremonially the eity of a				
	human sacrifice or fish. The white ka'upu (Laysan albatross) bird, with the bones				
	removed, was a symbol of the god.				
Maunahui	Lit. "combined mountain"				
Pu'u Luahine	Lit. "old woman's hill" (Martin and Pierce 1913:503); believed to have the only				
	remaining traditional <i>maika</i> course on the island.				
Pu'u o Maniniholo	Lit. "hill for seining manini fish or creeping manini fish hill"				
Pu'u Maninikolo					
Pu'u Oʻahu	Lit. "hill of Oʻahu"				
Pu'u Oli	Lit. "happy hill"				
Puheoheo	Translation unknown				
Waiaiole	Translation unknown				
Waiaolona	Translation unknown				

For the place names where translations are known, we see a recurring reference to the characteristics, resources, and fauna of the sea. References and allusions to sea birds in the names Anonoia, Ka Lae o ka Manu, and Kukuikahoalii, as well as a possible spotting location for *manini* at Pu'u o Maninikolo (Maniniholo) speak to the bird and marine resources that may have played a prominent role in traditional Hawaiian practices. The name of Kapa'akea is likely in reference to the prominent coral shelf that extends from the southern shoreline while Kaunakahakai specifically refers to the good landing spot long before the development of modern wharf facilities due to the natural break in the shelf.

Handy et al. (1991) summarize the relationship between Hawaiians and the natural environment best in the following passage:

The sky, sea, and earth, and all in and on them are alive with meaning indelibly impressed upon every fiber of the unconscious as well as the conscious psyche. Hawaiian poetry and folklore reveal this intimate rapport with the elements, (Handy et al. 1991:23-24)

(T)he relationship which existed from very early times between the Hawaiian people ... is abundantly exemplified in traditional mele (songs), in pule (prayer chants), and in genealogical records which associate the ancestors, primordial and more recent, with their individual homelands, celebrating always the outstanding qualities and features of those lands. (Handy et al. 1991:42)



The origin of Moloka'i is attributed to the union of Wakea and Hina, the story for which has was told by Kaleikuahulu in *A Wakea Creation Chant* and recorded by Fornander:

Wakea sought a new wife and found Hina, Hina [when] found lived with Wakea, Hina brought forth the island of Molokai; Moloakinui was the large island of Hina. (Fornander 1920)

Elsewhere, Fornander records the birth of Moloka'i as a progeny of Kulawaiea (Wakea) and Hinanuialana (Hina):

Na Kuluwaiea o Haumea he kane, Na Hinanuialana he wahina,

Loaa Molokai he akua, he kahuna, He pualena no Nuumea It was Kuluwaiea of Haumea who was husband.

It was Hinanuialana the wife,

Then was born Molokai, a god, a priest, a yellow flower from Nuumea.

(Fornander 1916)

Thus the ancient poetic name of Moloka'i being Molokai Nui a Hina "Great Molokai, Child of Hina" (Ne et al. 1992:xviii; Pukui 1983:238).

Accounts concerning Kaunakakai generally refer to the area as a preferred canoe landing for interisland travelers to rest and restock provisions. The area demonstrates favorable environmental conditions for use as a landing, including wind direction, the large natural harbor formed by a break through the fringing reef (which also provided for good fishing and a safe and calm anchorage inside the reef), its central location on the island, and nearby off-shore fresh water springs (Remy in Weisler 1989:11-12). Kaunakakai is a known canoe landing in both of the Hawaiian literary classics "Pele and Hi'iaka" (Emerson 1915) and "Ui'ieikawai" (Haleole 1918). Based on the traditional accounts, it appears that the Kaunakakai area was long known throughout the archipelago as a safe resting place. An 'ōlelo no'eau (poetical saying) that speaks directly to the well-known reef of south Moloka'i and canoe travel goes:

Moloka'i ko'o lā'au.

Moloka'i of the canoe-poler.

The reef at the southern shore of Moloka'i extends out as far as one-half mile in some places. At low tide the water is no more than eight feet deep. Because it is so shallow, the people could propel their canoes with poles.

'Ōlelo No'eau 2192 (Pukui 1983:238)

Early demographic observations may provide some insight into the locations of the traditional population centers of Moloka'i. The first formal census calculations note that by 1823, over three-fourths of the population of Moloka'i lived on the Eastern end of the Island, noting large settlements at Kalua'aha, Puko'o, Halawa Valley, Kamalo'o, and Kaunakakai, with over 500 people in Halawa Valley and 144 at Kamalo'o and Kaunakakai respectively (Willis and Lee n.d.).



3.1.1 Ka 'Oihana Lawai'a no Kaunakakai – Traditional Fishing and Gathering of Marine Resources at Kaunakakai

As a whole, the island of Moloka'i is well known for the immense fish ponds that line the southern shoreline of the island and Kaunakakai specifically as a good place for the canoes to land and fish to be gathered (Willis and Lee n.d.:Appendix D). The geology of Moloka'i and importance of the marine resources to those who lived along the southern coast line was recorded by European observers:

The mountains, forming the eastern part of the island, gradually descend to the westward, and like those of owe, terminate on a low isthmus, which appears to divided the island into two peninsulas.... The country from Crynoa [?] rises from the sea by an ascent, uninterrupted with chasms, hills, or vallies [sic]. The uniform surface, on advancing to the westward, exhibited a gradual decrease in the population; it discovered an uncultivated barren soil, and a tract of land that gave residence only to a few of the lower orders of the islanders, who resort to the shores for the purpose of taking fish, which they abound. Those so employed are obliged to fetch their fresh water from a great distance; none but what is brackish being attainable on the western parts of Morotoi (Moloka'i). (Vancouver and Vancouver 1798:202)

A specific marine resource that Kaunakakai was especially noted for was the *aloalo*, or squilla (*Squilla* sp.), a type of crustacean that would grow up to four inches long and live in the holes of dead coral near the shore (Handy et al. 1991:520). Handy and others further note that only the males, which were recognizable by a characteristic jerky movement when lured from their hole, were caught for subsistence. In addition to the faunal resources of the marine environment, the manufacture of *pa'akai* (salt) may have also played a role in traditional land use and lifeways that would expand and continue as a commercial venture at Kaunakakai until at least 1924 (Figure 3-3) and eventually became the site of a dump in 1961 (Summers 1971:87). Summers describes the salt making process as follows:

The salt pans were made "something like a taro patch." Sea water was run into the pans at high tide, and when the tide ebbed, some of the water remained. The water was allowed to stand from one to three weeks, after which the salt was gathered and dried. The salt formed here was not as salty as the salt formed by waves from the deep sea... (Summers 1971:87)

With regard to the taste and color of *pa'akai* that was made here, the people of Moloka'i would say that, "Our salt is not too sour, our salt is white" (Willis and Lee n.d.:Appendix D).



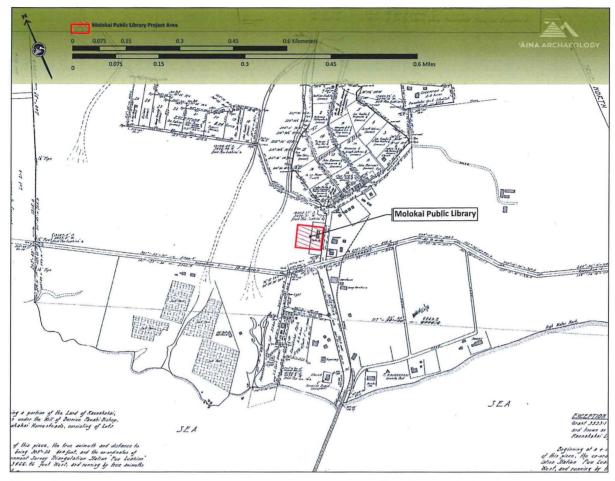


Figure 3-3. A portion of Land Court Application No. 632 Map 1 (Wright 1924) showing the salt pans of Kaunakakai in relation to the approximate location of the Molokai Library Project area.

3.1.2 Ka 'Oihana Mahi 'Ai no Kaunakakai – Traditional Agriculture within Kaunakakai

Though the resources of the ocean appear to have been the primary focus of traditional subsistence along the southern shoreline prior to Western contact, Handy and others describe dry land agriculture practices, as well as farming within the marsh lands, that characterize the southern coast of Moloka'i:

At Kamalo we observed ... a method of taro cultivation said to have been common along this coast in ancient times. In flat swampy ground earth is heaped up into long mounds 3 or 4 feet high and about 3 feet broad on top, each mound surrounded by water left standing in the ditches created by digging out and heaping up the earth. The taro is planted around the lower margins of the mounds near the water; sweet potatoes are planted on top...

While the windward pali coast and Halawa Valley on the eastern tip of Molokai were famous for taro, the southern coast and the western plateau of the island were planted in sweet potatoes along the shore and on the kula (plain).

...On the slopes of Kakalahale and Luahine hills, between Kaunakakai and Kalamaula, there were potato plantations. (Handy et al. 1991:515, 517)



Previous archaeological studies shows the presence of dry-land agricultural features in the upland sections of Kaunakakai therefore noting that though Kaunakakai Ahupua'a is firmly situated on the lee side of the island, and though the rainfall accumulation may not have supported extensive *lo'i kalo* (wetland taro) cultivation, dry-land cultivation as described by Handy and others was undertaken on the *kula* region and upland of Kaunakakai (figure)

3.1.3 Warfare and the Importance of Kaunakakai

Prior to Western contact and into the wars of unification carried out by Kamehameha I, Kaunakakai was an important connecting point for *ali'i* during times of war.

3.1.3.1 Alapa'i Nui and his Defense of Moloka'i

Alapa'i nui was at Kīhei following an abandoned campaign against Maui following the death of King Kekaulike and ascension of his nephew Kamehameha-nui when he had heard that the ruling chief of O'ahu had decided to make war on Moloka'i. Kamakau notes that because the chiefs of Molokai were the children and grandchildren of Keawe, Alapa'i had become sympathetic to the trials of his 'ohana (family) and went to the aid of Moloka'i:

He sailed from Maui and landed at Pukoʻo. From Waialua to Kaluaʻaha the fleet of Hawaii extended. The fighting was in progress at Kamaloʻo (Kamalō) with Ka-pu-lei as the battlefield. There the forces of Hawaii, joined with those of Molokai, made a formidable array. The chief of Oahu, Ka-piʻi-oho-o-ka-lani, was encamped at Kalamaʻula, and the country form Kaunakakai to Naʻiwa was occupied by the chiefs and fighting men of Oʻahu....

On the fifth day at Kawela the decisive battle was fought. Every able-bodied man came out of his house to fight. The Molokai forces attacked from the hills, those of Hawaii from the sea, while a great number landed from the feet and fought on land. The battle began in the morning and lasted until afternoon. The ruling chief of Oahu found himself surrounded by sea and by land and hemmed into a small space. Ka-pi'i-oho-o-ka-lani died at Kawela below Kamiloloa, and many chiefs and fighting men were slaughtered, but some escaped and sailed for Oahu.

At the close of the war on Molokai, the chiefs were gratified by the return to them of their lands. (Kamakau 1992:70-71)



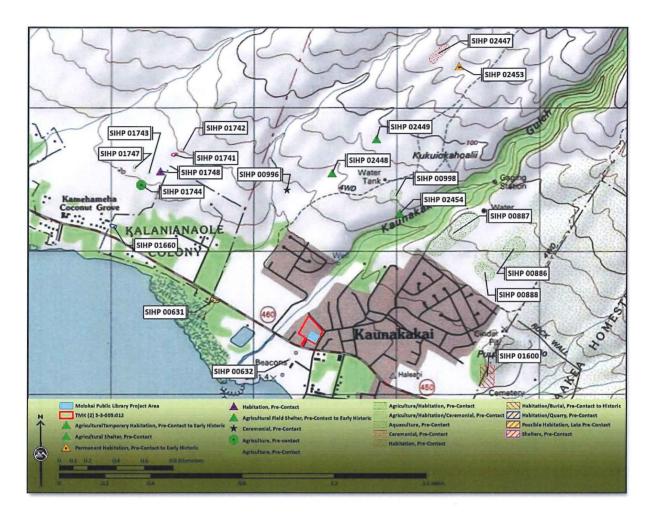


Figure 3-4. A Portion of the Kaunakakai 7.5' Topographic Quadrangle (1992) showing Previous Archaeological Studies within a One-Mile Radius of the Current Project Area.

West of the approach to the Kaunakakai wharf was Kamehameha V's home, Malama. The beach in front of this site was used exclusively by the Ali'i for sun bathing. Emerson reported that there was a maika field "on the plains back of Kaunakakai" but the location of that field is now forgotten.

3.1.3.2 Internal Struggles on Moloka'i

After the battles in which Kuali'i retained his title as $m\bar{o}'\bar{1}$ of O'ahu (Fornander 1917a), word was brought to him of the internal wars on Moloka'i, where the chiefs were in conflict with one another over the rich fishing resources of Kona Moku. Kaunakakai became central focus as a meeting place for Kuali'i and the chiefs of Kekaha. Fornander describes the conflict as follows:

The chiefs on the Koolau side of Molokai were anxious to get possession of Kekaha, a stretch of country from Kawela to Maamomi (Mo'omomi); and the reason why these chiefs were so desirous of getting possession of this section of country was on account of the fishing. But the chiefs of Kekaha, knowing the value of these fishing grounds, were determined to hold on to them; so this determination on their part caused a general internal conflict at this time.



When Kualii heard of this general conflict on Molokai, he left Hilo and set sail for Molokai. On the way Kualii touched at Honokowai in Kaanapali, Maui where a chief by the name of Paepae arrived at the same time. This Paepae was one of the chiefs of Kekaha, and the reason why he had come to Maui was to enlist Kauhi, one of the chiefs of Maui, to come to their aid. When Paepae saw for himself that it was indeed Kualii he decided there an then to abandon his first idea of enlisting Kauhi's aid...Upon his arrival at Kaunakakai he found that all the chiefs of Kekaha had gone to Kalamaula prepareing for another battle to commence upon the arrival of Kauhi.... Paepae told Kualii the object of his errand ... (w)hen Kuallii heard this he immediately gave his consent and the canoes were again put to sea and they set sail for Kaunakakai where they arrived in due time....

At the final battle which was fought in Pelekunu ... Paepae showed is quality by routing the whole army. After this great slaughter at Pelekunu, Paepae stood up in the canoe and spoke to the people in a boastful manner saying: "You are all slain by the war club of Kualii." ... The chiefs of Koolau then gave up to Kualii to the whole of Molokai. (Fornander 1917c)

3.1.3.3 Kamehameha I and the Wars of Unification

Following the Battle of Kepaniwai at Iao Valley on Maui, where Kamehameha I solidified his victory on Maui, the high chiefess Kekuipoiwa Liliha and her daughter Keōpuōlani, the latter of whom would later become the Sacred Wife to Kamehameha I and Queen Mother to his ruling heirs, escaped through Olowalu to meet their mother, high chiefess Kalola, at Kalama'ula, Moloka'i (Fornander 1880:237). When Kamehameha heard of this, he sent word to Kalola to not proceed to O'ahu as he would coming to take them back to Hawai'i Island. Kamehameha and his company of chiefs landed at Kaunakakai to meet with Kalola at Kalama'ula, and upon seeing her ill health asked her for her daughter and granddaughter so that he might take them back to Hawai'i to rule as chiefs, to which Kalola answered, "If I die, the girl and the sisters are yours." (Kamakau 1992:149)

Kaunakakai would play a final central role as a meeting place of *ali'i* during the wars of unification under Kamehameha I as one of the places in which he landed his great war party (Kamakau 1992:159) and would later reside and hold council to plan his campaign against O'ahu (Kamakau 1992:172).

3.2 WESTERN CONTACT AND 19TH CENTURY CULTURE CHANGE

In the years following the unification of the Hawaiian Islands, the demographics and economy of Moloka'i would go through rapid and drastic changes. The arrival of the Protestant missionaries in the 1820s resulted in the establishment of a network of public schools throughout the villages of the archipelago. In 1828, a group of missionaries travelled to Moloka'i to determine the progress of the schools and traveled from Hālawa to Kaunakakai where they stayed for the night. Andrews records the journey and environment of early nineteenth century Kaunakakai and the southern coastline as follows:

Having examined a large school here, we walked on, and the chiefs followed, in canoes. We travelled along, on the sea shore, finding very little vegetation, on account of the



drouth. There is scarcely any water on this side of the island. About two o'clock, P.M., we reached Kumuali, where we concluded to finish the examination....

Here then is presented the interesting spectacle, of a population of 5,0000 souls on a single island, emerging from the darkness of heathenism, through the instrumentality of *native teachers*, who were themselves heathens, eight years ago – and already enjoying the benefits of Christianity so far, that *one fifth of the whole population* are receiving instruction in Christian schools; and nearly all these are able to read the work of God, whenever it can be put into their hands.

We estimated the number of inhabitants at 5,000. We numbered nearly 700 houses, and think there are about 1,000 on the island. We think nearly one quarter of the people are members of the schools. (Andrews and Greene 1829)

3.2.1 1840-1851 – The Great Mähele

In 1848, King Kamehameha III and 245 *ali'i* (royalty) and *konohiki* (landlord) came together to divide the lands of the kingdom into three classifications. The Crown and the *ali'i* received their land titles and awards for both whole *ahupua'a* and individual parcels within an *ahupua'a* which were then subsequently formally granted in 1850 (Alexander 1890:114). The lands given to the *ali'i* and *konohiki* were referred to as Konohiki Lands and lands retained by the King as Crown Lands. The distinction of Crown land is important and defined as:

... private lands of His Majesty Kamehameha III., to have and to hold for himself, his heirs and successors forever; and said lands shall be regulated and disposed of according to his royal will and pleasure subject only to the rights of tenants. (Kingdom of Hawaii 1848)

At the death of Kamehameha IV and with lack of a clear heir some confusion as to the inheritance of Crown lands and whether or not it followed the family line or the throne. It was decided by the Supreme Court that under the confirmatory Act of June 7th, 1848, "the inheritance is limited to the *successors* to the *throne*," "the wearers of the crown which the conqueror had won," and that at the same time "each successive possessor may regulate and dispose of the same according to his will and pleasure as private property, in the manner as was done by Kamehameha III" (Alexander 1890:121).

The third classification of lands partitioned out was termed Government lands that were defined and set aside for management in the following manner:

... those lands to be set apart as the lands of the Hawaiian Government, subject always to the rights of tenants. And we do hereby appoint the Minister of the Interior and his successors in office, to direct, superintend, and dispose of said lands, as provided in the Act ... (p)rovided, however, that the Minister ... shall have the power, upon the approval of the King in Privy Council, to dispose of the government lands to Hawaiian subject, upon such other terms and conditions as to him and the King in Privy Council, may seem best for the promotion of agriculture, and the best interests for the Hawaiian Kingdom ... (Kingdom of Hawaii 1848)

In 1850, most of the chiefs ceded a third of their lands to Kamehameha III in order to obtain an allodia title for the remainder. The majority of these lands were then placed into the Government land base (Alexander 1890:114). The designation of lands to be set aside as Government lands,



paved the way for land sales to foreigners and in 1850 the legislature granted resident aliens the right to acquire fee simple land rights (Moffat and Fitzpatrick 1995:41-51).

In designations of lands as either Crown or Government, and through all awards of whole ahupua'a, ili, and later land sales to foreigners classified as Land Grants, the rights of the native tenants were expressly reserved, "Koe na Kuleana o Kanaka" (Reserving the Rights of Native Tenants) (Alexander 1890:114). In an Act ratified on August 6th, 1850, the gathering rights of the common people for personal use, which included the gathering of both terrestrial and marine resources, in addition to the right to water and the right of way on the lands of the Konohiki, were guaranteed and embodied in Section 10477 of the Civil Code (Alexander 1890:114-115). By this same Act, resolutions passed by the Privy Council granted fee simple titles, free of all commutation, with the exception of awards granted within the towns of Honolulu, Lāhainā, and Hilo, to all native tenants for their cultivated lands and house lots (hereafter referred to as kuleana land) (Alexander 1890:115). Claims of the native tenants, or kuleana land claims, were presented to and heard by the Land Commission whose duty was to:

...ascertain the nature and extent to each claimant's rights in land, and to issue an Award for the same which is prima facie evidence of title "and shall furnish as good and sufficient a ground upon which to maintain an action for trespass, ejectment or other real action against any other person or persons whatsoever, as if the claimant, his heirs or assigns had received a Royal Patent for the same." (Alexander 1890:110)

Though there are no known *kuleana*, or Land Commission Award claims recorded for Kaunakakai Ahupua'a, Sprouse and others (2013:14) note that according to an Interior Department letter of October 15, 1889, the *ahupua'a* of Kaunakakai was owned by Kalani Pueo in 1843. An additional Interior Department Letter dated January 115, 1852 and January 24, 1854 indicates that Abner Pākī, Pauahi's father, was the owner of Kaunakakai Ahupua'a. In 1855 however, Lot Kapuawia (Kamehameha V) purchased the *ahupua'a* of Kaunakakai outright for \$200 as his sought to increase his land holdings on Moloka'i with a "desire to have a country estate, he bought up land and cattle from the resident Hawaiians and used Moloka'i as a vacation ground from his cares of the State" (Figure 3-5) (Judd in Summers 1971:23). Upon his death in 1872, King Kamehameha left Kaunakakai Ahupua'a to Ke Ali'i Ruth Ke'elikōlani who maintained a house at Kaunakakai (see Figure 3-5). When Ruth Ke'elikōlani passed in 1883, her lands were inherited by the trust of Ke Ali'i Bernice Pauahi Bishop through the authorization of King Kalākaua in 1890 through the legislature via "An Act to Settle the Title to Certain Unawarded Lands and to Authorize a Compromise with the Trustees under the Will of Bernice Pauahi Bishop" (Sprouse et al. 2013:15) and finalized through Land Grant 3533 issued by Queen Lili'uokalani (Figure 3-6).

3.2.2 1850-1900 – Foreign Influence, Changing Economies, and the Development of Kaunakakai as a Commercial Center

When the Gold Rush hit California in the 1850s, many of Moloka'i's men left their fish nets, fish ponds, cattle raising, salt pans and *kukui* oil businesses and went to California also. Still, others went to Lāhainā and Honolulu to find jobs that others had left vacant when they went to the States (Willis and Lee n.d.:Appendix F). Nonetheless, Willis and Lee make clear, that industry did



not falter, and the people continued to prosper. The population of Moloka'i however did experience a decline as men returning to visit Moloka'i from Lāhainā and Honolulu brought with them the introduction of "Ha'ole diseases" and in 1850 and again in the late 1860s, many died from flu epidemics (Willis and Lee n.d.:Appendix F).

Adapting to the changing economy and growing prominence of commercial ranching, Kamehameha IV established a sheep ranch on Moloka'i in 1859 and constructed his residence on the beach at Kaunakakai opposite the then natural break in the reef. The residence in that area is known as Malama, and historically attributed to Kamehameha V (Athens and Silva 1983; Titchenal 1998). R. W. Meyer, who had served Kamehameha IV and would later go on to establish his own small sugar plantation at Kala'e, became manager of ranch operations on Moloka'i for Kamehameha V in 1864. During his tenure as ranch manager, Kaunakakai Harbor would be their transportation link and key to agricultural activities (Strazar 2000:12).

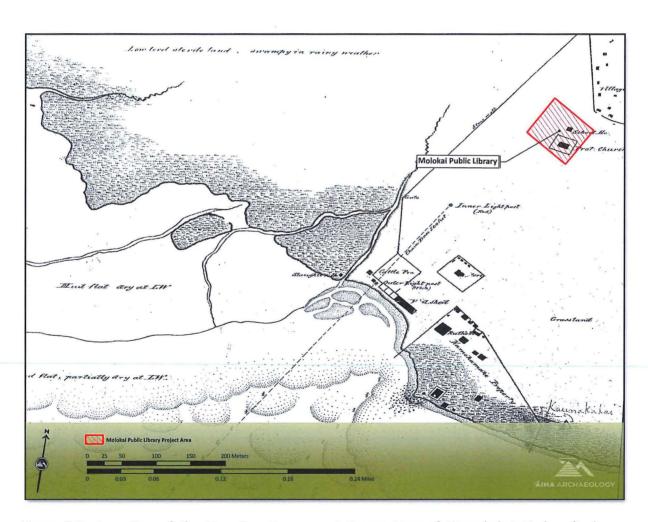


Figure 3-5. A portion of the Hawaiian Government Survey Map of Kaunakakai Harbor (Jackson 1882)showing the location of the current project area in relation to Ke Ali'i Ruth Ke'elikōlani, not the proximity of the former Protestant Church and school house, which would later become Cooke Hall (see Figure 3-3 above) in relation to the current project area.



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Figure 3-6. Land Grant 3533 transferring Kaunakakai Ahupua'a to the trustees of Bernice Pauahi Bishop Estate (Office of Hawaiian Affairs 2014)

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After 1866, Kaunakakai Harbor also became vital to bringing in supplies for the Kalaupapa Settlement as the waters and shoreline along the peninsula were not hospitable to barge and ship landings. Goods, personnel, and visitors landed at Kaunakakai and were then transported by mule from the top side and down the pali trail. Finally, Kaunakakai would also become the port of exchange for the short-lived sugar industry during the 1880s as sugar and molasses from the Meyer sugar mill at Kala'e were taken to Kaunakakai harbor via bullock cart and transferred into small boats that would land at Malama (Meyer et al. 1982:97; Strazar 2000:12) and take the sugar and molasses to larger ships anchored in the harbor.

In 1897, Molokai Ranch was formed by a group of men who purchased holdings from the Bishop Estate, thus transferring ownership of the *ahupua'a* of Kaunakakai once again (Cooke 1949:2). A year later the American Sugar Company (ASCO) was incorporated by the ranch. A half mile long wharf that could accommodate local steamships was constructed by ASCO in 1898 off of the shoreline fronting the village of Kaunakakai (Cooke 1949:74). The new plantation and ranching operations made Kaunakakai the urban center of Moloka'i, but the sugar venture was short-lived. The high-salinity of water pumped from surface wells could not sustain sugarcane agriculture (Condé and Best 1973:275), but it was locally believed that:

...in the construction of the railroad from the mill to the dock at Kaunakakai, the railroad builders had disturbed a heiau ...since the railroad builders at American Sugar Company had not only used the heiau stones in building roadbed, but had also routed the railroad directly through the center of the temple site, the whole organization was doomed to disaster... (Condé and Best 1973:275).

It is possible that the reference was to the destruction of Mahinahina Heiau (Site 131), said to have been located 500 feet northeast of the Kaunakakai Pier (Stine et al. 2014:11, 15).

3.3 KAUNAKAKAI AHUPUA'A AND THE CURRENT PROJECT AREA IN THE 20TH CENTURY AND MODERN ERA

Though the sugar industry on Moloka'i would wane in the early part of the twentieth century, commercial pineapple agriculture would take its place in the early 1920s and the port of Kaunakakai would become an even greater economic center. Over eighty structures were constructed to house the California Packing Corporation (Calpac) labor force and to store agricultural supplies. With the success of commercial pineapple cultivation in the Maunaloa and Nā'iwa areas, Kaunakakai Wharf remained the island's principal port. The harvested fruit was trucked to Kaunakakai, where it was crane-loaded onto barges and shipped to the Calpac cannery in Kahului, Maui (Larsen and Marks 2010:371). At the same time, Molokai Ranch was becoming a more organized operation and owned a majority of the leased pineapple lands, while maintaining cattle ranching as their focus of land use for the areas surrounding Kaunakakai Town (Lee-Greig and Hammatt 2008:11).

The village of Kaunakakai would expand with the growth of homesteads associated with the Territory of Hawai'i, rather than Hawaiian Homesteads, would occur rather quickly (Stine et al.



2014:15) and the development of Kaunakakai as the island's primary civic center in the 1930s would begin in earnest. Two clusters of homestead lots are shown on the 1924 Land Court Application 632 Map (see Figure 3-3), with Lots 2-17 included in Kaunakakai Town and Lots 18-25 located west of the town.

In 1929, the American Sugar Company offered Mrs. Roland Gay, who had started an exchange library at her home, the use of a small building near the beach for the library (Moy 1993). On December 12, 1936, construction for a new public library began on the site of the old Cooke Hall and barracks, (see Figure 3-3) ("Molokai Personals, Special Star-Bulletin Correspondence" 1936; Strazar 2000:14, 15) and was completed and dedicated on May 21, 1937 (Moy 1993). The National Register Nomination Form for the Molokai Public Library notes:

The Molokai Public Library is significant for its history as the only public library on Molokai as well, as for its architectural significance as an outstanding public structure. The county librarian reported in the Maui News that "the Molokai Branch of the Maui County Free Library is an example of a library that is modem, inviting and friendly, as well as useful." 1 The building cost \$15,764 to construct in 1936-37 with 55% of the amount in territorial appropriating, 45% in matching Federal funds. The architect was Harry Stewart, an architect with the Department of Public Works, Roy Zahren, engineer and inspector, John De Fries, territorial inspector and J. V. Marciel Jr. was the contractor. (Moy 1993)

At around the same time that construction on the new library would begin, the Tax office and District Court was moved from Puko'o to Kaunakakai on the same site as the new library and a wireless telephone system was installed in town (Cooke 1949:18).

With the growth of the Kaunakakai Town, water supply and flooding would become long-term issues for the area. Water projects initiated in the 1950s were directed at alleviating these problems. Kaunakakai Stream, which used to empty through up to four meandering coastal outlets, was channelized into one levied outlet to greatly reduce the flood hazard. In the late 1950s to early 1960s a 5.5 mile tunnel project along the mauka portion of Kaunakakai Gulch produced enough water to be "stored in a 1.4 billion gallon reservoir at Kualapu'u" (Summers 1971:25).

Pineapple production on Moloka'i was phased out during the 1970s, with complete abandonment by the early 1980s. While the towns of Maunaloa and Kualapu'u have continued to support sizable populations, Kaunakakai has remained the island's major urban center and Kaunakakai Harbor the island's primary port. Tourism and service-related industries have begun to replace commercial agriculture as the town's primary economy followed by jobs related to government service. In general, the modern land use within the vicinity of the current project area is currently focused on municipal, retail, and other domestic service businesses associated with the development of Kaunakakai Town as the main residential, commerce, and civic center on the island.



3.4 Previous Archaeology

The most comprehensive island-wide archaeological study on Moloka'i was put together by Catherine Summers with her publication of Moloka'i: A Site Survey (1971) through the Department of Anthropology at the Bernice P. Bishop Museum. Based on previous research, particularly John F. G. Stokes' 1909 survey of *heiau* and other major sites on Moloka'i, and through revisiting some 100 locations, the descriptions provided by Summers enumerates the archaeological sites of Moloka'i by individual *ahupua'a* (Summers 1971).

With the exception of a 115-acre survey of the Kaunakakai Field System *mauka* of Kaunakakai Town completed in 1988 (Weisler 1989) and a more recent study completed by Cordy as a part of an archaeological field school and training program west of Kaunakakai Gulch (Cordy 2001), archaeological work completed in Kaunakakai has been primarily focused on the coastal portion of the *ahupua'a*, between Kamehameha Highway and the ocean. Sub-surface surveys conducted within the coastal Kaunakakai region clearly indicated a rapid alluviation and shoreline accretion which has been linked to the 19th century introduction of cattle, deer, goats, and sheep (Morgenstein and Kaschko 1981). Below the modern fill layers and historically generated alluvial deposits, cultural deposits range from pre-contact to the post-contact historic time period. Komori (1983) and Athens (1983) both encountered the most notable cultural layer in this area at the intersection of Kaunakakai Place and Hio Place, assigned State Inventory of Historic Properties (SIHP) #50-60-03-630. Two features within this sub-surface deposit were dated to A.D. 1230-1340 and A.D. 1435-1665 (Athens 1983:82). Historic-era artifacts collected were generally fragmentary with radiocarbon dates from AD 1850 to the present, indicating the highly disturbed nature of much of the cultural deposit at SIHP-630.

During the Kaunakakai Field System survey mauka of Kaunakakai Town (Weisler 1989), one wall and three complexes were identified and documented (SIHP-886 to SIHP-889). The three complexes (SIHP-886 to SIHP-888) represented the largest dryland agricultural system recorded on leeward Moloka'i up until that time (Weisler 1989:iii). Seven features within the complex were subjected to limited sub-surface testing, which resulted in the recovery of sparse faunal samples. Carbon dating indicated "that the agricultural zone on the east side of Kaunakakai Gulch (SIHP-886, SIHP-887, and SIHP-888) was used as early as the late 13th century (Early Expansion Period) and into the beginning of the Proto- Historic Period (AD 1650-1795; temporal periods after Kirch 1985)" (Weisler 1989:61). Cordy's survey on the west side of Kaunakakai Gulch resulted in similar findings with the identification of 10 historic properties (SIHP 50-60-03-02445 through 02454) largely reflective of dry-land agricultural practices and associated religious activities. Component features included short-term, or recurrent habitation sites and field shelters, ceremonial spaces, dryland planting features, and one possible long-term residential area (Cordy 2001).

Surveys along the inland reaches adjacent *ahupua'a* of Kalama'ula (Athens 1984; Hommon and Ahlo 1983; Tomonari-Tuggle 1990) and Kamiloloa (Davis 1977; T. Dye 1977) have also identified extensive agricultural complexes with associated temporary habitation features, pre-historic and historic permanent habitation sites, and an early historic cemetery (T. Dye 1977). Extensive work



in the similar environment of nearby Kawela and Makakupa'ia Iki Ahupua'a was conducted by the Bishop Museum (Weisler and Kirch 1982) and resulted in the identification of approximately 500 features related to traditional agriculture which "includes the majority of archaeological sites within the *ahupua'a* of Kawela and Makakupa'ia Iki" (Weisler 1989:47). The following table (Table 3-1) presents a summary of archaeological studies completed within a one-mile radius of the current project area while Figure 3-7 shows the locations and extents of these studies in relation to the current project area.



Table 3-1. Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-7)

Author	Ahupua'a	Type of Study
Stokes 1909	Island Wide	Archaeological Survey: General survey of heiau (monumental ceremonial structures) which
		documented Kamalae Heiau at the foot of the ridge behind Kaunakakai Town.
Summers 1971	Island Wide	Archaeological Survey: Notes the presence of Site 131 Mahinahina Heiau thought to be located
		approximately 500 ft. northeast of the pier at Kaunakakai
Davis 1977	Kaunakakai	Archaeological Reconnaissance: Identified a site complex possibly representing two different
		periods of occupation, the earlier of which is thought to be pre-contact. The site is located on a
		hillside immediately above the flood plain on an intermittent stream. No historically significant
		cultural materials were found on the flood plain proper. It is suggested that the identified
		features are associated with dry-land cultivation carried out on the flood plain.
Dye 1977	Kaunakakai	Archaeological Reconnaissance: Identified seven major structural features that make up SIHP
		50-60-03-1600 which is a Pre-Contact to Historic Era Habitation and Burial Complex.
Shun 1982	Kaunakakai	Archaeological Reconnaissance and Testing: Parallel mounds of indeterminate function and a
		buried cultural layer (SIHP 50-60-03-00631) with a carbon dated age range between 1769 and
		1869.
Athens and Silva 1983	Kaunakakai	Archaeological and Historical Investigations: Excavation of four test pits and 26 backhoe
		trenches resulted in the identification of historic era deposits (SIHP 50-60-03-00630) that were
		noted as highly disturbed from previous grading, bulldozing, and land filling activities, and
		structural remains could not be positively identified. Pre-contact deposits were also
		documented in the underlying calcareous sand, consisting of shell midden remains, however,
		were limited to only a few areas, being densest in the southwestern quadrant of the property.
		One of two radiocarbon dates from hearth features indicates an occupation beginning about
		A.D. 1200-1300, which is now the earliest known for the south coast of Molokai



Table 3-1 (continued). Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-7)

Author	Ahupua'a	Type of Study
Hommon and Ahlo 1983	Kalama'ula,	Archeological Inventory Survey: Identification of 71 historic properties (SIHP -00901, -00902, -
	Kapa'akea,	00904 through -00908, -00910 through -00971, and -00975 through -00977) comprised of 212
	Kamiloloa	component features in the mid to upper elevations of Kalama'ula, Kapa'akea and Kamiloloa
		Ahupua'a. The majority of the features were interpreted as pre-contact agricultural features
		with associated habitation areas, storage sites, quarry locations, a water catchment and
		possible animal pen. Ceremonial features and possible burial sites were also identified. Along
		with sites of probable pre-contact origin, five features associated with historic ranching and
		military activities were also identified.
Komori 1983	Kaunakakai	Archaeological Reconnaissance: Pedestrian survey and exploratory augering across
		approximately 78,996 sq. ft. While no historic properties were identified on the surface,
		augering encountered a subsurface cultural deposit (SIHP 50-60-03-00630) extending over a 700
		sq. ft. area, the content for which consisted of midden remains reflective of a traditional
		Hawaiian diet, indigenous artifacts (n=2, coral abrader and basalt whetstone) and one pearl
		shell button.
Landrum 1984	Kaunakakai	Archaeological Reconnaissance: Identified a buried cultural deposit (SIHP 50-60-03-00632)
		reflective of pre-contact use of the area; as well as, a historic foundation, which was not given a
		state site number.
Estioko-Griffin 1988	Kalama'ula	Archaeological Field Inspection: Field inspection of three project areas in the lower end of
	Kamiloloa	Kamiloloa, the lower end of Makakupaia and the Kalama'ula subdivision. Relative to the current
	Makakupaia	project area is the findings within Kalama'ula which included rock mounds, walls, L-Shapes, C-
		Shapes, a platform, and enclosures. Inferred probable function based on their location,
		construction and comparable sites from other parts of the island include temporary shelter for
		the L-Shapes and C-Shapes, military use for the C-Shapes, dryland agriculture for the rock
		mounds and the complexes, and burial for a platform. Several sites/features were of
		undetermined function.



Table 3-1 (continued). Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-7)

Author	Ahupua'a	Type of Study
Kennedy 1988	Kaunakakai	Archaeological Inventory Survey: Noted that grading had taken place within the project area
		and that the entire lot had been disturbed, both above and below the surface. No historically
		significant cultural materials were identified.
Weisler 1989	Kaunakakai	Archaeological Inventory Survey: Intensive survey with subsurface testing between the 40 and
		75m contours above Kaunakakai Town. Documentation of four historic properties, three of
		which comprised a large dryland agricultural system (SIHP 50-60-03-00886 to -00889) and a
		large boundary wall (SIHP -00889) which parallels Kaunakakai Gulch. Test excavation of four
		field shelters and three agricultural features yielded radiocarbon dates of likely occupation
		during late 13th and continuing into the 17th-18th centuries.
Tomonari-Tuggle 1990	Kalama'ula	Archaeological Inventory Survey: Pedestrian survey resulting in the identification and
		documentation of 54 previously unidentified historic properties (SIHP 50-60-03-1700 through -
		1753) and two previously identified historic properties (SIHP -800 and -802) with subsurface
		testing of selected sites. Documented historic properties were reflective of low intensity
		traditional Hawaiian agriculture, short-term and low-intensity habitation areas related to either
		agricultural field tending or warfare encampments with some evidence of extended occupation
		at SIHP 50-60-03-1716.
Borthwick and Hammatt	Kaunakakai	Archaeological Inventory Survey: Noted that though much of the project area had been
1994		modified, two historic properties (50-60-06-00895 and -00896) were identified and described.
		was SIHP -00896 is a stacked boulder wall. SIHP -00895, consisted of an enclosure (Feature A)
		with surface pavements (Feature B), and possible planting areas (Feature C).
Dye and Murakami 1998	Kaunakakai	Archaeological Inventory Survey: Two historic properties were identified. SIHP 50-60-06-1660 is
		a petroglyph gallery and limestone quarry with an associated cultural deposit and 50-60-06-
		1661 is the old Kaunakakai School grounds.



Table 3-1 (continued). Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-7)

Author	Ahupua'a	Type of Study
Heidel et al. 1998	Kaunakakai	Archaeological Data Recovery: Data recovery at SIHP 50-60-03-00895 and -00896. Twelve units
		were excavated, Trenches 1 and 2 at State site 50-60-03-896 and Trenches 3-12 at.
		Archaeological efforts concluded that both historic properties were constructed and used
		historically with subsequent modern impact through trash deposits. The structures associated
		with SIHP -00895 were interpreted as historic era work areas and a storage shed, while charcoal
		from an earlier subsurface burn layer that identified between 40-60 cmbs returned radiocarbon
		dates of 1480-1690 and 1400-1660 cal A.D. This layer was interpreted as being related to pre-
		contact agricultural activities that predated the construction of the architectural features. SIHP -
		00896 was a cattle wall associated with historic ranching and delineating property boundaries.
Titchenal 1998	Kaunakakai	Archaeological Monitoring: Monitoring during construction at Malama Cultural Park. Five
		cultural features were recorded during the monitoring process. These included a structural,
		cobble pavement, floor with associated historical artifacts and traditional midden components
		(Feature 4); three primary deposits of historic trash (Features 1, 3, and 5); and a pit feature of
		undetermined function with associated midden material (Feature 2)
McGerty and Carson 1999	Kaunakakai	Archaeological Inventory Survey: Identified three additional surface features associated with
		SIHP 50-60-03-00895 which included a paved terrace (Feature D), an alignment (Feature E), and
		two adjoined, small terraces (Feature F).
McGuire and Hammatt	Kaunakakai	Archaeological Monitoring: Monitoring of the clearing and grubbing phase of the Kaunakakai
2000		Drainage System "A" Improvements. No historically significant finds, burials, cultural deposits,
		cultural materials or artifacts were observed.
Dye and Jourdane 2006	Kaunakakai	Archaeological Assessment: The project area was previously under commercial pineapple
		cultivation for many years. No historic properties were documented during the construction of
		the Molokaʻi Education Center Building.



Table 3-1 (continued). Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-7)

Author	Ahupua'a	Type of Study
McGerty and Spear 2006	Kaunakakai	Archaeological Assessment: Limited to a pedestrian survey of approximately 5-acres. Noted
		previous ground disturbance within the parcel, no historically significant sites or other cultural
		materials identified on the surface.
Muise and Rechtman 2008	Makakupaia,	Archaeological Monitoring: Monitoring of roughly two miles of state, county, and DHHL public
	Kamiloloa,	right-of ways on the island of Moloka'i, alongside existing roadways extending roughly from
	Kaunakakai,	Kalama'ula to Ali'i Fish Pond as well as a marine landing site at Ali'i Fish Pond. No archaeological
	Kalama'ula	resources encountered during the course of monitoring.
Madeus and Hammatt	Kaunakakai	Archaeological Monitoring: Monitoring of ground altering activities associated with
2010		improvements to the existing wastewater system at Kaunakakai High and Elementary School.
		No archaeological deposits or other historically significant materials were encountered.
Cordy 2011	Kaunakakai	Archaeological Survey/Training Project: Identification and documentation of two previously
		identified historic properties (SIHP 50-60-03-00996 [heiau] and -00998 [gardening enclosure])
		and 10 newly identified historic properties (SIHP 50-60-03-02445 through 02454) mauka of
		Kaunakakai Town. These historic properties are reflective of short-term habitation, ceremonial
		spaces, dryland agriculture, and one possible long-term residential area.
McElroy et al. 2013	Kaunakakai	Archaeological Assessment: Pedestrian survey and excavation of nine trenches throughout the
		park to determine the nature of stratigraphy on the parcel and to identify any cultural material
		or deposits that might occur there. No historically significant sites or cultural materials
		identified.
Sprouse et al. 2013	Kaunakakai	Archaeological Monitoring: Monitoring of the installation of new underground
	within the	telecommunication ducts within the Kaunakakai Civic Center. Excavations across the project
	proposed	area revealed modern/historic fill deposits over sterile alluvium. No intact cultural deposits or
	project parcel	features were encountered during the monitoring operations.



Table 3-1 (continued). Summary of Previous Archaeological Studies Completed within a One-mile Radius of the Current Project Area (see also Figure 3-7)

Author	Ahupua'a	Type of Study
Keala and Elison 2014	Kaunakakai	Archaeological Monitoring: Two archaeological sites were encountered. SIHP 50-60-03-2514 is a
		historic wall on Kaunakakai Place which associated with the American Sugar Co. and SIHP 50-60-
		03-2523 is a historic support beam below the Kaunakakai Wharf. Aside from the two historic
		structures, no cultural material or deposits were encountered during monitoring.
Stine et al. 2014	Kaunakakai	Archaeological Monitoring: Monitoring of five soil augers for the Kaunakakai Harbor Ferry
		System Improvements. Identified one historic property (SIHP 50-60-03-02525) consisting of
		boulder fill associated with the railroad bed constructed in 1898 for the American Sugar Co.
		railroad.
McElroy and Eminger 2015	Kaunakakai	Archaeological Monitoring: Monitoring of soil borings performed in anticipation of potential
		modifications to the Kaunakakai levee system. A total of 18 borings were monitored and no
		archaeological deposits or materials were encountered.
Folio and Hammatt 2016	Kaunakakai	Archaeological Inventory Survey: Inventory survey of approximately 1.62 consisting of
		pedestrian survey and subsurface testing resulted in the identification of a historic era cultural
		deposit (SIHP 50-60-03-2573) interpreted as a possible buried refuse area.
Medrano and Dega 2016	Kaunakakai	Archaeological Monitoring: Monitoring of ground disturbing activities associated with the
		improvements completed at Duke Maliu Regional Park. Monitoring resulted in the
		documentation of intact alluvium characterized by sediment with high clay content. No
		historically significant sites or other cultural materials identified during monitoring.



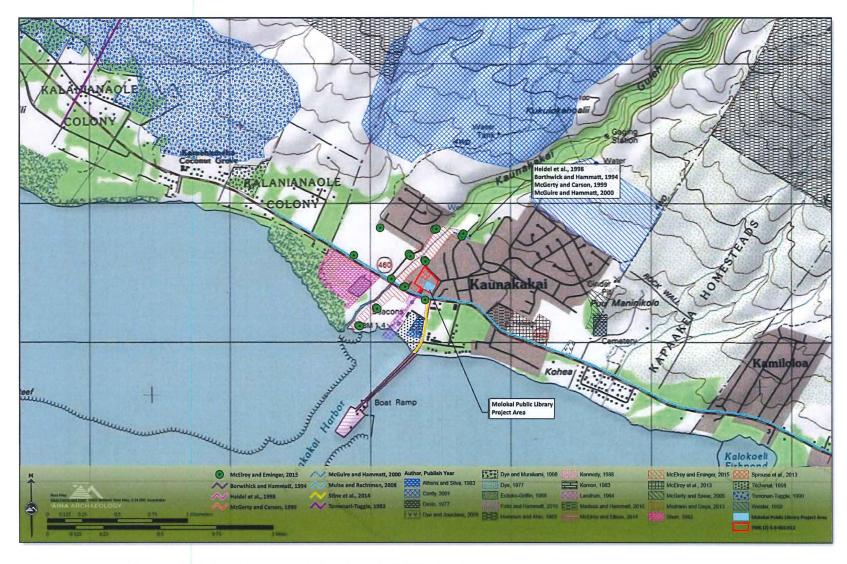


Figure 3-7. A Portion of the Kaunakakai 7.5' Topographic Quadrangle (1993) showing Previous Archaeological Studies within a One-Mile Radius of the Current Project Area.



4.0 CONSULTATION METHODS AND RESULTS

4.1 Scoping and Community Outreach

In order to identify individuals with knowledge of the traditional cultural practices within and adjacent to the proposed project as it relates to this study, contact was initiated with government agencies, advisory councils, local community organizations, and kūpuna with generational ties to the proposed project area. Follow up attempts were then made to all contacts on the initial mailing list in a good-faith effort to make contact. Letters and project area maps showing the location of the project area for the proposed Molokai Library Meeting Room Addition was mailed out with the following accompanying text:

The State of Hawai'i Department of Accounting and General Services (DAGS), along with the Hawai'i State Public Library System, will be working with the architectural firm of Fung Associates, Inc. to expand the capacity of the historic Molokai Public Library which is located on a portion of TMK (2) 5-3-005:012, Kaunakakai Ahupua'a, Kona Moku (Moloka'i Tax District), Moloka'i Island (Exhibits 1 through 4).

Molokai Public Library is listed on the Hawaii Register of Historic Places significant as the only public library on Molokai and as a great example of rural architecture done by Harry K. Stewart, a prominent architect of the 1920s and 1930s whose style reflects a Hawaiian Regionalism that was gaining prominence at the time. As the only library in all of Molokai, the library is the center of numerous community activities. Unlike most libraries in the State, Molokai Public Library has no meeting room and currently has no extra space for any kind of growth of collections. This project is to provide an extension to the library to house staff functions as well as a meeting room that can be used by the public (Exhibits 5 and 6). This will allow the entire original building to house the growing collection. The goal of the project is to provide this needed space while not adversely impacting the historic character of the library.

As a part of the Environmental Assessment process for the proposed project, 'Āina Archaeology, is conducting a study of traditional cultural practices within and adjacent to the proposed project area. The purpose of this study is to identify and assess any potential impacts that the proposed project may have on these practices. The Guidelines for Assessing Cultural Impacts adopted on November 19, 1997 by the Environmental Council, State of Hawai'i states:

(For) the cultural portion of an environmental assessment, the geographical extent of the inquiry should, in most instances, be greater than the area over which the proposed action will take place (proposed project area). This is to ensure that cultural practices which may not occur within the boundaries of the project area, but which may nonetheless be affected, are included in the assessment.... An ahupua'a is usually the appropriate geographical unit to begin an assessment of cultural impacts of a proposed action, particularly if it includes all of the types of cultural practices associated with the project area. (State of Hawaii Office of Environmental Quality Control 2012:11)

For this study, or cultural impact assessment, the ahupua'a of Kaunakakai is considered the overall "study area" while the construction footprint of the proposed project is



identified as the "project area." As stated above, the purpose of this cultural impact assessment is to evaluate concerns or potential impacts, either positive or adverse, to traditional cultural practices that may occur as a result of the proposed project. We are seeking your kōkua or help and guidance regarding the following aspects of our study:

General history and present and past land use of the project area.

Knowledge of cultural resources which may be impacted by the proposed expansion project - for example, traditional plant gathering, historic sites, or burials.

Knowledge of traditional gathering practices in Kaunakakai—both past and ongoing.

Cultural associations of the project area, such as legends and traditional uses.

Referrals of kūpuna or elders who might be willing to share their cultural knowledge of the study and project area and the surrounding ahupua'a lands.

Any other cultural concerns the community might have related to Hawaiian or cultural practices within or in the vicinity of the proposed Molokai Public Library expansion area.

We have provided several exhibits to share the proposed site plan and floor plan for the project with maps showing the location of the proposed project in relation to the landscape for your information. I invite you to contact me, Tanya Lee-Greig, at 1-808-281-7158. You may also contact me by e-mail at tanya@ainaarch.com if you have any questions about the project or mana'o or concerns that you would like to share.

Additionally, the following public notice was placed in the Molokai Dispatch which ran on November 8, 2017:

'Āina Archaeology is conducting a Cultural Impact Assessment (CIA) for the Molokai Public Library (library) Expansion Project (project) proposed by State of Hawai'i Department of Accounting and General Services (DAGS) and Hawai'i State Public Library System. The library is listed on the Hawaii Register of Historic Places as significant as a great example of rural architecture by Harry K. Stewart, a prominent architect of the 1920s and 1930s. The proposed project will provide an extension to the library for staff functions and a meeting room that can be used by the public. The goal is to provide needed space while not adversely impacting the historic character of the library.

For this study, we are seeking the community's kokua regarding:

- Knowledge of cultural resources which may be impacted by the proposed project.
- Knowledge of traditional gathering practices in Kaunakakai
 both past and ongoing.
- Cultural associations of the project area, such as legends and traditional uses.
- Any cultural concerns the community might have related to Hawaiian or other cultural practices within the proposed library expansion area.

Please contact Tanya Lee-Greig of 'Āina Archaeology, at 1-808-281-7158 or e-mail at tanya@ainaarch.com, with any questions, mana'o, or concerns you would like to share.

4.2 COMMUNITY OUTREACH RESULTS

Community outreach consisted of informal, talk-story phone consultation completed with the kokua of Aunty Kau'i Manera on Moloka'i. While those who responded and participated in the consultation did not recall specific mo'olelo 'āina (Hawaiian traditions) in relation to the area of



the Molokai Library, or note long-term traditional cultural practices that might be affected by the proposed meeting room addition, individuals did note that the sculpture of Hina, Pu'ino Kolu O Hina (Three Winds of Hina), that sits at the entry to the Kaunakakai Civic Center, is important to the Moloka'i community. Some concerns were expressed about the potential effects of the new addition on the visibility of the sculpture. Table 4-1 below provides the summary of cultural impact assessment outreach results for the proposed project.

Table 4-1. Cultural Impact Assessment Outreach Summary for the Proposed Molokai Public Library Meeting Room Addition

Name	Affiliation	Contacted	Personal Knowledge (Y/N)	Comments
Mr. Kai Markell	Office of Hawaiian Affairs – Native Hawaiian Historic Preservation Council	Attempted		
	Office of Hawaiian Affairs – Molokai Office	Attempted		
Mr. Chris Nakahashi	State Historic Preservation Division – Culture and History Branch	Yes		Media/public notice recommendations
Mr. Andrew Phillips	State Historic Preservation Division – Maui/Lāna'i Islands Burial Council Staff	Yes		Forwarded information to current Moloka'i Island Burial Council Members
Ms. Annalise Kehler	Maui County Cultural Resources Commission	Yes		Referrals to Kupuna Penny Martin and Kamalu Poepoe – Molokai Po'o for Aha Moku Advisory Council



Table 4-1(continued). Outreach Summary

Name	Affiliation	Contacted	Personal Knowledge (Y/N)	Comments
Ms. Kauʻi Manera	Alu Like	Yes	Υ	Provided input; gave referrals to Kupuna Penny Martin and coordinated outreach with kūpuna. Noted that she has seen educational tours stop at the Hina sculpture; as well as <i>lei</i> and <i>ho'okupu</i> left at the sculpture.
Ms. Penny Martin	Kupuna	Attempted		
Ms. Kamalu Poepoe	Aha Moku Advisory Council – Molokai Poʻo	Attempted		
Irene Misaki Iwane	Kamaʻāina— daughter of the Misaki dynasty on Molokaʻi	Yes	Y	Mrs. Iwane remembers hanging around town as a child when they lived down Mango Lane.
				Noted how there were barracks (Cooke Hall?) at the current site of the library where she attended Kindergarten. Noted that the library was built afterwards.
				Her teacher's name was Mrs. Kamana.
				Mrs. Iwane has no recollection of cultural significance on the property.



Table 4-1(continued). Outreach Summary

Name	Affiliation	Contacted	Personal Knowledge (Y/N)	Comments
Sylvia Adams	Kama'āina — Retired from the State's Tax Office.	Yes	Y	Aunty Sylvia does not recall any traditional cultural practices at the library.
				Wanted to make sure the the Hina sculpture not blocked and visible from Ala Malama.
				Notes she has seen leis draped on the sculpture and ho'okupu left at the base.
Billy Akutagawa	Kamaʻāina — Island Historian	Yes	Y	Recalls the presence of a protestant church with a grave located west of the new State building. Does not recall any culturally significant practices being carried out in the area of the library.
Lei Kaneakua	Beloved Kupuna	Yes	Y	Aunty Lei worked at the State's temporary building across from the launderette on the mauka side of the property.
				She heard of no cultural significance on the library site but did mention how the probation officer and tax office people would encounter "stuff".
Mrs. Ruth Yap	Kamaʻāina — Retired Department of Health	Yes	Y	Did not recall and cultural practices or culturally significant sites in the vicinity of the library



Table 4-1(continued). Outreach Summary

Name	Affiliation	Contacted	Personal Knowledge (Y/N)	Comments
Opu'ulani Albino	Kupuna	Yes	Y	Military barracks were there (where the library is currently located) and converted to jailhouse and courthouse.
				Police had housing in the area too.
				Aunty Opu'ulani recalled that there were also buildings across of the street belonging to Molokai Ranch.
				While there are many historic events for the area she did not know of mo'olelo (traditions) related to the specific library area.
	Maui County Cultural Resource Commission	Yes	Y	No comment on traditional cultural practices in the vicinity of the library. Testimony provided indicated that the addition to the library for the community was needed.



5.0 Traditional Cultural Practices

The arrangement of a typical Hawaiian *ahupua'a* extended from several fathoms out from the coastline to the upland forested areas. Depending on the location within this broad *makai* to *mauka* context, and guided by knowledge of the natural environment, a wide variety of cultural practices and resources within the *ahupua'a* could be found. Such resources and rights would include marine resources and fishing rights in the coastal area, arable lands for crop cultivation, as well as, water rights in the planting zones, and valuable bird catching along with plant and timber harvesting privileges at the higher elevations and toward the valley headwater (Handy et al. 1991:48). Discussions on specific aspects of traditional Hawaiian cultural resources and practices, as identified through background research and community consultation, relevant to the study area of Kaunakakai Ahupua'a as it relates to the current project area.

5.1 MA UKA RESOURCES AND TRADITIONAL HAWAIIAN AGRICULTURE

Though the current vegetation on the lower slopes of Kaunakakai Ahupua'a consists primarily of introduced tree and grass species, analysis of wood charcoal from archaeological contexts have shown that plants favored for firewood such as 'akoko along with other native species that included 'a'ali'i, 'ōhai, koai'a, lama, kolomana, and kamani were once present (Dye and Murakami 1998:Appendix C). In an archaeological study completed above Kaunakakai Town, analysis of wood charcoal recovered from a hearth excavation showed that wili wili also likely grew in the area (Weisler 1989:42). This plant community is consistent with the native lowland dry shrubland and grassland ecosystem described by Pratt and Gon III (1998) which is well suited to the leeward, or kona, rainfall levels.

Weisler (1989:7-8) notes that despite the sparse rainfall accumulation and weakly developed agricultural soils on the slopes of Kaunakakai Ahupua'a, the extensive nature of the dryland systems on both the east and west sides of Kaunakakai Gulch between 40 to 90 m amsl demonstrates the productivity of these lands. These systems likely supported the dry-land cultivation of sweet potato and gourd which can thrive with very little moisture if planted at the beginning of the wet season (see also Section 3.1.2).

5.2 Ma Kai Resources and The traditional Cultural Resources of the Shoreline and Offshore Area

The fringing reef that parallels Kaunakakai and the flats between the shoreline and edge of the reef are lined with the traditional Hawaiian fishponds for which Moloka'i is well known, while the off-shore fishing resources have been known to be abundant. The importance of these grounds, as well as Kaunakakai as a preferred landing, is further illustrated by the establishment of a fishing station at Kaunakakai Harbor in 1904. Seine, gill net, and line crews would depart from the Kaunakakai fishing station to the nearby fishing banks and return with their catch to be retained alive in fish pond until the schooner arrived (Bowers 1905:480). Additionally, as previously noted, the specific resource that Kaunakakai was especially known for was the *aloalo* which lived in the



coral near the shore. Reliance on marine resources as a primary part of traditional Hawaiian diet for Moloka'i in general has been well documented both historically (see Section 3.1.1) and into the modern era (Matsuoka et al. 1998:26; Uechi 2017).

5.3 SIGNIFICANT PRE-CONTACT TRADITIONAL HAWAIIAN SITES AND POST-CONTACT HISTORIC PROPERTIES

Past cultural resource management investigations have documented archaeological resources in the areas surrounding Kaunakakai Town (see also Section 3.4). A total of 32 previously recorded historic properties have been identified within a one-mile radius of the current project area (figure, table). The majority of the pre-contact sites have been identified in the upland areas above the current project area and are largely reflective of traditional agriculture and associated habitation, ceremony and ritual, and quarrying activity. Along the shoreline, significant cultural layers have been identified at, and near Malama, the former residence of Kamehameha V.

Significant historic sites and structures associated with the development of Kaunakakai Harbor as a commercial port have also been identified in archaeological contexts nearer to the shoreline. With regard to the current project area, Molokai Public Library notwithstanding, the immediate vicinity has been utilized for commercial and public buildings historically, including an old school house and church prior to the 1920s, the Cooke Hall community center from at least 1924 to 1936, and the Old Judiciary building from roughly 1935 to 2013 (Strazar 2000:14).

Table 5-1. Historic Properties Identified within a One-Mile Radius of the Current Project Area

SIHP 50-60-03-	Formal Type	Function	Probable Age
00630	Cultural Deposit	Habitation	Historic
00631	Cultural Deposit	Possible Habitation	Late Pre-Contact
00632	Cultural Deposit	Habitation	Pre-Contact
00886	Complex	Agriculture	Pre-Contact
00887	Complex	Agriculture	Pre-Contact
00888	Complex	Agriculture	Pre-Contact
00890	Alignment	Pier	Historic
00895	Complex	Habitation	Historic
00896	Wall	Animal Husbandry	Historic
00996	Notched Enclosure	Ceremonial	Pre-Contact
00998	Complex	Agriculture/Habitation/Ceremonial	Pre-Contact
01030	Platform	Habitation	Early Historic
01600	Complex	Habitation/Burial	Pre-Contact to Historic
01660	Complex	Habitation/Quarry	Pre-Contact
01661	Complex	Education	Historic
01741	Complex	Shelters	Pre-Contact
01742	Complex	Ceremonial	Pre-Contact
01743	Modified Outcrop	Agriculture	Pre-Contact



Table 5-1 (continued). Historic Properties Identified within a One-Mile Radius of the Current Project Area

SIHP 50-60-03-	Formal Type	Function	Probable Age
01744	Mound	Agriculture	Pre-contact
01747	Complex	Agriculture/Habitation	Pre-Contact
01748	Enclosure	Habitation	Pre-Contact
02447	Petroglyphs	Ceremonial	Pre-Contact
02448	Complex	Field Shelter	Pre-Contact to Early Historic
02449	Enclosure	Field Shelter	Pre-Contact to Early Historic
02453	Complex	Permanent Habitation	Pre-Contact to Early Historic
02454	Enclosure	Field Shelter	Pre-Contact to Early Historic
02514	Wall	Commerce	Historic
02523	Wall	Wharf	Historic
02525	Railroad Bed	Transportation	Historic
02563	Walls	Levee	Historic
02573	Cultural Deposit	Refuse Disposal	Historic
Mounds	Linear Mounds	Indeterminate	Historic

5.4 Traditional Hawaiian Burials and Historic Cemeteries

Within Kaunakakai Ahupua'a, and areas immediately adjacent, presence of traditional Hawaiian burial interments and historic family cemeteries have been documented in archaeological contexts primarily in the inland reaches back from the shoreline and over one kilometer from the current project area (Dye 1977; Estioko-Griffin 1988; Hommon and Ahlo 1983).

Though not formally recorded as a part of either an archaeological or historic architecture survey, with regard to areas directly adjacent to the current project area, the island historian Mr. Bill Akutagawa, has noted the presence of the protestant church and gravesite located immediately west of the new State building (see Table 4-1).



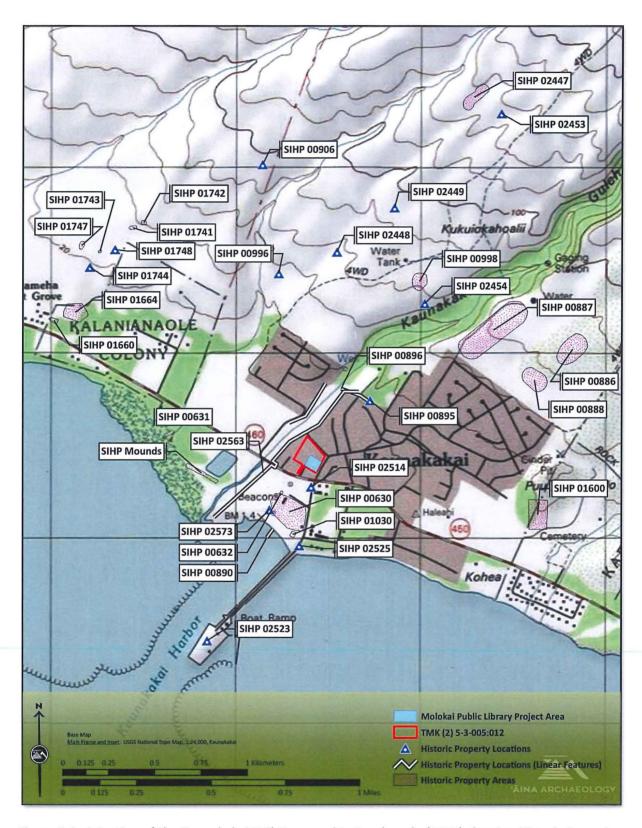


Figure 5-1. A Portion of the Kaunakakai 7.5' Topographic Quadrangle (1993) showing Historic Property Locations within a One-Mile Radius of the Current Project Area.



5.5 Traditional Hawaiian Spirituality and Ceremony

Two heiau have been noted within Kaunakakai Ahupua'a one of which has been documented as destroyed and the other which was located near the harbor less than 0.25 miles from the current project area and *makai* of Kamehameha V highway. The latter, Māhinahina Heiau, was located near or at Kamehameha V's residence of Malama. Māhinahina Heiau has been described as a "low platform lined with *ala*, on which a church stood... said to have been for human sacrifice, and that the drums were heard at night" (Stokes in Summers 1971:88). Kamalae Heiau was described as being at the foot of the ridge behind Kaunakakai Town. This *heiau* is said to have been for human sacrifice where drums were heard at night, but is now completely destroyed (Keala and Elison 2014:33).

While there are no known pre-contact traditional spiritual, ritual, or ceremonial sites within the current project area, or immediately adjacent to the current project area, the installation of a sculpture at the entrance of the Kaunakakai Civic Center that depicts the goddess Hina is becoming a significant focus for the community (see Table 4-1). As previously noted (see Section 3.1) Moloka'i is said to the be the offspring of Wakea and Hina with the poetical and ancient name for Moloka'i being *Moloka'i Nui A Hina*, Great Moloka'i, Child of Hina. Thus Hina, as the mother of Moloka'i, is central to the identity and spirituality of Moloka'i.

Envisioned and sculpted by Moloka'i artist Alapa'i Hanapi, *Pu'ino Kolu o Hina*, was conceived of in 1994 when an advisory committee, formed by the Hawaii State Foundation on Culture and Arts chose the artist to create a sculpture for Moloka'i (Cluett 2010). Cluett relays the following on how the sculpture came to be and the *mana'o* behind the design (Figure 5-2 and Figure 5-3):

Hanapi found a dense, flawless stone deep in the earth of Kamalo. The rock weighed nearly six tons.

"We broke a couple machines trying to lift her," Hanapi laughed, describing the process of withdrawing the massive stone from the old Kamalo quarry.

From 1996 to 1997, Hanapi carved away solid stone to reveal the form of Hina, from the waves of her hair to the smoothness of her closed eyelids. The sculpture is shaped after the chant "Pu'ino Kolu o Hina," which describes the three wind storms of Hina. The winds are contained in a sacred gourd, Wawahonua'aho, which sits before her. The winds are held as a warning, and the last wind, Luluku, holds the power to destroy life. For Hanapi, the winds remind people of the importance of leadership and environment, so that Hina will not release the terrible winds upon the people of Molokai.

"I was reading the chant over and over," explained Hanapi. "I wanted this peaceful, contemplative image and pose of anticipation."

Cluett closes here article with the following statement and request of the public:

With ho'okupu at her feet and the people of Molokai – her children – around her, she is finally complete. After years of bureaucratic complications – the state's lack of budgeting for transportation of the sculpture and deciding what contractor would actually transport and install her – Hina rests in her rightful place.

"The people of Molokai... I dedicate this piece to you and the child [Molokai]," Hanapi said.



The sculpture's guardians ask that all, keiki and adults alike, respect Hina and do not climb on her or offer inappropriate ho'okupu.



Figure 5-2. Photo of Pu'ino Kolu o Hina (Public Art Archive, http://www.publicartarchive.org/work/puino-kolu-o-hina-three-winds-hina)



Figure 5-3. Plaque that contains the mana'o of the artist Alapa'i Hanapi for Pu'ino Kolu o Hina.



6.0 SUMMARY AND RECOMMENDATIONS

As a part of the cultural impact assessment process, an analysis of the potential effect of any proposed physical alteration on cultural resources, practices or beliefs; the potential of the proposed action to isolate cultural resources, practices or beliefs from their setting; and the potential of the proposed action to introduce elements which may alter the setting in which cultural practices take place (State of Hawaii Office of Environmental Quality Control 2012:13) is required.

6.1 POTENTIAL PROJECT EFFECT

While traditional gathering of either *mauka* or *makai* resources within the study area was not discussed during consultation for the proposed project, it is not to say these practices do not occur within Kaunakakai Ahupua'a. The focus of consultation was to understand if the proposed Molokai Public Library Meeting Room Addition will have an adverse effect on traditional cultural practices. Given the location of the proposed project within Kaunakakai Town and the small construction footprint, adverse effects to *mauka* or *makai* resources, as well as previously documented significant historic properties and known burial areas as a result of the project are not anticipated. Likewise, hinderance of access to these resources as a result of proposed project construction activities and build-out is not anticipated.

The primary concern expressed by some who participated in the consultation was in regard to *Pu'ino Kolu o Hina*. *Ho'okupu* and *lei* have been known to appear and be left with the sculpture, while visitor tours of Kaunakakai Town have included the sculpture as an educational focus. Aunty Sylvia Adams wanted to make sure that the Hina sculpture is not blocked and visible from Ala Malama Street. Regarding this concern, project plans show that the construction footprint is located directly behind the library structure (Figure 6-1) while landscaping plans show a good distance from the construction footprint and continued clear line of site to Ala Malama (Figure 6-2). While the plaque and basalt plinth is located on the edge of the construction footprint there are no plans to remove it, either temporarily or permanently, and will stay in place throughout construction.

Finally, with regard to potentially significant historic properties within the current project area, , has been utilized for commercial and public buildings historically, including an old school house and church prior to the 1920s (see also Figure 3-5), the Cooke Hall community center from at least 1924 to 1936 (see also Figure 3-3), and the Old Judiciary building from roughly 1935 to 2013 (Strazar 2000:14) (see also Figure 1-5). Therefore, while the probability for encountering significant pre-contact deposits during excavation for pier and wall foundations for the proposed Molokai Library Meeting Room Addition is low, there may be a possibility for encountering historic deposits and remnants representative of the commercial and civic history of Kaunakakai within the current project area. Preliminary consultation with the State Historic Preservation Division has indicated that Archaeological monitoring would likely be recommended as an identification measure.





Figure 6-1. Overview of construction footprint, grassy area in the middle ground and center of frame, in relation to Pu'ino Kolu o Hina, right of frame, and the basalt plinth with plaque.

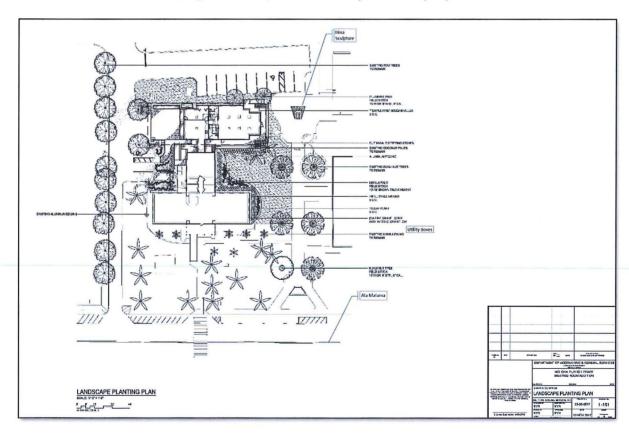


Figure 6-2. Landscaping plan showing the location of the existing library (bottom) in relation to the meeting room addition and Pu'ino Kolu o Hina (plan courtesy of Fung Associates, Inc.)



6.2 Project Recommendations

With regard to *Pu'ino Kolu o Hina* and the accompanying plaque, it is recommended that access to the sculpture and plaque is not hindered during construction. Because of the significance of both to the community, and to ensure that the plaque is protected during construction, it is recommended that both the sculpture and plaque are clearly labeled on construction plans with a note regarding avoidance. It is also recommended that protective measures for the plaque be undertaken during construction of the meeting room and hardscape features.



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APPENDIX

TRAFFIC ASSESSMENT



CONTINUING THE ENGINEERING PRACTICE FOUNDED BY H. A. R. AUSTIN IN 1934

TERRANCE S. ARASHIRO, P.E. ADRIENNE W.L.H. WONG, P.E., LEED AP DEANNA M.R. HAYASHI, P.E. PAUL K. ARITA, P.E. ERIK'S KANESHIRO L'PL'S LEED AP MATT K. NAKAMOTO, P.E. GARRETT K. TOKUOKA, P.E.

November 29, 2017

Ms. Vanessa Ko Fung Associates, Inc. 1833 Kalakaua Avenue Suite 1008 Honolulu, Hawaii 96815

Dear Ms. Ko:

Subject: Traffic Letter Assessment

for Molokai Public Library Expansion

Kaunakakai, Molokai, Hawaii

Austin, Tsutsumi & Associates, Inc. (ATA) is pleased to present this traffic assessment for the proposed expansion of the Molokai Public Library (hereinafter referred to as the "Project") development located in Kaunakakai, Molokai, Hawaii.

Project Description

The Molokai Public Library was built in 1937 and is significant for its history as the only public library serving the island of Molokai. The historic library is a one-story wooden building and is approximately 3,329 square feet (sq ft), located in the central town of Kaunakakai.

We understand that the Project proposes to construct an extension to the back of the existing library. The extension will be approximately 4,210 sq ft. This new library addition will provide custodian, staff room, community room, men's and women's restrooms, exterior storage and a loading area.

Existing Roadways

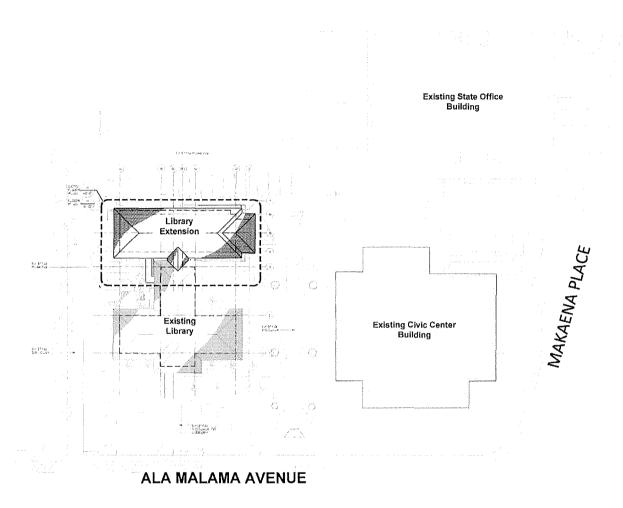
Within the Project vicinity, access to the Library Driveways is provided via Ala Malama Avenue and Mauna Loa Highway. Ala Malama Avenue is generally a north-south, undivided, two-way local road that provides as a main access to the Kaunakakai Town. Ala Malama Avenue begins with its intersection at Mauna Loa Highway/Kamehameha V Highway and terminates in a residential area. This roadway fronts the Library and Civic Center Building, which is located north of the Project, Sidewalks and street parking are present along most parts of the roadway. The site location and site plan for the proposed Project are shown in Figure 1.1 and Figure 1.2, respectively.

501 SUMNER STREET, SUITE 521 ♦ HONDLULU, HAWAII 96817-5031

DEFICES IN: HONOLULU, HAWAII WAILUKU, MAUI, HAWAII HILO, HAWAII

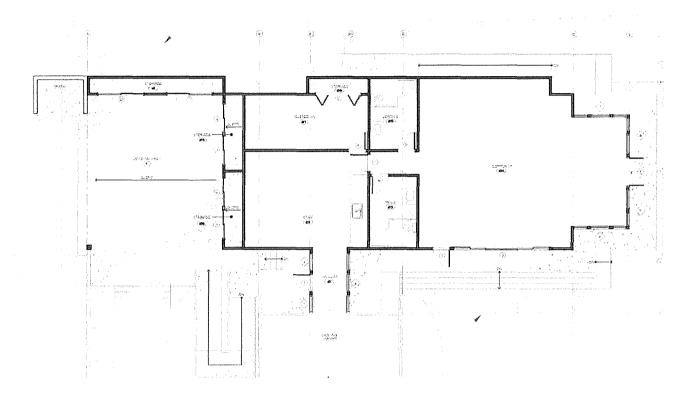
November 29, 2017

Figure 1.1: Project Location



November 29, 2017

Figure 1.2: Project Site Plan



November 29, 2017

Study Scope

The focus of this traffic assessment will be on the trip generation potential of the Project to determine whether it meets the minimum trip generation criteria recommended by Institute of Transportation Engineers (ITE). The Manual of Transportation Engineering Studies, dated 2010, published by ITE states:

"... in lieu of other locally established thresholds, a traffic access/impact study should be conducted whenever a proposed development will generate 100 or more added (new) peak direction trips to or from the site during the adjacent roadway's peak hours or the development's peak hours."

Trip Generation

The Institute of Transportation Engineers (ITE) publishes trip rates, Trip Generation, 9th Edition, based upon historical data from similar land uses. The trip generation for the Project was generated using ITE Code 590 for Library. Table 1 shows the projected traffic generated by the proposed Project during the AM and PM peak hours of traffic.

Land Use (ITE Code)	AM Peak Hour			PM Peak Hour		
	Enter (vph)	Exit (vph)	Total (vph)	Enter (vph)	Exit (vph)	Total (vph)
Library (590)	0	0	0	17	18	35

The proposed Project is anticipated to generate a total of 0 trips during the AM peak hour of traffic and 35 trips during the PM peak hour of traffic. Thus, each of the projected AM and PM peak hours resulted in projected generated traffic below the 100 new trip threshold that would require a Traffic Impact Analysis Report (TIAR).

Conclusion

The following are the conclusions of the TA study:

- The Project is estimated to generate 0(35) trips during AM(PM) peak hours of traffic.
- The preparation of a Traffic Impact Analysis Report is not required as the Project does not meet the minimum trip generation criteria of 100 new trips in the peak direction which is recommended by ITE regarding the preparation of a Traffic Impact Analysis Report.

November 29, 2017

We appreciate the opportunity to prepare this traffic assessment for the Project. If you have any questions or require additional information, please contact me at (808) 533-3646.

Sincerely,

AUSTIN, TSUTSUMI & ASSOCIATES, INC.

Βv

TYLER FUJIWARA, P.E. Project Manager

CF:TM

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