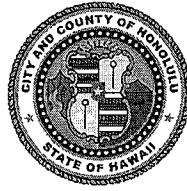


DEPARTMENT OF PLANNING AND PERMITTING
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 7TH FLOOR • HONOLULU, HAWAII 96813
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RICK BLANGIARDI
MAYOR



DEAN UCHIDA
DIRECTOR

DAWN TAKEUCHI APUNA
DEPUTY DIRECTOR

June 14, 2022

2022/ED-8(LM)

Ms. Mary Alice Evans
State of Hawaii
Office of Planning and Sustainable Development
Environmental Review Program
235 South Beretania Street, Room 702
Honolulu, Hawaii 96813

Dear Ms. Evans:

SUBJECT: Chapter 25, Revised Ordinances of Honolulu
Draft Environmental Assessment (DEA)
Project: 10 Kamani Kai Place
Owner/Applicant: Jennifer Rainin Trust
Agent: Bradley Furuya (PBR Hawaii)
Location: 10 Kamani Kai Place – Kailua
Tax Map Key: 4-3-015: 055

With this letter, the Department of Planning and Permitting hereby transmits the DEA and Anticipated Finding of No Significant Impact for the 10 Kamani Kai Place Project at the above site in the Koolaupoko District on the Island of Oahu, for publication in the June 23, 2022, edition of *The Environmental Notice*.

We have uploaded an electronic copy of this letter, the publication form, and the DEA to your online submittal site.

Should you have any questions, please contact Laura Mo, of our Urban Design Branch, at (808) 768-8025 or via email at laura.mo@honolulu.gov.

Very truly yours,

A handwritten signature in black ink, appearing to read "Dean Uchida".
Dean Uchida
Director

**NON-CHAPTER 343 DOCUMENT
PUBLICATION FORM
OFFICE OF ENVIRONMENTAL QUALITY CONTROL**

Project Name: 10 Kamani Kai Place

Applicable Law: Chapter 25, Revised Ordinances of Honolulu

Type of Document: Draft Environmental Assessment – Anticipated Finding of No Significant Impact (AFONSI)

Island: Oahu

District: Koolaupoko

TMK: (1) 4-3-015: 055

Permits Required: Special Management Area Use Permit

Applicant or Proposing Agency:

Jennifer Rainin 2007 Trust
155 Grand Avenue
Oakland, California 94612
(510) 282-0552

Approving Agency or Accepting Authority:

Department of Planning and Permitting
650 South King Street, 7th Floor
Honolulu, Hawaii 96813
Laura Mo - Land Use Permits Division
(808) 768-8025 laura.mo@honolulu.gov

Consultant:

Bradley Furuya
PBR Hawaii
1011 Bishop Street, Suite 650
Honolulu, Hawaii 96813
(808) 521-5631 bfuruya@pbrhawaii.com

Status: Draft, AFONSI

Project Summary:

The applicant proposes to build two one-story single-family homes on a vacant lot in the R-10 zoning district in Kailua. The main residence will comprise of three bedrooms, three and one-half baths, and three covered lanais. The second dwelling will comprise of three bedrooms, three baths, and one lanai. A pool courtyard will include a pavilion for exercise and a pool bath. The project is entirely within the Special Management Area, with all development outside of the Shoreline Setback area.

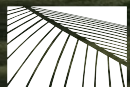
10 KAMANI KAI PLACE

DRAFT ENVIRONMENTAL ASSESSMENT/
ANTICIPATED FINDING OF NO SIGNIFICANT IMPACT
SUBMITTED UNDER REVISED ORDINANCES OF HONOLULU,
CHAPTER 25
IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT

APPLICANT:
JENNIFER A. RAININ 2007 TRUST

APPROVING AGENCY:
**CITY AND COUNTY OF HONOLULU
DEPARTMENT OF PLANNING & PERMITTING**

PREPARED BY:



PBR HAWAII
& ASSOCIATES, INC.

May 2022

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LIST OF ACRONYMS

The following is a list of terms, abbreviations, and acronyms used in this document.

A

ALISH	Agricultural Lands of Importance to the State of Hawai‘i
AM	Morning

B

BMPs	Best Management Practices
BWS	City and County of Honolulu, Board of Water Supply

C

CATV	Cable TV
CGB	Community Growth Boundary
CGG	University of Hawai‘i Coastal Geology Group
CZM	Coastal Zone Management

D

dba	Doing business as
DBEDT	State of Hawai‘i, Department of Business, Economic Development & Tourism
DHS	State of Hawai‘i, Department of Human Services
DLNR	State of Hawai‘i, Department of Land and Natural Resources
DOH	State of Hawai‘i, Department of Health
DPP	City and County of Honolulu, Department of Planning and Permitting

E

EA	Environmental Assessment
EIS	Environmental Impact Statement
ENV	City and County of Honolulu, Department of Environmental Services
ERP	Environmental Review Program (formerly “OEQC”)

F

FEMA	Federal Emergency Management Agency
FHAT	Flood Hazard Assessment Tool
FIRM	Flood Insurance Rate Map
FONSI	Finding of No Significant Impact

G

GPD	Gallons per day
-----	-----------------

H

H-POWER	Honolulu Program of Waste Energy Recovery
HAR	Hawai‘i Administrative Rules
HECO	Hawaiian Electric Company, Inc.
HFD	Honolulu Fire Department
HDOT	State of Hawai‘i, Department of Transportation
HICRIS	Hawaii Cultural Resource Information System
HPD	Honolulu Police Department
HRS	Hawai‘i Revised Statutes

I

IWS	Individual Wastewater System
-----	------------------------------

K

KPSCP Ko‘olau Poko Sustainable Communities Plan

L

LED Light Emitting Diode

LID Low-Impact Development

LSB Land Study Bureau

LUC State of Hawai‘i, Land Use Commission

LUO Land Use Ordinance

M

MEOWs Maximum Envelopes of Water

MOMs Maximum of Maximums

N

NFIP National Flood Insurance Program

NHC National Hurricane Center

NOAA National Oceanic and Atmospheric Administration

NPDES National Pollutant Discharge Elimination System Permit

NRCS Natural Resources Conservation Service

NWS National Weather Service

O

OEQC Office of Environmental Quality Control

OCCL State of Hawai‘i, Department of Land and Natural Resources, Office of Conservation and Coastal Lands

OPSD State of Hawai‘i, Office of Planning and Sustainable Development

P

PM Afternoon

PVA Peter Vincent Architects

PZE Kailua Neighborhood Board Planning, Zoning and Environment Committee

R

R-10 Residential Zoning District (City and County of Honolulu)

ROH Revised Ordinances of Honolulu

S

SFP State Functional Plan

SHPD State Historic Preservation Division

SLOSH Seas, Lake, and Overland Surges from Hurricanes

SLR Sea Level Rise

SLR-XA Sea Level Rise Exposure Area

SMA Special Management Area

T

TMK Tax Map Key

U

USFWS U.S. Fish and Wildlife Service

1.0 GENERAL INTRODUCTION

This Environmental Assessment (EA) is prepared in accordance with Chapter 343, Hawai‘i Revised Statutes (HRS) submitted under Revised Ordinances of Honolulu (ROH), Chapter 25 in support of a Special Management Area (SMA) Use Permit application for the 10 Kamani Kai Place Single-Family Residences project (“10 Kamani Kai Place”).

1.1 PROJECT SUMMARY

Project Name:	10 Kamani Kai Place
Location:	10 Kamani Kai Place, Kailua, O‘ahu 96734 (Figure 1)
Judicial District:	Ko‘olaupoko
Tax Map Key (TMK):	(1) 4-3-015:055 (Figure 2)
Applicant:	Jennifer A. Rainin 2007 Trust
Recorded Fee Owner:	Jennifer A. Rainin 2007 Trust
Previous/Existing Use:	Vacant
Proposed Action:	To construct two, one-story, single-family homes that will be attached
Lot/Project Area:	Approximately 38,310 square feet
Land Use Designations:	<ul style="list-style-type: none">• State Land Use: <i>Urban (no uses proposed in the Conservation District)</i>• Ko‘olau Poko Sustainable Communities Plan: Low-Density Residential• County Zoning: Residential (R-10)
Special Management Area:	The Property is located entirely within the Special Management Area (Figure 3) but development will occur outside of the Shoreline Setback area
Permits/Approvals Required:	<ul style="list-style-type: none">• Chapter 343, HRS Compliance• Revised Ordinances of Honolulu, Chapter 25• National Pollutant Discharge Elimination System (NPDES) Permit (if necessary)• Dust Control Plan• Noise Permit (if necessary)• Special Management Area Use Permit – Major• Grading Permit (if necessary)• Trenching Permit (if necessary)• Occupancy Permit• Building Permit (electrical, plumbing, civil)• Solar Photovoltaic Permit• Street Usage Permit

- Park Dedication Application

EA Approving Agency: City and County of Honolulu, Department of Planning and Permitting (DPP)

Anticipated Finding of No Significant Impact (FONSI)

Determination:

1.2 LOCATION & DESCRIPTION OF THE PROPERTY

The Property is located at 10 Kamani Kai Place in Kailua, O‘ahu, State of Hawai‘i (Figure 1). Utilizing the Tax Map Key (TMK) system, the land under the Property is identified as TMK (1) 4-3-015:055. Refer to Figure 2. While a consolidation and re-subdivision of the aforementioned parcels had been submitted to the Land Court of the State of Hawai‘i, and a new Tax Map Key has been assigned to the re-subdivided lot, the Tax Map has not been updated. During the pre-Assessment consultation process, the City and County of Honolulu, Department of Planning and Permitting (DPP) wrote: “Also, we note that there is a restrictive covenant impacting the site. The Draft EA should discuss the purpose and effect of the covenant.” We believe the restrictive covenant was over Lot 10 on Land Court Map 42 (TMK 4-3-015:031), and the area covered by the restrictive covenant is not a part of subject property (which consists of 38,310 square feet at the makai end of Kamani Kai Place).

The Property is vacant and does not include any structures and improvements on the site, including residences, garages, swimming pools, lanais, pavement, stairways, shoreline hardening structures, irrigation, individual wastewater systems, etc.

1.3 PROPOSED USE AND SURROUNDING LAND USES

Subsequent to the distribution of the pre-Assessment consultation, there has been a slight change in the project, and what is now being proposed on the R-10 zoned, 38,310 square foot lot, are two, one-story, attached, single-family residences. The proposed use is consistent with both: 1) the underlying zoning (R-10 Residential); and 2) the underlying Ko‘olau Poko Sustainable Communities Plan (KPSCP) Land Use Map (“Low Density Residential”). In the general vicinity, the Property is surrounded by residential-zoned lots. *Makai* of North Kalāheo Avenue are shoreline lots. The *makai* side of the Property is bounded by State land and bordered to the northwest and southeast by single-family residences. The Property’s *mauka* boundary abuts two residential lots (Figure 4).

1.4 RECORDED FEE OWNER & IDENTIFICATION OF APPLICANT

The recorded fee owner and Applicant is the Jennifer A. Rainin 2007 Trust.

Contact: Dr. Jennifer Rainin
155 Grand Avenue,
Oakland, CA 94612
Email: jenrainin@gmail.com

1.5 IDENTIFICATION OF APPROVING AGENCY

The City and County of Honolulu, Department of Planning and Permitting (DPP) is the approving agency.

Contact: Department of Planning and Permitting
City and County of Honolulu
650 South King Street, 7th Floor
Honolulu, HI 96813
Phone: (808) 768-8000

1.6 IDENTIFICATION OF ENVIRONMENTAL CONSULTANT & AGENT

The environmental consultant is PBR HAWAII & Associates, Inc. dba PBR HAWAII.

Contact: Bradley Furuya
PBR HAWAII
1001 Bishop Street, Suite 650
Honolulu, HI 96813
Phone: (808) 521-5631

1.7 COMPLIANCE WITH STATE OF HAWAII AND CITY AND COUNTY OF HONOLULU ENVIRONMENTAL LAWS

In the City and County of Honolulu, management of lands within the SMA is regulated through ROH, Chapter 25. Permit review guidelines in ROH, Chapter 25 used by DPP and the City Council are derived from Section 205A-26 HRS. Act 16 (SB2060, SD2, HD2), adopted on September 15, 2020, amended HRS Chapter 205A. The proposed 10 Kamani Kai Place project requires a SMA Use Permit – Major. Per Hawai‘i Administrative Rules (HAR) Section 25-3.3(c)(1), “Any proposed development within the special management area requiring a special management area use permit shall be subject to an assessment by the agency in accordance with the procedural steps set forth in HRS Chapter 343.” Preparation of this document is in accordance with the provisions of: ROH, Chapter 25, Chapter 343, HRS (2007) and Title 11, Chapter 200.1, HAR pertaining to Environmental Impact Statements (EIS).

1.8 IDENTIFICATION OF AGENCIES CONSULTED IN MAKING ASSESSMENT

1.8.1 Early Consultation

A pre-Assessment consultation was conducted from January 12, 2022 to February 12, 2022, prior to the preparation of the Draft EA. The purpose of the pre-Assessment consultation was to consult with agencies, organizations, and individuals with technical expertise or an interest in, or will be affected by, the proposed 10 Kamani Kai Place project. This process is part of the scoping process for the Draft EA. Comments and input received during this period were used to identify environmental issues and concerns to be addressed in the Draft EA.

As part of this early consultation process, the agencies, organizations, and individuals who were sent pre-Assessment consultation letters are listed in Table 1. Those who provided written

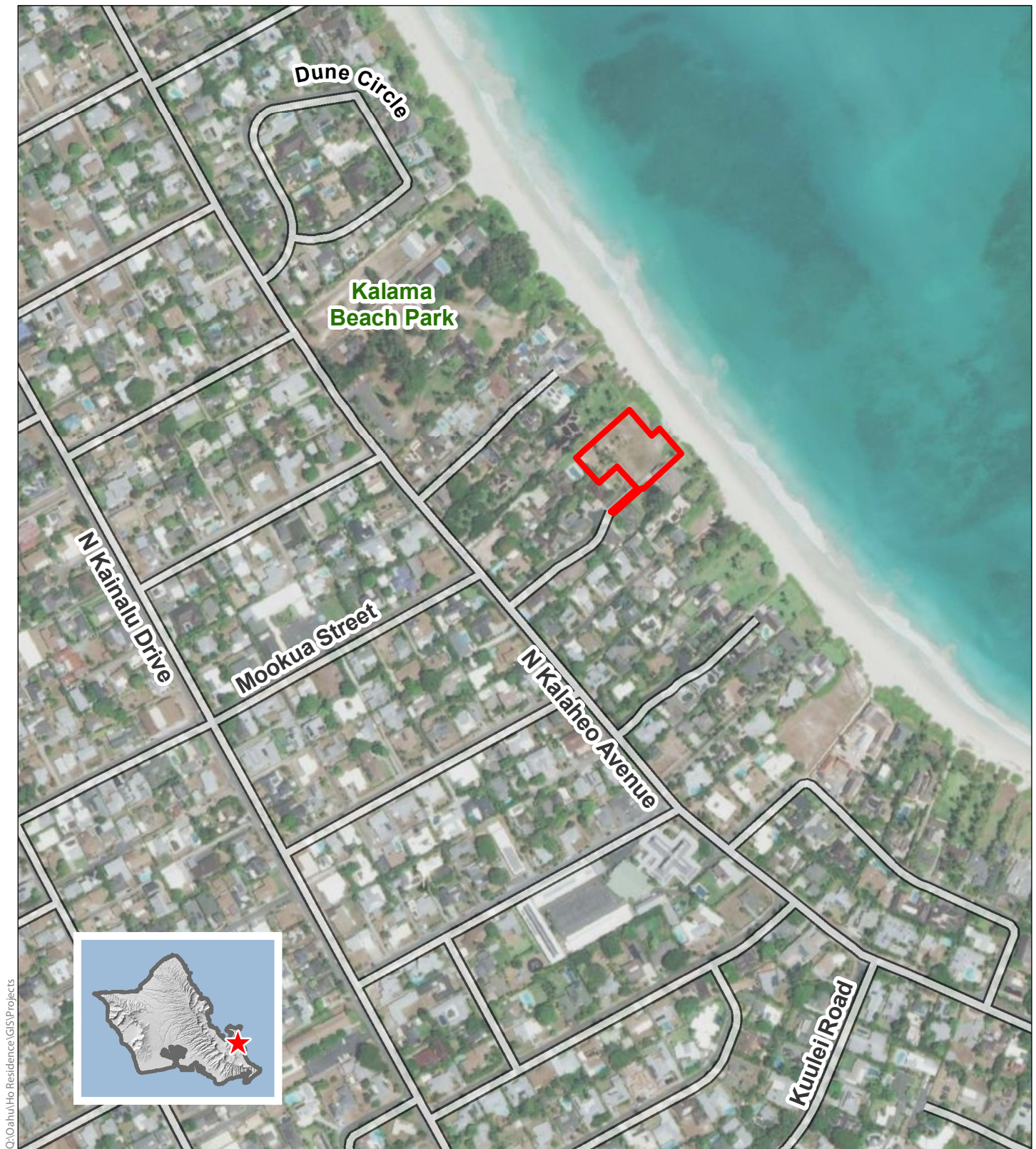
comments (either by hard copy or electronically) are indicated in Table 1. Copies of the written comments and responses are reproduced in Appendix A.

Table 1: Pre-Assessment Consultation

Agencies/Organizations/Individuals	Pre-Assessment Consultation Letter Sent	Pre-Assessment Comment Received
STATE		
Environmental Review Program (ERP) (formerly Office of Environmental Quality Control (OEQC))	X	
Department of Accounting and General Services	X	
Department of Agriculture	X	
Department of Business, Economic Development & Tourism (DBEDT)	X	
DBEDT – Hawai‘i State Energy Office/Strategic Industries Division	X	
DBEDT - Office of Planning and Sustainable Development	X	2/1/22
Department of Defense	X	1/28/22
Department of Hawaiian Home Lands	X	
Department of Health (DOH)	X	
DOH – Environmental Health Administration	X	
Department of Human Services	X	2/3/22
Department of Labor and Industrial Relations	X	
Department of Land and Natural Resources (DLNR)	X	2/14/22; 3/9/22
Department of Transportation	X	1/26/22
Hawai‘i Housing Finance and Development Corporation	X	
Office of Hawaiian Affairs	X	
FEDERAL		
U.S. Army Corps of Engineers, Honolulu District	X	
U.S. Fish and Wildlife Service	X	1/20/22
Federal Emergency Management Agency, Region IX	X	
COUNTY		
Board of Water Supply	X	2/9/22
Department of Community Services	X	1/19/22
Department of Customer Services	X	
Department of Design and Construction	X	1/28/22
Department of Environmental Services	X	
Department of Facility Maintenance	X	2/11/22
Department of Planning and Permitting	X	1/26/22
Department of Transportation Services	X	2/11/22
Honolulu Fire Department	X	1/28/22
Honolulu Police Department	X	1/28/22

10 KAMANI KAI PLACE
DRAFT ENVIRONMENTAL ASSESSMENT/ANTICIPATED FINDING OF NO SIGNIFICANT IMPACT

Agencies/Organizations/Individuals	Pre-Assessment Consultation Letter Sent	Pre-Assessment Comment Received
ELECTED OFFICIALS		
State Senator Chris Lee	X	
State Representative Patrick Branco	X	
City Councilmember Esther Kiaʻāina	X	
Neighborhood Board No. 31 Chair Bill Hicks	X	1/14/22
UTILITIES		
Hawaiian Electric Company, Inc.	X	
Spectrum	X	1/31/22
Hawaiian Telcom	X	



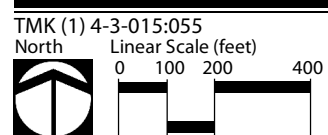
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Legend

 Project Site

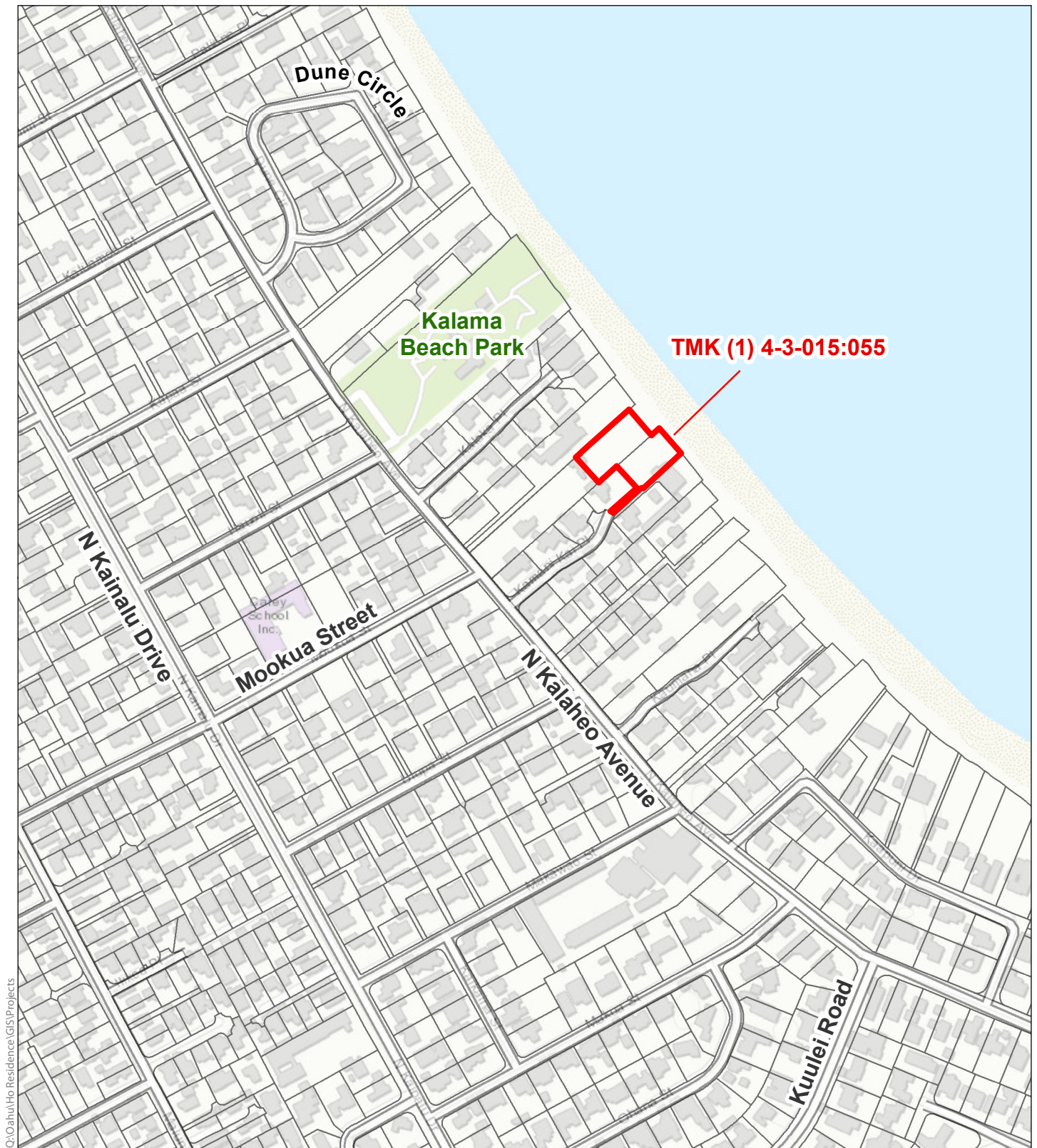
Figure 1:
Regional Location Map

10 Kamani Kai Place



Island of O'ahu





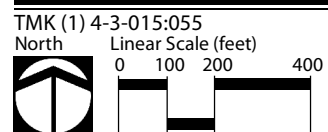
DATE: 4/6/2022

Legend

- Project Site
- TMK (2021)

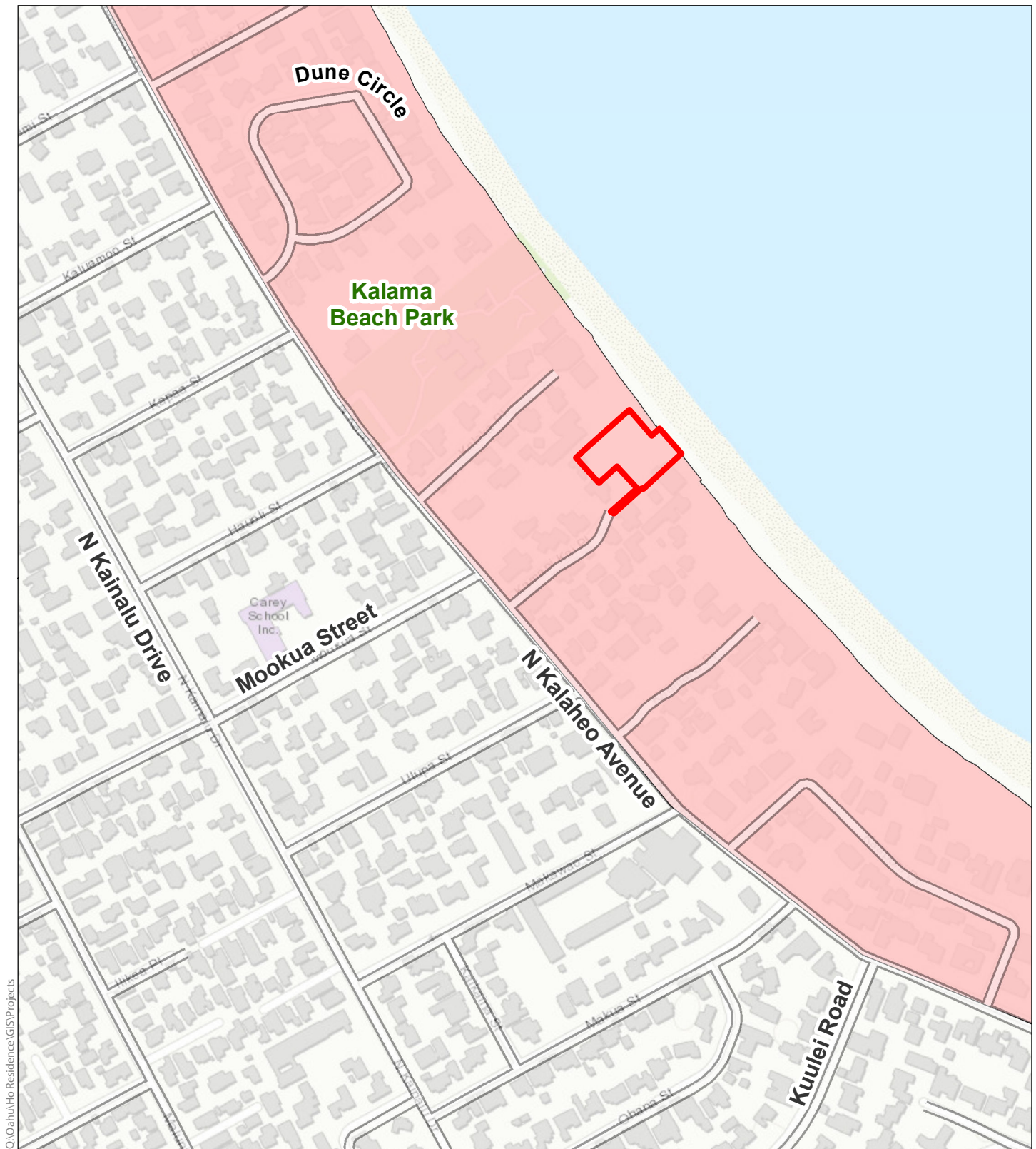
Figure 2:
Tax Map Key (TMK)

10 Kamani Kai Place



Island of O'ahu





Q:\Oahu\Ho Residence GIS\Projects

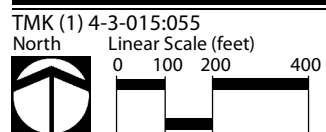
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Legend

- Project Site
- SMA

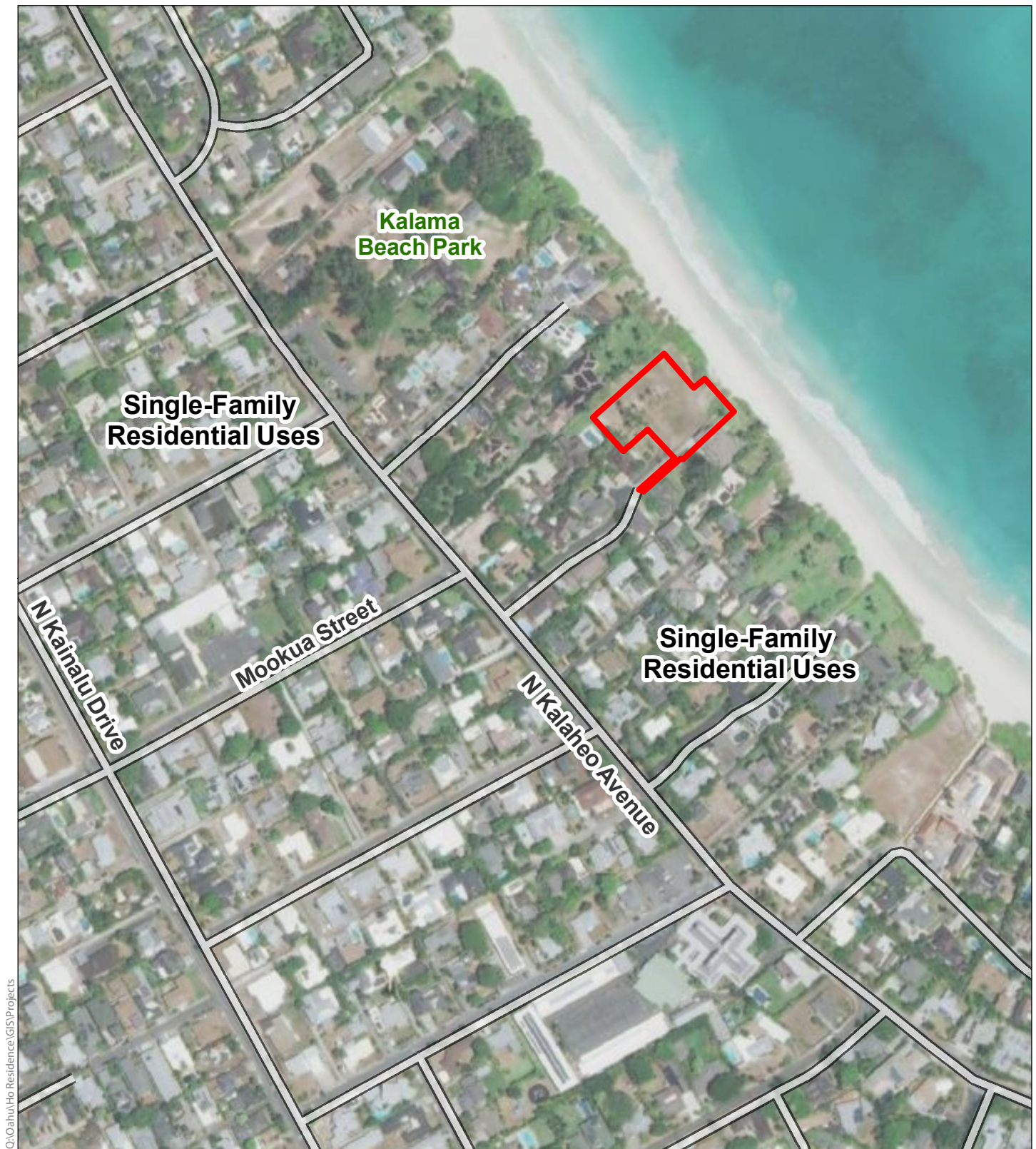
Figure 3:
Special Management Area (SMA)

10 Kamani Kai Place



Island of O'ahu





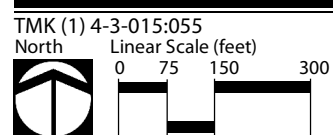
DATE: 4/6/2022

Legend

 Project Site

Figure 4:
Surrounding Land Uses

10 Kamani Kai Place



Island of O'ahu



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2.0 DESCRIPTION OF THE PROPOSED ACTION

This section provides background information and a general description of the 10 Kamani Kai Place project (“Project”).

2.1 GENERAL DESCRIPTION

2.1.1 Background and Need for the Project

The proposal is to develop two single-family dwellings on the 38,310 square foot oceanfront property, which will be used solely by a married couple and their children and guests. The couple currently resides part-time on a lot abutting the property.

2.1.2 Project Objectives

The objective of the Project is to construct two, attached, one-story, single-family homes, that: observe the development standards for R-10 zoning; exceed the minimum shoreline setback (Appendix E); and incorporate green design elements. (Appendix B)

2.1.3 Narrative Description of the Project

The design consists of a series of one-story connected pavilions, accentuated by a central living pavilion, which is on a mauka-makai axis and features a dutch-gabled roof element, representative of a Hawaiian canoe hale. The main residence is comprised of three bedrooms and three and one-half baths and three covered lanais, configured around a pool courtyard on the mauka side, buffered from the on-shore tradewinds. A pool pavilion anchors the mauka end of the pool courtyard, which will be used for exercise and includes a pool bath. The secondary dwelling consists of three bedrooms and three baths and a makai lanai and connects to a 3-car garage, which fronts the motor court.

Overall, the design vocabulary will be a contemporary interpretation of “Hawaiiana,” with modest-scale forms that fit comfortably within the site. Natural materials, appropriate to Kailua beach will be utilized, such as coral, wood, stone and copper. Extensive landscaping will be incorporated, with native planting on the makai side, such as Coconuts, Beach Heliotrope and Naupaka. A more, lush plant palette will be featured on the mauka side, as appropriate to its micro-climate.

During the pre-Assessment consultation process, the Office of State Planning and Sustainable Development recommended:

“...that the EA specifically discuss the compliance with the requirements of ...shoreline setbacks under ROH Chapter 23...Please note that shoreline hardening structures, including seawalls and revetments, are prohibited at sites with beaches pursuant to HRS 205A-2(c)(9)(B) and HRS 205A-46(a)(9), as amended, enacted by Act 16, Session Laws of Hawaii 2020.”

In addition, the DPP wrote that all “development must be located outside of the shoreline setback area...” It should be noted that no development (Appendix B) is proposed within 60 feet of the certified shoreline and no shoreline hardening structures, including seawalls and revetments are proposed as part of the Project.

2.1.4 Relation of Parcel to Special Management Area

The parcel is located entirely within Special Management Area (SMA), but no action is proposed within the Shoreline Setback.

2.1.5 Location Map

A regional location map is provided on Figure 1.

2.1.6 Land Use Approvals Required

In the City and County of Honolulu, management of lands within the SMA is regulated through ROH, Chapter 25. Permit review guidelines in ROH, Chapter 25 used by DPP and the City Council are derived from Section 205A-26 HRS. Act 16 (SB2060, SD2, HD2), adopted on September 15, 2020, amended HRS Chapter 205A. The proposed 10 Kamani Kai Place project requires a SMA Use Permit – Major.

2.2 TECHNICAL CHARACTERISTICS

2.2.1 Use Characteristics

According to a cultural history compendium by the Kailua Historical Society entitled *Kailua i ke Oho o ka Malanai* (Kailua in the Wisps of the Malanai Breeze) (2009):

The movement toward housing development in Kailua had begun as early as 1916, when Arthur Rice bought the land of the failed ‘Coconut Grove’ copra development from the Waterhouse brothers and planned a residential subdivision on the property...In 1925, Harold Castle built his first housing tract along North Kalaheo Avenue in Kailua, which he named after Queen Kalama....”

The proposed use is residential which is consistent with surrounding land uses makai and mauka of Kalāheo Avenue (refer to Figure 4). No part of the proposed residences is proposed within 60 feet of the certified shoreline.

2.2.2 Physical Characteristics

The physical characteristics of the Property are shown on Appendix F, Topographic Map, which shows property lines, lot size, spot elevations and existing structures (primarily a driveway). During the pre-Assessment consultation process, DPP wrote:

The location of the regulatory shoreline setback must be confirmed on a shoreline survey certified by the State of Hawaii, and must also be reflected in the plans submitted for the SMA Use Permit to confirm compliance with the Shoreline Setback Ordinance (Chapter 23, ROH). A draft shoreline survey should be included and evaluated in the Draft EA. A certified shoreline survey should be included in the Final EA.

A copy of the certified shoreline survey is attached as Appendix E of this EA. The certified shoreline is reflected in the proposed project’s conceptual site plan (Appendix B). No development is proposed within 60 feet of the certified shoreline (refer to Appendix E and B).

2.2.3 Construction Characteristics

Construction of the project will include clearing, grubbing, grading and filling of the site (Appendix G). Refer to 2.1.3 above for a description of the new structure height and design.

2.2.4 Utility Requirements

The projected average daily demand for water is estimated at 500 GPD (not including irrigation for landscaping).

Power connection from HECO will be obtained to meet the electrical needs of the Project. Energy-saving features will be incorporated into its design where feasible, including:

- Photovoltaic panel system with battery backup;
- LED lighting;
- Installation of high-performance glazing (insulated with low-E coating) in the windows and doors, as well as other passive cooling strategies.

The Applicant has decided that gas will be utilized on the Property.

2.2.5 Liquid Waste Disposal

The Applicant intends to connect the proposed residence to the municipal sewer system.

2.2.6 Solid Waste Disposal

The Applicant intends to rely on regular solid waste collection by the City and County of Honolulu.

2.2.7 Access to Site

The roadway providing access to the Property is Kamani Kai Place via North Kalāheo Avenue.

2.3 ECONOMIC AND SOCIAL CHARACTERISTICS

Construction of the 10 Kamani Kai Place project is anticipated to start after approval of the SMA Use Permit and building permit applications, and is expected to be completed in 18 to 24 months. Without completing the schematic design process, the Project is estimated to cost approximately four million dollars.

2.4 ENVIRONMENTAL CHARACTERISTICS

2.4.1 Soils

Soils are discussed in Section 3.3 below.

2.4.2 Topography

The Property is located along a large sand dune fronting Kailua Bay. It is not located on/in a mountain, headlands, valley, stream, channel, spring or marsh). Topography is further discussed in Section 3.2 and shown on Figure 5.

2.4.3 Surface Runoff, Drainage and Erosion Hazard

These topics are addressed in the following sections: 3.4.1, 3.4.3, 3.5, and 4.7.2.

2.4.4 Federal FIRM Zone

These topics are addressed in the following sections: 3.5 and 3.5.2.

2.4.5 Other Information Pertinent to the Special Management Area - Green Design Elements

In addition to high performance, insulated glass, the design of the 10 Kamani Kai Place project will include other passive solar design strategies: The home will be configured to keep each of the floor areas relatively shallow so that all spaces have access to natural daylighting and cross ventilation; Within the limits dictated by the configuration and orientation of the Property, the building will be arranged to maximize exposure to the sun where it is most easily controlled with shading devices.

High performance, non-fiberglass, mineral wool insulation is being considered for both the roofs and exterior walls. Photovoltaic panels will be installed to supplement electrical power requirements, and batteries will be included to store energy. Grey water will be collected and used for irrigation. An extensive amount of permeable paving will be used to reduce storm water runoff. Installed landscaping will include trees to shade the building from low angle sun (as well as screen the building when viewed from the street or the neighboring properties).

The use of volatile organic compounds will be avoided in any interior sealants, paints or finishes. Higher performance exterior finishes, when utilized, will be shop-applied under controlled conditions. When possible, construction materials will be locally sourced (this is a challenge in Hawai'i, but at minimum, if items can be at least fabricated locally, that will help reduce the overall carbon foot print of the home). Concrete will be the primary structural material (extending to the roof in some instances), and can be locally produced.

The house will be cooled mechanically but it is hoped that this system will not need to be used frequently, as the house is located on a property well exposed to trade winds and has been configured to take advantage of those winds for natural ventilation.

3.0 AFFECTED ENVIRONMENT - DESCRIPTION OF THE NATURAL ENVIRONMENT, PROJECT IMPACTS, AND MITIGATION MEASURES

This section describes the existing conditions of the physical or natural environment, potential impacts of the 10 Kamani Kai Place project to the environment, and mitigation measures to minimize impacts. Per DPP’s “Content Guide for Preparing an Environmental Assessment Required with an Application for a SMA Use Permit,” the following topics can be found in the following sections of this EA.

Topic #	Topic	Sections of the EA	Figure #
A	A brief description of the subject site in relation to surrounding area and the description of the surrounding area.	1.1, 1.2, 1.3, 5.2.1, 5.2.2, 5.2.3	1, 2, 4, 13
B	Project site in relation to publicly owned or used beaches, parks and recreation areas; rare, threatened, or endangered species and their habitats; wildlife; wetlands...	4.8.4, 3.6 3.4.3;	1, 4, 7, 13
C	Relation to historic, cultural, and archaeological resources.	4.1.1, 4.1.2	
D	Coastal views from surrounding public viewpoints and from the nearest coastal highway across the site to the ocean or to coastal landform.	4.5	
E	Quality of receiving waters and ground water (including potable water) resources.	3.4.1, 3.4.2, 3.4.3	
F	Evaluation of Project vulnerability to SLR (i.e., 3.2 feet and 6 feet), active and passive flooding, wave action, storm surge, coastal erosion, potential economic impacts, and possible mitigation or adaption measures,	3.5, 3.5.2, 3.5.3, 3.5.5	8, 9, 10, 11
G	Include suitable and adequate location and site maps.		1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 and 13

Per DPP’s “Content Guide for Preparing an Environmental Assessment Required With an Application for a SMA Use Permit”, mitigation measures, if any, are included after every topic in sections 3.0 and 4.0.

3.1 CLIMATE

The Property is located on the eastern (windward) side of O‘ahu, which sees stronger winds and rains than the rest of the island, but where temperatures are consistent year round. Data from the Western Regional Climate Center shows that within nearby Kāne‘ohe, the average annual maximum temperature is 82.7 degrees with an average minimum temperature of 71.2 degrees. Average annual precipitation in Kāne‘ohe is 31.4 inches.

Project Impacts and Mitigation Measures

The proposed 10 Kamani Kai Place project is not anticipated to affect the climate in the area, especially since it involves the construction of two, one-story, single-family homes that will be attached.

3.2 TOPOGRAPHY

The Property gently slopes from *mauka* to *makai* with an elevation change of approximately one to two feet.

Project Impacts and Mitigation Measures

The property will be graded to one level at the new structures and then will slope from mauka to makai with an elevation change of approximately two feet. By building on a relatively flat property, the proposed 10 Kamani Kai Place project will have a negligible effect on the topography of the Property (Figure 5). Best Management Practices (BMPs) will be implemented to prevent pollution of the shoreline.

3.3 SOILS

Three soil suitability studies prepared for lands in Hawai‘i principally focus on the relative agricultural productivity of different land types. These studies are: 1) the U.S. Department of Agriculture Natural Resources Conservation Service (NRCS) Soil Survey; 2) the University of Hawai‘i Land Study Bureau (LSB) Detailed Land Classification; and 3) the State Department of Agriculture’s Agricultural Lands of Importance to the State of Hawai‘i (ALISH).

3.3.1 Natural Resources Conservation Service (NRCS)

The *Natural Resource Conservation Service, Soil Survey for the Island of O‘ahu* (Figure 6), classifies the soil underlying the Property as primarily classified as Beaches (BS), with the *mauka* portion of the site classified as Jaucas sand, 0 to 15 percent slopes (JaC), which are are well drained soils with medium runoff and a moderate erosion hazard.

3.3.2 Land Study Bureau Detailed Land Classification

The University of Hawai‘i Land Study Bureau (LSB) document, *Detailed Land Classification, Island of O‘ahu*, classifies soils based on a productivity rating. Letters indicate class of productivity with A representing the highest class and E the lowest. The soils of the Property are unclassified by LSB as is large parts of the developed portions of Kailua town.

3.3.3 Agricultural Lands of Importance to the State of Hawai‘i (ALISH)

The Agricultural Lands of Importance to the State of Hawai‘i (ALISH) system classifies important agricultural lands as Prime, Unique, or Other Agricultural Land. The land under the Property is not classified as Prime, Unique, or Other Agricultural Land of importance to the State (as is all of Kailua town and Enchanted Lakes).

Project Impacts and Mitigation Measures

During the pre-Assessment consultation process, DPP commented:

The Draft EA must evaluate potential impacts to the beaches and dunes on the site. The Draft EA must include site-specific mitigation measures to avoid or minimize impacts to these resources. Additionally, the Draft EA should include a landscape plan that identifies any proposed landscape elements, like plants or irrigation.

Construction of the 10 Kamani Kai Place project will not have a deleterious effect on the soil (Jaucas sand) in the Property. Development on the Property will be setback 60 feet from the certified shoreline, so the beach sand and dunes the public enjoys for sunbathing and lateral beach access will be protected.

During grading and construction, there is always the potential for soil (Jaucas sand) erosion and runoff, and the generation of fugitive dust. All construction activities will comply with all applicable federal, state, and county regulations and rules for erosion, sedimentation, and dust control. Contractors will use BMPs to minimize erosion during construction and planting, including watering loose soils (Jaucas sand) during construction, and planting groundcover over areas where construction has been completed. These measures will address any direct impacts from construction and avoid any secondary or cumulative impacts from erosion or fugitive dust caused by construction. Following construction, exposed soils (Jaucas sand) will have been built over, paved over or landscaped to control erosion. As indicated in the conceptual landscape plan provided in Appendix H of this EA, two hedges are shown in the makai lawn between the residences and the shoreline.

The Property has been previously modified. As such, the proposed development has no capacity to impact the availability of agricultural land for cultivation.

3.4 HYDROLOGY

3.4.1 Surface Water

The Property does not contain or abuts any perennial or intermittent streams. There are no existing surface drainage systems at the Property. The site gently slopes from *mauka* to *makai* with an elevation change of approximately one to two feet.

3.4.2 Ground Water

Watersheds capture rainfall and atmospheric moisture from the air and allows the water to drip slowly into underground aquifers or enter stream channels and eventually to the ocean. The Property is located within the Kailua Watershed, which covers approximately 20 square miles (12,800 acres). The Property consists of 38,310 square feet (.89 acre), and represents only .00006668 percent of the Kailua Watershed (Oceanit Laboratories, Inc., 2016). Additionally, the Property is well *makai* of Underground Injection Control Line (which runs *mauka* of Kalanianaʻole and Kamehameha Highways in this area).

3.4.3 Wetlands

During the pre-Assessment consultation process, DPP commented:

The Draft EA should identify the presence or potential presence of any protected wetlands, sensitive habitat, flora species, and fauna species...Known, mapped wetlands can be viewed on the USFWS National Wetlands Inventory Wetlands Mapper...The Wetlands Mapper is available online at: <https://www.fws.gov/wetlands/data/mapper.html>.

No wetlands occur directly on the Property. The USFWS National Wetlands Inventory indicates that the nearest wetlands are located in Kaʻelepulu Stream, Kawai Nui Marsh and Hāmākua

Wetland, as well as the ocean *makai* of the Property. Figure 7 shows the designated wetlands, “Estuarine and Marine Wetland (M2USN)” and “Estuarine and Marine Deepwater (M1UBL and M1RF1L)” in the immediate vicinity. According the State Department of Health’s (DOH) Water Quality Standards Map, the ocean fronting Kailua Bay is Marine Classified “Class A.” Hawai‘i Administrative Rules Chapter 11-54-3(c)(2) states in part:

“It is the objective of class A waters that their use for recreational purposes and aesthetic enjoyment be protected. Any other use shall be permitted as long as it is compatible with the protection and propagation of fish, shellfish, and wildlife, and with recreation in and on these waters...”

According to a press release posted on February 26, 2021, the DOH noted:

“The City is authorized to discharge up to 15.25 million gallons a day of wastewater from the Kailua Regional Wastewater Treatment Plant to Kailua Bay, subject to discharge limitations set forth in the state issued, National Pollutant Discharge Elimination System permit, Permit No. HI0021296. Discharge limitations are set by the DOH to protect human and environmental health and minimize risk to the public. The City is legally obligated to comply with the terms, requirements, and provisions of the issued NPDES permit.”

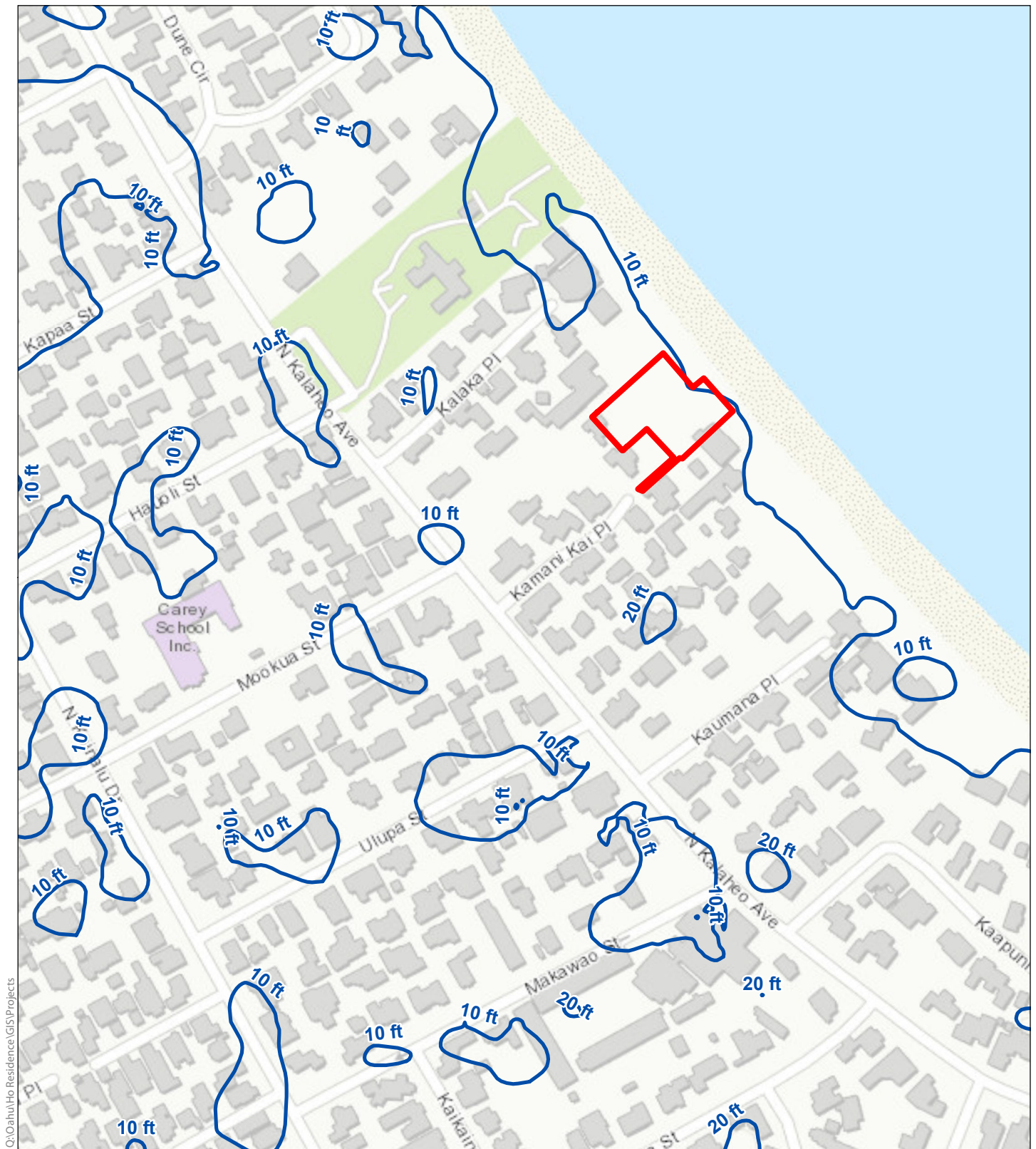
Project Impacts and Mitigation Measures

Low-Impact Development (LID) features may also be incorporated to reduce the volume of surface water runoff and improve water quality by decreasing the amount of sedimentation and pollutants.

During grading and construction, there is always the potential for soil erosion and runoff, and the generation of fugitive dust. All construction activities will comply with all applicable federal, state, and county regulations and rules for erosion, sedimentation, and dust control. Contractors will use BMPs to minimize erosion during construction and planting, including watering loose soils during construction, and planting groundcover over areas where construction has been completed. Additionally, BMPs for stormwater management will be implemented to minimize impacts of the 10 Kamani Kai Place project to the area’s hydrology and existing drainage facilities, while maintaining on-site infiltration and preventing polluted runoff from storm events. These measures will address any direct impacts from construction and avoid any secondary or cumulative impacts from erosion or fugitive dust caused by construction. Following construction, exposed soils will have been built over, paved over or landscaped to control erosion. (Appendix B)

Long-term impacts will be mitigated by the installation of LID measures to manage stormwater at this Property before it is returned to the natural system. Such measures will be designed to manage stormwater in a way that better replicates natural systems, thereby slowing the flow of surface water from the Property and reducing pollutants in the process, resulting in improved water quality of the downstream water bodies. No impacts to ground water resources are anticipated.

Construction and permanent post-construction BMPs and LID measures will be designed, implemented, and maintained in compliance with the Administrative Rules, Title 20, DPP, Chapter 3 – Rules Relating to Water Quality, effective August 16, 2017. Onsite drainage system improvements will be designed in accordance with DPP’s Storm Drainage Standards, dated August 2017. See also the discussion in section 4.7.2 (Drainage System) below.



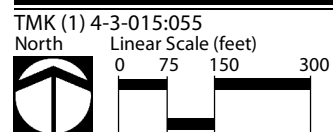
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Legend

- Project Site
- Contours 10Ft

Figure 5:
Topography

10 Kamani Kai Place



Island of O'ahu






Q:\Oahu\Ho Residence\GIS\Projects

DATE: 4/11/2022

Legend

 Project Site

Soil Class

 BS: Beaches


 JaC: Jaucas sand, 0 to 15 percent slopes, MLRA 163

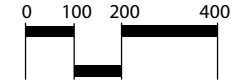
Figure 6:
Natural Resources Conservation Survey
(NRCS) Soil Classification

10 Kamani Kai Place

TMK (1) 4-3-015:055

North

Linear Scale (feet)



Island of O'ahu



Source: USGS (2020), ESRI Online Basemaps.

Disclaimer: This graphic has been prepared for general planning purposes only.



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DATE: 4/11/2022

Legend

 Project Site

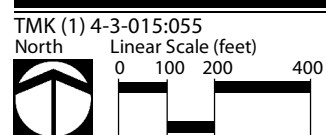
Wetlands

Estuarine and Marine Wetland

Estuarine and Marine Deepwater

Figure 7:
Wetlands

10 Kamani Kai Place



Island of O'ahu



3.5 NATURAL HAZARDS

Natural hazards like flooding, tsunami inundation (and other coastal hazards), hurricanes, earthquakes, and volcanic eruptions have historically impacted the Hawaiian Islands. Climate change and sea level rise will also impact the Islands, as will the related sea level rise.

3.5.1 Flooding

During the pre-Assessment consultation process, the Department of Land and Natural Resources (DLNR) Engineering Division wrote:

The rules and regulations of the National Flood Insurance Program (NFIP), Title 44 of the Code of Federal Regulations (44CFR), are in effect when development falls within a Special Flood Hazard Area (high-risk areas). Be advised that 44CFR, Chapter 1, Subchapter B, Part 60 reflects the minimum standards as set forth by the NFIP. Local community flood ordinances may stipulate higher standards that can be more restrictive and would take precedence over the minimum NFIP standards.

The owner of the subject property and/or their representative is responsible to research the Flood Hazard Zone designation for the project. Flood zones subject to NFIP requirements are identified on FEMA's Flood Insurance Rate Maps (FIRM). The official FIRMs can be accessed through FEMA's Map Service Center (msc.fema.gov). Our Flood Hazard Assessment Tool (FHAT) (<http://gis.hawaiiinfip.org/FHAT>) could also be used to research flood hazard information."

Similarly, during the pre-Assessment consultation process, the DPP wrote that the Draft EA "should identify the subject property's Flood Zone, as mapped by the Federal Emergency Management Agency..." According to the Flood Insurance Rate Map (FIRM) prepared by the Federal Emergency Management Agency (FEMA), National Flood Insurance Program (NFIP), the Property is located within flood Zone X which is defined by the FEMA as "areas determined to be outside the 0.2% annual chance floodplain." (Figure 8).

3.5.2 Tsunami and Coastal Hazards

Since the early 1800s, approximately 50 tsunamis have inundated Hawai'i's shores. Seven historical events have caused major damage. The most recent tsunami to impact O'ahu occurred on March 11, 2011, causing damage at several locations around the island, especially the North Shore.

The City and County of Honolulu uses two tsunami evacuation designations. The first is the Tsunami Evacuation Zone where evacuation is required for any tsunami warning. The second is the Extreme Tsunami Evacuation Zone where additional areas must be evacuated only during an extreme tsunami event generated from earthquakes of Magnitude 9+ on the Richter scale. Remaining areas are identified as safe areas that are anticipated to be outside of the inundated areas due to tsunami events. The Property, as well as residences further inland (up to North Kainalu Drive), are located inside the Tsunami Evacuation Zone (Figure 9).

3.5.3 Hurricanes

Since 1980, two hurricanes have had a devastating effect on Hawai‘i: Hurricane ‘Iwa in 1982 and Hurricane ‘Iniki in 1992. Long-term prediction of future hurricanes is virtually impossible. However, one should reasonably anticipate the prospect of another hurricane impacting the islands.

Hurricane events may also cause a storm surge, which is an abnormal rise of water generated by a storm, over and above the normal tidal levels. This rise in water level can cause extreme flooding in coastal areas, particularly if a storm surge coincides with a normal high tide (NOAA and National Weather Service, n.d.).

The National Oceanic and Atmospheric Administration (NOAA), specifically the National Weather Service’s (NWS) National Hurricane Center (NHC), utilizes the hydrodynamic Sea, Lake, and Overland Surges from Hurricanes (SLOSH) model to simulate storm surge in 27 basins along the U.S. East and Gulf Coasts. This information is provided to federal, state, and local partners to assist in a range of planning processes, risk assessment studies, and decision making. Based on climatology, tens of thousands of hypothetical hurricanes are simulated in each basin, and the potential storm surges are calculated. Storm surge composites—maximum envelopes of water (MEOWs) and maximum of maximums (MOMs)—are created to assess and visualize storm surge risk under varying conditions (Zachry, 2015). According to the National Hurricane Storm Surge Hazard Maps (Figure 10), the coastal area along the Property may be subject to flooding inundation of greater than three feet above ground level during a Category 1 hurricane event (NOAA, n.d.). This is consistent with the rest of the beach frontage between Oneawa Canal and Ka‘elepulu Stream. Inland flooding in the area is projected for Category 3 hurricane events. This national depiction of storm surge flooding vulnerability helps residents living in hurricane-prone coast areas in the United States to evaluate their risk to the storm surge hazard. These maps make it clear that storm surge is not just a beachfront problem with the risk of storm surge extending inland from the immediate coastline in some areas (NOAA, n.d.).

3.5.4 Earthquake & Volcanic Hazards

In Hawai‘i, volcanic activity produces most earthquakes in contrast to other areas sitting on tectonic plate margins. Thousands of earthquakes occur in Hawai‘i each year. However, the vast majority of them are undetectable through normal human senses. A few historical earthquakes have reached moderate and even disastrous magnitudes.

The last earthquakes felt statewide were magnitudes of 6.7 and 6.0. These earthquakes occurred at Kīholo Bay along Hawai‘i Island’s Kona Coast on October 15, 2006. These earthquakes resulted in more than \$100 million in damages to the northwest area of Hawai‘i Island and minimal damage on O‘ahu. From that same event, O‘ahu was also subject to an earthquake induced electrical blackout that paralyzed the city of Honolulu and shut down the Honolulu International Airport for a day.

3.5.5 Climate Change & Sea Level Rise

As global temperatures increase, established patterns of weather and climate are shifting. These erratic changes in weather patterns have increased the severity of events like droughts, storms, floods, and even hurricanes, while at the same time causing these events to be more difficult to predict and protect against. The fragility of the ecosystems and unique island nature of O‘ahu and

the Hawaiian Islands at large makes the state particularly vulnerable to the damaging effects of climate change. Global sea levels are on the rise, and have the potential to erode and even inundate coastal areas over the course of the next century.

In 2018, the City and County of Honolulu (“City”) Mayor issued Directive 18-2 with the purpose of establishing policies to address, minimize risks from, and adapt to the impacts of climate change and sea level rise. This directive establishes the policy for each City department and agency to *“consider the need for both climate change mitigation and adaptation as pressing and urgent matters, to take a proactive approach in both reducing greenhouse gas emissions and adapting to impacts caused by sea level rise, and to align programs wherever possible to help protect and prepare the infrastructure, assets, and citizens of the City for the physical and economic impacts of climate change.”*

In particular, City departments and agencies are required to: *“(5) work cooperatively to develop and implement land use policies, hazard mitigation actions, and design and construction standards that mitigate and adapt to the impacts of climate change and sea level rise”* as well as *“(7) work cooperatively to develop a process to review applications for new development in shoreline areas in conjunction with other agencies and entities with expertise in shoreline hazards and erosion in order to protect and enhance open space, the environment especially beaches, public access to and along the shoreline, public safety, and public resources.”*

These policies and procedures are addressed in accordance with the findings of the *Hawai‘i Sea Level Rise Vulnerability and Adaptation Report* issued by the State of Hawai‘i in December 2017. This 2017 report includes scientific modeling of sea level rise impacts such as a 3.2-foot Sea Level Rise Exposure Area (SLR-XA) as modeled by the University of Hawai‘i Coastal Geology Group (CGG) and the 6-foot SLR line as modeled by the National Oceanic and Atmospheric Administration (NOAA) Digital Coast Sea Level Rise Viewer. These scientific models also informed the *Sea Level Rise Guidance* issued by City and County of Honolulu’s Climate Change Commission, which recommended that the City start planning for a 3.2-foot SLR-XA by mid-century and a 6-foot SLR-XA in later decades.

During the pre-Assessment consultation process, the State of Hawai‘i, Office of Planning and Sustainable Development (OPSD) commented:

“Sea level rise increases the risk of waves, storm surges, high tide and shoreline erosion [...] The EA should provide a map of 3.2-foot sea level rise exposure area in relation to the property area, and consider site-specific mitigation measures, including setbacks from the shoreline (e.g., erosion red line under 3.2-foot sea level rise) during the life of the proposed structure, to respond to the potential impacts of 3.2-foot sea level rise on the proposed development.”

No portion of the Property would be located inside the 3.2-foot SLR-XA as modeled by the University of Hawai‘i CGG (Figure 11).

Project Impacts and Mitigation Measures

During the pre-Assessment consultation process, the State of Hawai‘i, Department of Defense wrote: “The State of Hawaii Department of Defense has no comments to offer relative to the project.” The proposed 10 Kamani Kai Place project is not anticipated to have any impact or any deleterious effects on natural hazard conditions and no unique mitigation measures are planned,

other than observing the International Building Code in the design of the facility (to address the potential impacts from hurricanes and earthquakes).

3.6 FLORA & FAUNA

The Property has been subject to human utilization since its development in the mid- to late 1920's. The existing vegetation at 10 Kamani Kai Place is comprised mostly of lawn and non-native grasses, blended together over time. Two beach Heliotropes stand proudly in the middle of the property along the beachside. Hala trees and Hau vines create privacy along the northern edge of the property.

During the pre-Assessment consultation process, DPP commented:

The Draft EA should identify the presence or potential presence of any protected wetlands, sensitive habitat, flora species, and fauna species. The OPP recommends reaching out to the U.S. Fish and Wildlife Service (USFWS) to obtain a list of species that are known to occur, or may potentially occur, in the Project vicinity...The Draft EA must evaluate potential impacts to each identified sensitive species, and provide standard agency-required mitigation measures as well as any applicable site-specific mitigation measures to avoid or minimize potential impacts to each identified species, critical habitat and habitat applicable to the site..."

During the pre-Assessment consultation process, the USFWS provided a list of protected animal species that "May Occur in Project Area":

- Hawaiian hoary bat or 'ōpe'ape'a (*Lasiurus cinereus semotus*);
- Hawaiian Green Sea Turtle or honu (*Chelonia mydas*);
- Hawksbill sea turtle or honu 'ea (*Eretmochelys imbricata*);
- Band-rumped storm-petrel or 'akē'akē (*Oceanodroma castro*);
- Hawaiian petrel or 'ua'u (*Pterodroma sandwichensis*);
- Newell's shearwater or 'a'o (*Puffinus auricularis newelli*); and
- Wedge-tailed shearwater or 'ua'u kani (*Ardenna pacificus*).

Another protected animal species that may occur near the Property includes the Hawaiian Monk Seal or 'īlio holo i kauaia (*Neomonachus schauinslandi*). During a site visit on March 12, 2022, none of the above species were observed. It is presumed that species common to residential areas, located near overgrown lots periodically transit the Property, including house cats, mongoose, rats, mice, geckos, mynahs, sparrows, doves, pigeons, etc.



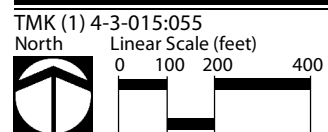
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Legend

- Project Site
- Flood Zone**
- X: Minimal flood areas

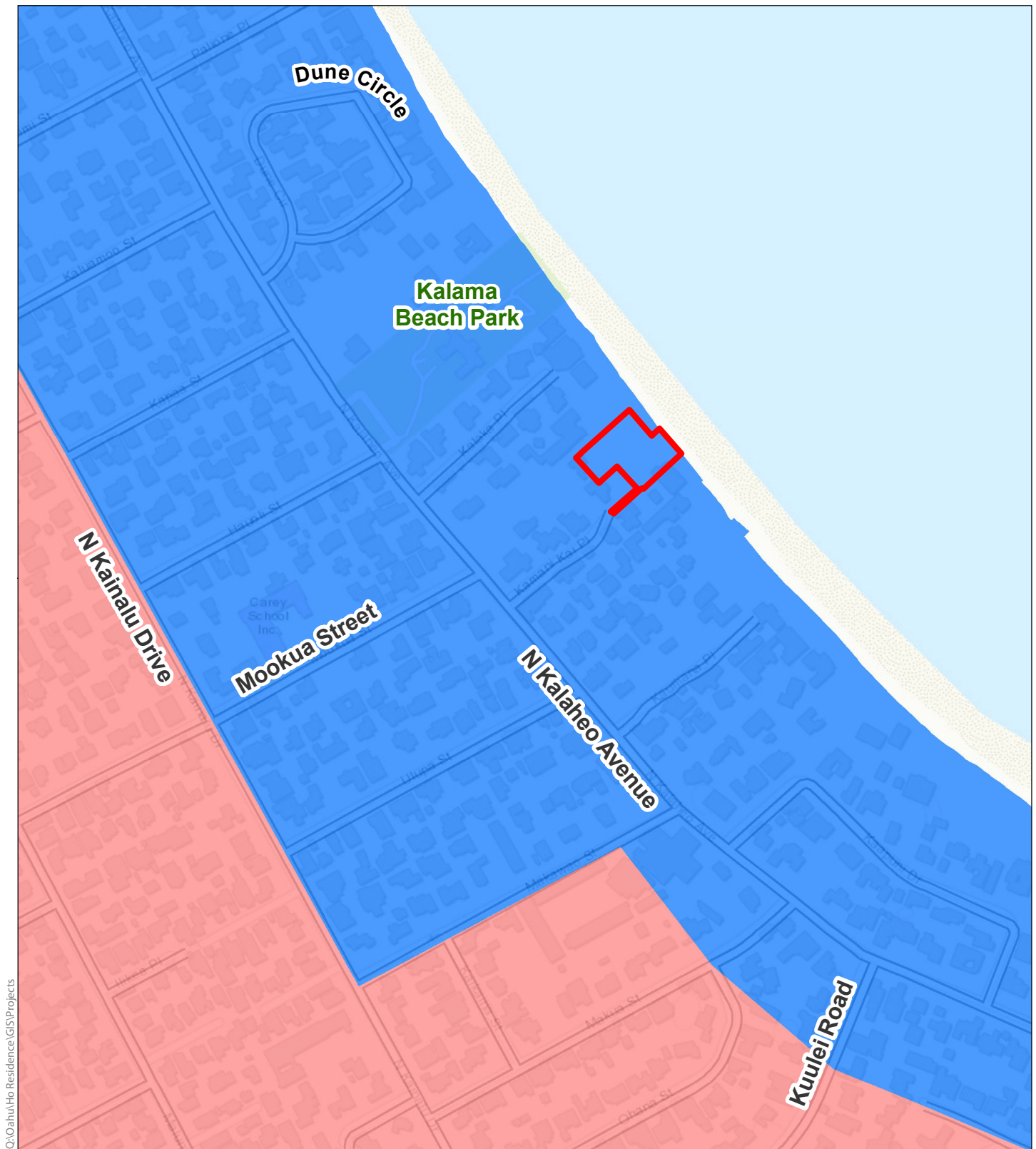
Figure 8:
Flood Insurance Rate Map

10 Kamani Kai Place



Island of O'ahu





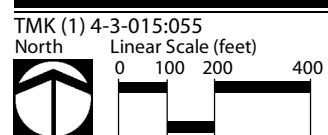
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Legend

- Project Site
- Tsunami Evacuation Zone
- Extreme Tsunami Evacuation Zone

Figure 9:
Tsunami Evacuation Zones

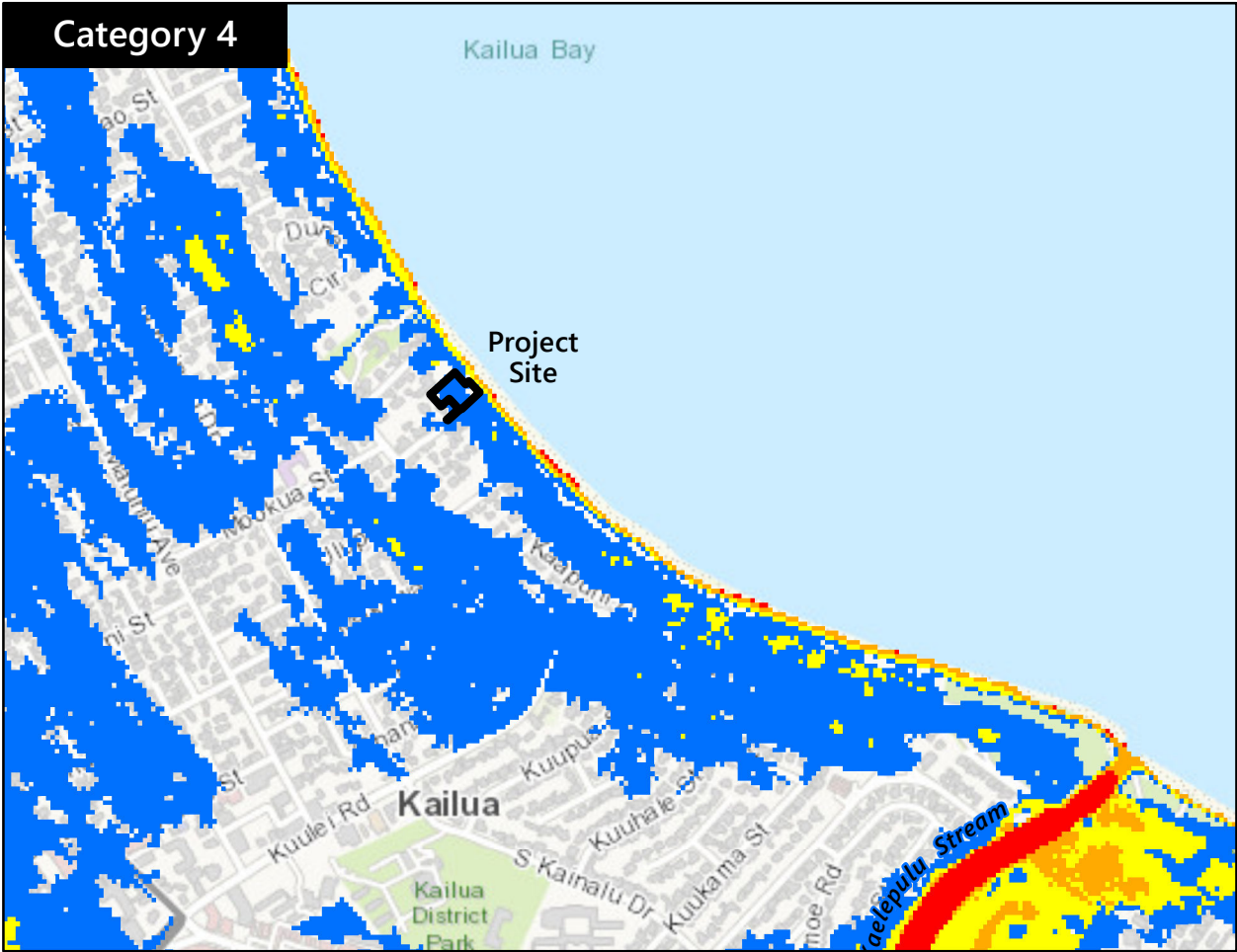
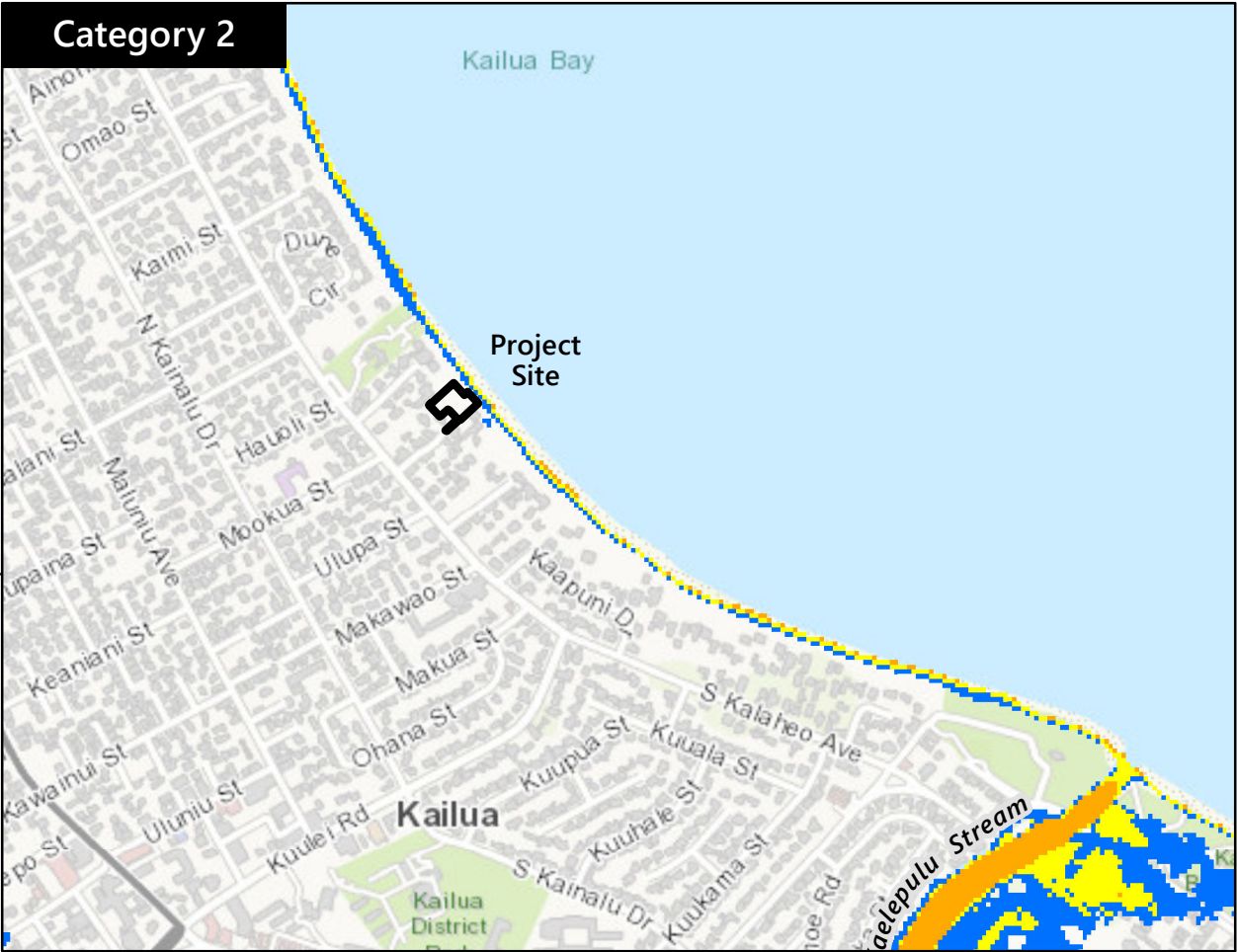
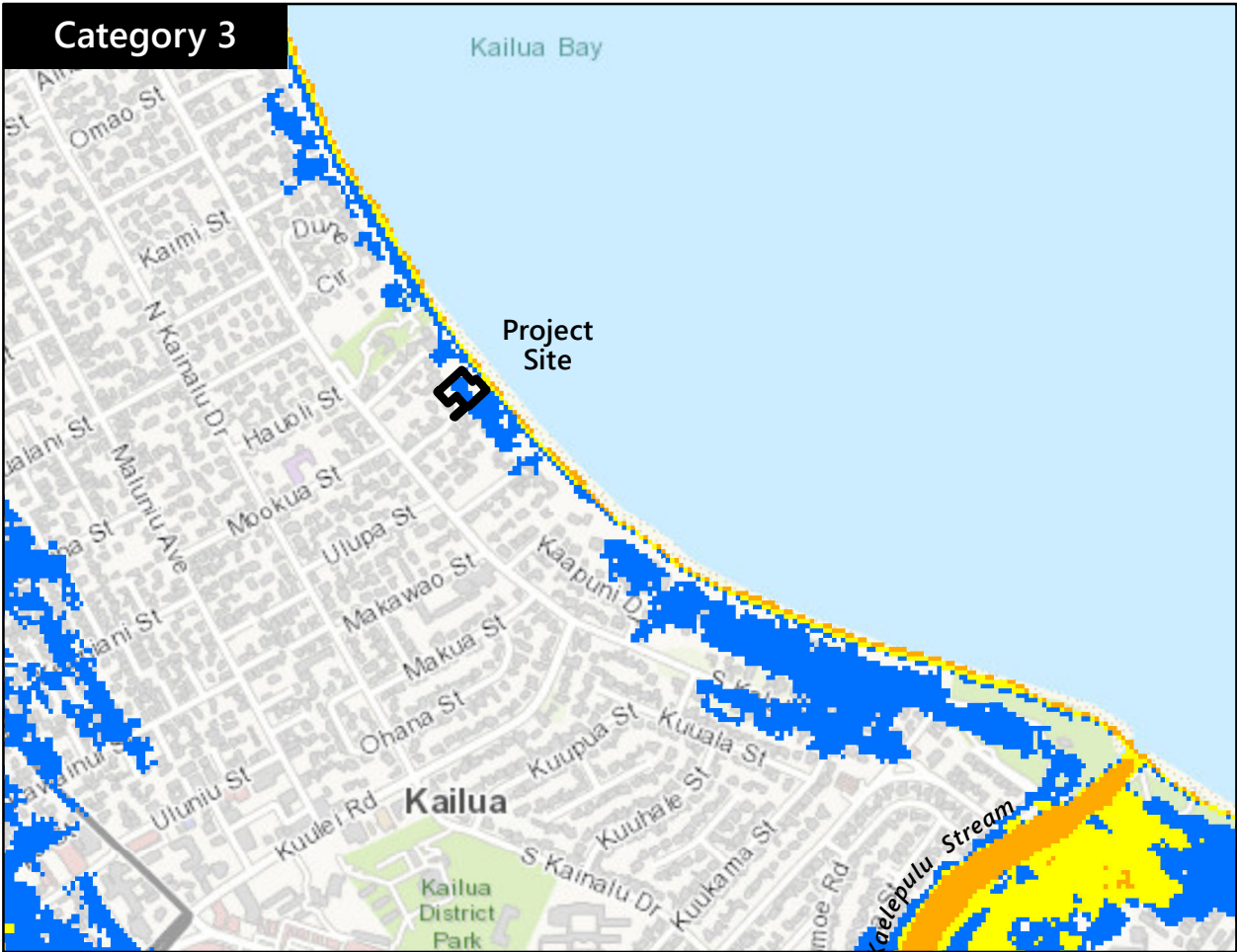
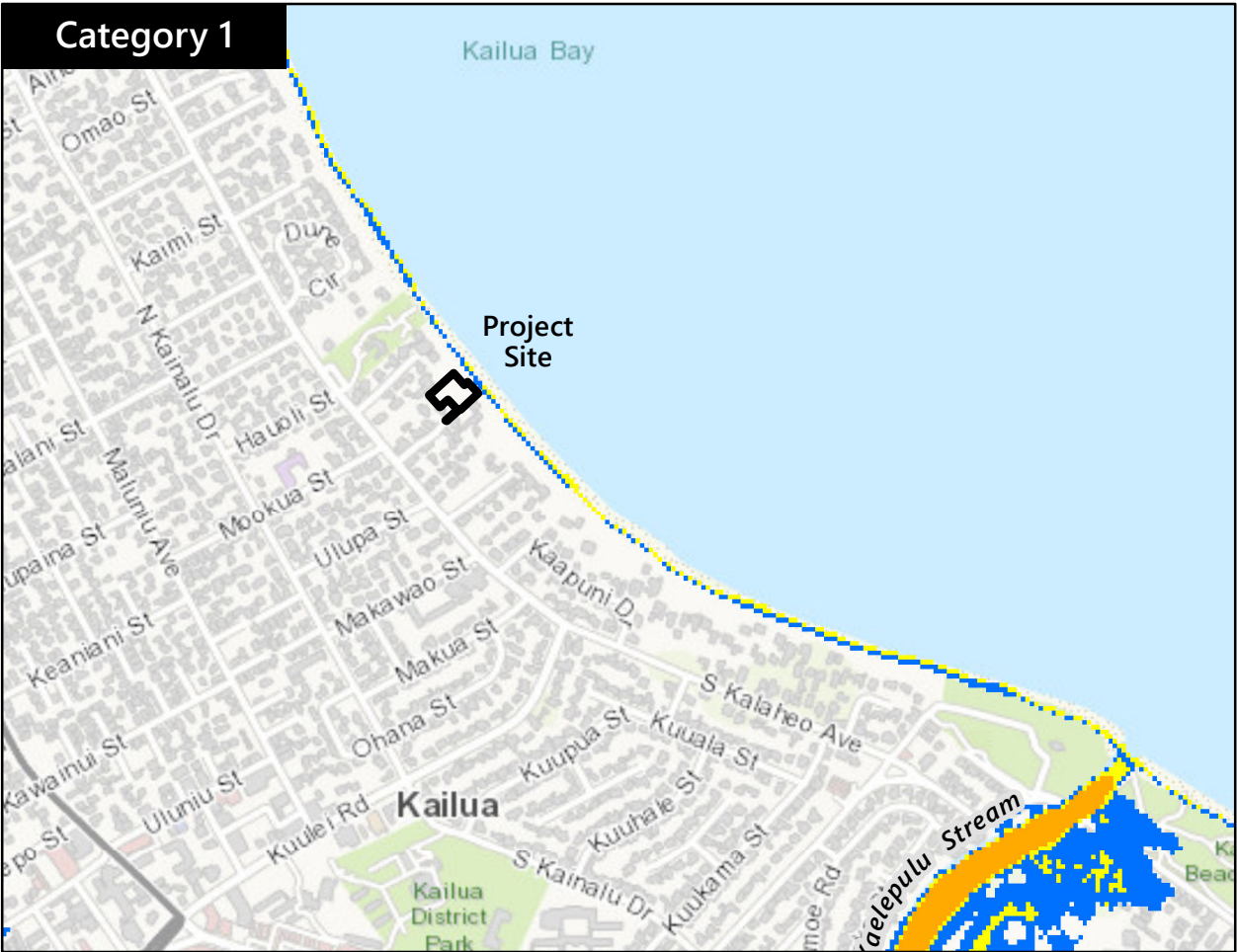
10 Kamani Kai Place



Island of O'ahu



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Legend

Project Site

Storm Surge Inundation Height *
(High Tide Scenario)

- Up to 3 Feet above Ground
- Greater than 3 Feet above Ground
- Greater than 6 Feet above Ground
- Greater than 9 Feet above Ground

* Not accounting for erosion, subsidence, sea-level change or future construction.

Saffir-Simpson Hurricane Wind Scale

Hurricane Category	Wind Speed (miles per hour)
1	74-95
2	96-110
3	111-129
4	130-156

Figure 10
Storm Surge Map

10 Kamani Kai Place

TMK (1) 4-3-015:055 Island of O'ahu

North

Linear Scale (feet)
0 300 600 1,200

Source: NOAA National Hurricane Center, 2018. City & County of Honolulu, 2021. ESRI Basemap.
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

Document Path: Q:\Oahu\128 S Kalaheo Ave\GIS\Project

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Q:\Oahu\Ho Residence\GIS\Projects

DATE: 3/8/2022

Legend

- Project Site
- 3.2-ft Sea Level Rise Exposure Area*
- 6.0-ft Sea Level Rise Inundation**
- Low-Lying Areas
- Water Depth**
- Deep
- Shallow

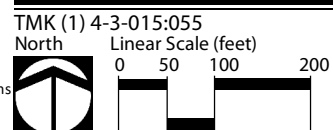
Figure 11:
Sea Level Rise

10 Kamani Kai Place

*Based on the methodology of modeling used in the Hawai'i Sea Level Rise Vulnerability and Adaptation Report, the 3.2-ft sea level rise exposure area is an aggregate of sea level rise, passive flooding (still water high tide flooding), annual high wave flooding (over wash during the largest wave events of the year), and coastal erosion (PaciOOS, 2018).

**The 6.0-ft sea level rise inundation shown maps sea level rise on top of mean higher high water (MHHW) in a modified bathtub approach. This data does not incorporate future changes in coastal geomorphology and assumes present conditions will persist, which will not be the case (NOAA, 2012).

Source: FEMA, 2021. City & County of Honolulu, 2021. ESRI Online Basemaps.
Disclaimer: This graphic has been prepared for general planning purposes only.



Island of O'ahu



During the pre-Assessment consultation process, the State DLNR Division of Forestry and Wildlife (DOFAW) commented:

*“The State listed Hawaiian Hoary Bat or ‘Ōpe‘ape‘a (*Lasiurus cinereus semotus*) could potentially occur in the vicinity of the project and may roost in nearby trees...*

Artificial lighting can adversely impact seabirds that may pass through the area at night by causing disorientation. This disorientation can result in a collision with manmade structures or the grounding of birds...

*The State endangered Hawaiian Monk Seal (*Monachus schauinslandi*) and threatened Green Sea Turtle (*Chelonia mydas*) could potentially occur or haul out onshore within the vicinity of the proposed project site...*

*Coastal plants such as naupaka (*Scaevola sericea*) and pa‘uohi‘iaka (*Jacquemontia ovalifolia* ssp. *sandwicensis*) may be present in the project area and are host to the State endangered, Yellow-faced Bee (*Hylaeus* sp.). These listed bees have been noted at other shoreline areas near the project area...*

DOFAW recommends minimizing the movement of plant or soil material between worksites. Soil and plant material may contain invasive fungal pathogens (e.g., Rapid ‘Ōhi‘a Death), vertebrate and invertebrate pests (e.g., Little Fire Ants, Coconut Rhinoceros Beetles), or invasive plant parts that could harm our native species and ecosystems...”

According to the USFWS, there are no Threatened or Endangered plant species that “May Occur in Project Area.”

The Property does not contain any other known habitats for threatened, or endangered flora or faunal species.

Project Impacts and Mitigation Measures

Some ground disturbance will be necessary for construction and new landscaping related to the construction of the proposed Project.

Any required site clearing should be timed to avoid disturbance to bats during their birthing and pup rearing season (June 1 through September 15). During this period woody plants greater than 15 feet (4.6 meters) tall should not be disturbed, removed, or trimmed. No barbed wire will be installed for any construction because bats can become ensnared and killed by such fencing during flight.

To minimize the potential impact that artificial lighting may have on seabirds, all construction will be limited to daytime hours. No outdoor nighttime work will occur because artificial lighting can adversely impact seabirds that may pass through the area at night by causing disorientation.

If either the Hawaiian Monk Seal (*Monachus schauinslandi*) and threatened Green Sea Turtle (*Chelonia mydas*) is detected within 100 meters of the Project area, all nearby construction operations should cease and not continue until the focal animal has departed the area on its own accord.

No coastal plants such as naupaka (*Scaevola sericea*) and pā‘ūohi‘iaka (*Jacquemontia ovalifolia* ssp. *sandwicensis*) will be removed (unless otherwise directed by the DLNR Office of Coastal and Conservation Lands).

Plant and soil movement will be minimized where possible for these activities and excess soil and debris will be removed from all equipment, materials, and personnel to avoid the risk of spreading invasive species.

New landscaping for the 10 Kamani Kai Place project will incorporate native plant species where appropriate and practicable for the intended uses of the new attached residences as well as the surrounding climate conditions.

Once the proposed 10 Kamani Kai Place project is constructed, it is likely that the Property will be less attractive to species of concern for nesting, such as the Wedge-tailed shearwater. In addition, the Applicant will observe regulations contained in HAR 13-124-3 related to prohibited activities towards wildlife.

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4.0 AFFECTED ENVIRONMENT - DESCRIPTION OF THE HUMAN ENVIRONMENT, PROJECT IMPACTS, AND MITIGATION MEASURES

This section describes the existing conditions of the human environment, potential impacts of the proposed Project, and mitigation measures to minimize any impacts.

4.1 ARCHAEOLOGICAL AND CULTURAL RESOURCES

4.1.1 Cultural Resources

ASM Affiliates prepared an archaeological field inspection and literature research for the Property. It is summarized below and attached to this EA as Appendix J.

The subject parcel is situated within Kailua Ahupua‘a, a land unit of the District of Ko‘olaupoko on the island of O‘ahu. The plot is centrally located along the northeastern border of Kailua Ahupua‘a and Kailua Bay, lying directly adjacent to the beachfront. Ko‘olaupoko can be literally translated into “short windward,” referring to the district’s geographic location on the east (windward) side of O‘ahu, and that it is smaller than the Ko‘olauloa (“long windward”) District which neighbors to the north. The translation of Kailua is “two seas,” likely referring to the large ponds of Ka‘elepulu and Kawainui within the *ahupua‘a*. According to oral traditions, a channel running underneath the hills separating the two ponds represented a romantic union between the male Kawainui Marsh and female Ka‘elepulu Pond, granting great *mana*, or “spiritual power” to the Kailua Ahupua‘a.

Kailua Ahupua‘a was known by the Hawaiian people as a “fat land,” where food was bountiful and of high quality. A one and a half mile continuous terrace system stretching *mauka* (inland) from the edge of Kawainui Marsh provided vast quantities of taro, along with more terraces surrounding Ka‘elepulu Pond and its subsidiary streams. Ka‘elepulu was used as a fishpond, and contained “fat mullet, awa, ahole, and oopu... the fish were tender and always fat” and may have been as large as 216 acres. Kawainui was also used as a fishpond and “was the site of the Makalei tree, a famous mythological tree which had the power of attracting fish” and was overseen by the goddess Haumea. The fish were so plentiful and tame in Kawainui Pond that one who entered the water would be swarmed by them and could easily catch them using just their hands. Cleaning of the ponds was tiresome work, overseen by the *ali‘i* (elite) who directed the workers. Men, women, and children from across Ko‘olaupoko and neighboring Waimānalo were brought to the Kawainui and Ka‘elepulu to pull the algae from the ponds, creating circles in the water out of the pulled vegetation. Any fish trapped in these circles would be theirs to keep.

The *ahupua‘a* of Kailua did not stop at the beach, but continued roughly a mile offshore to the coral reefs of Kailua Bay, making Kailua the largest *ahupua‘a* in the District of Ko‘olaupoko. In addition to numerous avian resources, mollusks and other saltwater resources were collected from this reef, adding to the already abundant food resources in Kailua. High-quality basalt for tool-making was also accessible within the *ahupua‘a* from a quarry just south of Kawainui.

With such abundance, the area became a popular destination for *ali‘i* from across the islands.

The plain of ‘Ālele was home to a significant recreational area and contained a celebrated race course as well as Pāmoa, a 240-foot-long house constructed by Kakuhihewa. Aside from governmental roles, Pāmoa was also a space for practice with weaponry, astrology, astronomy, instruction in royal songs and singing, and outside areas were reserved for running, cliff jumping, bowling, sliding, and boxing.

A lone mountain known as Olomana stands apart from the Ko‘olau range in Kailua Valley, just southwest of Ka‘elepulu Pond and roughly 3 miles south of the project area. Oral traditions dictate how Olomana and Mahinui (the hills separating Kailua and Kāne‘ohe Ahupua‘a) were formed:

. . . Olomana was a noted warrior, famous for his great strength and his enormous height [. . .] being twelve yards to the shoulders, and thirteen in height. He was a very brave man and was much feared. No chief or warrior dared to face him.

The ruler of O‘ahu, ‘Āhuapau, employed a young warrior, Palila, to travel O‘ahu in a circuit, knowing that he would encounter Olomana upon reaching Kailua and, hopefully Palila would be defeated. Palila was raised in the temple of Alanapō, where the men are “richly endowed with supernatural powers and very great warriors. ‘Āhuapau initially tried to mislead Palila into believing the journey to be safe, though did inform Palila of the true intent of the mission before he left. Upon encountering Olomana, Palila jumped upon his shoulders and after a brief encounter “struck him (Olomana), cutting him in two; one portion flew toward the sea, being Mahinui, and the other portion remained where he stood, being the present hill of Olomana”.

During the Great *Māhele*, the *ahupua‘a* of Kailua was originally claimed by Kauikeaouli then later given to his wife, Hakaleponi Kalama. A total of eighteen *konohiki* were awarded ‘*ili* in Kailua which diminished Kalama’s land awards tremendously. The Property is situated on what was claimed by Queen Kalama but, rather, was awarded as a grant (1106:3) to Kokahe in 1853. This land grant is described as the *lele* (discontiguous parcel) of Pueohala of the ‘*ili* of Kālaheo. A total of 132 *kuleana* claims were made for Kailua. No other *LCAw*, land grants, or *kuleana* are located in the vicinity of the Property.

Project Impacts and Mitigation Measures

The proposed two attached single-family homes will be among many residences that front Kailua Bay. While residential use on the makai side of Kalāheo Avenue has long been established, the names of the places, the *mo‘olelo*, and historical figures of the Kailua Ahupua‘a have been documented through the work of ASM Affiliates and other historians and archaeologists. The proposed homes will be setback a minimum of 60 feet from the shoreline and will not impede lateral access along the shoreline, boating, diving, sailing, snorkeling, board surfing, bodysurfing, and swimming, and especially the Hawaiian cultural practices of fishing or *limu* gathering.

4.1.2 Archaeological Resources

On February 25, 2022, ASM Affiliates conducted a surface reconnaissance of the subject property, which is accessed from via Kamani Kai Place leading from North Kalāheo Avenue.

Exposed sand deposits are present throughout the Property, with multiple large and intact dunes present along the Property’s northeastern border with Kailua Beach and numerous smaller intact dunes stretching southwest into the center of the property. The larger dunes are covered primarily with *naupaka* and by a pair of False Kamani (*Terminalia catappa*) trees (Appendix J, Figures 13 and 14), although vegetation on the southern faces of the northern half of the dunes has been

cleared to ground level (Appendix J, Figure 15). The smaller sand dunes are *makai* the larger dunes, transition to leveled ground towards the center of the property. Various invasive grasses cover the smaller dunes, as well as smaller patches of *naupaka* (Appendix J, Figure 9). The northwestern and southeastern perimeters of the property are lined with various shrubs and trees including *naupaka* and *hala* (*Panadus tectorius*) (Appendix J, Figures 6 and 16). The central and southern portions of the property contain numerous exposed sand deposits (Appendix J, Figures 17-21) interspersed with patches of invasive grasses and *naupaka*. Palm tree stumps and cut, piled sections of palm trunks are present within the southwestern quadrant of the property (Appendix J, Figure 22).

No historic properties of any kind were observed on the surface of the subject parcel. However, the sand dunes in the northeastern half of the parcels, as well as the sand deposits located throughout the parcels, are consistent with contexts elsewhere in the vicinity where human burials have been encountered. While no above-ground resources were identified and no sub-surface testing was undertaken, it is likely, based on the previous archaeology documented above, that subsurface deposits, including human burials, may be present.

Project Impacts and Mitigation Measures

Any future development plans for the subject property that will involve subsurface disturbance as part of a county permit may require historic preservation review under HRS Chapter 6E by the DLNR State Historic Preservation Division (SHPD).

During the pre-Assessment consultation process, DPP wrote:

“Please be advised that in December 2020, the State Historic Preservation Division (SHPD) began using a new online system to better track consultation requests: <https://shpd.hawaii.gov/hicris/landing>.

Because the new tracking system requires agency-to-agency requests, the OPP has created a generic request letter that consultant's/property owners may use for projects that will eventually require OPP approval. This letter may be completed by a consultant or property owner and submitted to SHPD directly via their on line system to initiate requests before permit applications are submitted to the OPP. The letter includes a general OPP contact number and email, as well as blank fields where the property owner or their consultant can enter their contact information. The generic request letter is available online at: <https://tinyurl.com/h7yvc7vp>.”

As of this publication, SHPD has yet to provide any formal feedback via HICRIS. However, based on conversations with SHPD, and given the prior archaeological studies conducted relative to the Kailua accretion berm, an Archaeological Inventory Survey (AIS) with subsurface testing that targets areas of proposed subsurface disturbance will be conducted prior to permit approvals. Subsurface testing was initiated on May 12, 2022. A report on the findings of the subsurface testing will be included in the SMA Major Permit application.

Furthermore, the Applicant and its contractors will comply with all State and County laws and rules regarding the preservation of archaeological and historic sites. The construction documents will include a provision that if undocumented historic sites such as walls, platforms, pavements and mounds, or remains such as artifacts, burials, concentrations of shell or charcoal or artifacts are inadvertently encountered during construction activities, work will cease immediately in the

vicinity of the find and the find will be protected. The contractor(s) will immediately contact the State Historic Preservation Division, which will assess the significance of the find and recommend appropriate mitigation measures, if necessary.

4.2 TRANSPORTATION

4.2.1 Access to Site and Traffic

The roadway providing access to the Property is Kamani Kai Place via North Kalāheo Avenue. Kamani Kai Place is a paved two-way road, with rolled curbs and no sidewalks. North Kalāheo is a north-south, two-way, two-lane road which connects to Mōkapu Boulevard and Kāneʻohe Bay Drive at the northern-most end, and to Kuʻulei Road to the south. Southward of Kuʻulei Road, this road is aligned more east-west and is referred to as South Kalāheo Avenue, connecting eventually to Kailua Road and Lihiwai Road. In the vicinity of the Property, there are no gutters or curbs, but there is a paved pathway along the makai edge of North Kalāheo Avenue.

Google Maps rates traffic by four levels from “Fast” to “Slow.” According to Google Maps, typical traffic on Wednesdays (westbound or eastbound) is shown on the tables below:

**Table 2: Typical Traffic on North Kalāheo Road Fronting Kamani Kai Place on Mondays
Northbound**

Time	Fast	Moderately Fast	Moderately Slow	Slow
6:00 AM	X			
8:00 AM	X			
10:00 AM	X			
12:00 PM	X			
2:00 PM	X			
4:00 PM	X			
6:00 PM	X			

**Table 3: Typical Traffic on North Kalāheo Road Fronting Kamani Kai Place on Mondays
Southbound**

Time	Fast	Moderately Fast	Moderately Slow	Slow
6:00 AM	X			
8:00 AM	X			
10:00 AM	X			
12:00 PM	X			
2:00 PM	X			
4:00 PM	X			
6:00 PM	X			

As shown above, traffic on North Kalāheo Avenue fronting Kamani Kai Place is fast in both the northbound and southbound directions during the times of the day indicated above.

Project Impacts and Mitigation Measures

Access to the site will be via single driveway apron from Kamani Kai Place per City and County of Honolulu standards (12-foot minimum/25-foot maximum width). The proposed Project

involves two attached, single-family residences, and the inclusion of a garage for three cars and a motor court that allows space for six additional cars. In total, ten parking spaces will be provided onsite (per Land Use Ordinance Sec. 21-6.20, Off-Street Parking Requirements). It is anticipated that after the homes are built, there will be a negligible impact on traffic along North Kalāheo Avenue. In addition, the Applicant will have the same responsibility to maintain the roadway along Kamani Kai Place as any of the other owners along the street. In accordance with building permit requirements, BMPs will be followed and monitored by a civil engineer, such as those for truck traffic (tire washing, etc), runoff, etc., which will be the same as if it were a public street.

During the pre-Assessment consultation process, the City and County of Honolulu, Department of Facility Maintenance wrote:

“Kamani Kai Place was identified as a private road that the City and County of Honolulu does not provide pavement surface maintenance.”

During the pre-Assessment consultation process, the State of Hawai‘i, Department of Transportation (HDOT) commented:

“The subject property is approximately 1 mile away from Kailua Road (State Route 61) and 1.5 miles away from Mokapu Boulevard (State Route 65), which are the nearest roadways under HDOT jurisdiction.

Based on the project description and location HDOT does not anticipate any significant adverse impacts to State roadways, therefore, we have no comments to provide.”

During the pre-Assessment consultation process, the Honolulu Police Department (HPD) commented:

“The Honolulu Police Department (HPD) has reviewed the project plans and anticipates short-term impacts to traffic in the area, as Kamani Kai Drive is a dead-end street that leads to North Kalaheo Avenue (one of the main roads in the area). The HPD recommends that adequate notification be made to area residents due to the ingress and egress of construction vehicles, equipment, and deliveries during the construction phase of the project.”

During the pre-Assessment consultation process, the City and County of Honolulu, Department of Transportation Services (DTS) commented:

“1. Neighborhood Impacts. The area representatives, neighborhood board, as well as the area residents, businesses, emergency personnel (fire, ambulance, and police), Oahu Transit Services, Inc. (TheBus and TheHandi-Van), etc., should be kept apprised of the details and status throughout the project and the impacts that the project may have on the adjoining local street area network.”

To address HPD’s and DTS’ comments, presentations were made to the Kailua Neighborhood (NB) Board No. 31, Planning, Zoning and Environment Committee on March 15, 2022, and to the full Board on April 7, 2022. Refer to the summary of the full NB meeting in section 4.6 of this EA.

4.2.2 Public Transportation

TheBus is the main public transportation service on the Island of O‘ahu, where it served over 69 million riders in the fiscal year of 2015-2016. A fleet of 542 buses transports over 216,000 riders a week via fixed-route, express, and paratransit service. TheBus service along North Kalāheo Avenue consists of bus routes PH5, 70 and 85 westbound. The closest bus stops to the Project site (for both westbound and eastbound directions) are located near the intersection with Makawao Street.

Project Impacts and Mitigation Measures

The proposed 10 Kamani Kai Place project is not anticipated to significantly impact existing public transportation services during construction or in the long-term.

No significant impacts to public transportation services are anticipated. No mitigation measures are required.

4.2.3 Bicycle and Pedestrian Facilities

Bicycle facilities consist of four types of facilities: bike/multi-use paths; bike lanes; bike routes or signed shared roadways (“sharrows”); and separated bikeways or cycle tracks. The closest bicycle facility is an existing bike route within South Kalāheo Avenue, which connects to existing bike lanes in Kailua Road and Ku‘ulei Road. Between South Kalāheo Avenue and Kīhāpai Street, and between Kainui Drive and Kailua Road, Kailua is relatively flat, dry and contains roads with relatively low posted speed limits, and is therefore conducive for bicycles to share roadways with motor vehicles.

South Kalāheo Avenue does not include sidewalks (curbs and gutters), as do many of the roads in the non-business/commercial portions of Kailua (between Kalāheo Avenue and Kīhāpai Street, and between Kainui Drive and Kailua Road).

Project Impacts and Mitigation Measures

The proposed Project will not significantly increase bicycle and/or pedestrian usage on either North Kalāheo Avenue or on other roads in Kailua. As the proposed 10 Kamani Kai Place project will not present any negative long-term impacts to area bicycle and pedestrian facilities, no mitigation measures are required.

4.3 NOISE

Existing noise levels at and immediately adjacent to the Property are those typical of a residential community. Typical generators of noise in the area would include the sounds of surf, wind through vegetation, birds vocalizing, neighboring residents, and passing traffic. The Property is bordered on the *mauka* side by single-family homes, on two sides by single-family residences, and on the *makai* side by a wide sandy beach and ocean.

Project Impacts and Mitigation Measures

Construction activities for the Project will inevitably create temporary noise impacts. The building contractor may employ mitigation measures to minimize those temporary noise impacts including

the use of mufflers and implementing construction curfew periods. Pursuant to Chapter 11-46, HAR, all Project activities must comply with all community noise controls.

Once in operation, the 10 Kamani Kai Place project will generate noise consistent with residential activity that currently exists on the Property as well as on neighboring residential properties. No mitigation measures are proposed as the noise generated as a result of the proposed Project represents no substantial change from current noise occurrences.

4.4 AIR QUALITY

The State's good air quality is a function of the predominant trade winds blowing from the northeast. There are no man-made sources of pollutants upwind of the Property except from smoking beachgoers. The typical trade wind pattern blows man-made and volcanic pollutants out from metro Honolulu toward the ocean. However, during non-trade wind periods, man-made and volcanic pollutants tend to accumulate on island impacting visibility ("vog").

Project Impacts and Mitigation Measures

There is a potential for impacts to air quality during construction. This could occur from additional traffic generated by construction vehicles, machinery, and dust generated during any excavation.

An effective dust control plan will be implemented, as necessary. All construction activities will comply with the provisions of Title 11, Chapter 59, HAR related to Ambient Air Quality Standards and Section 11-60.1-33, HAR related to Fugitive Dust. Measures to control dust during various phases of construction include:

- Providing an adequate water source at the site prior to start-up construction activities;
- Irrigating the construction site during periods of drought or high winds;
- Landscaping and rapid covering of bare areas, starting from the initial grading phase;
- Disturbing only the areas of construction that are in the immediate zone of construction to limit the amount of time that the areas will be subject to erosion;
- Providing adequate dust control measures during weekends, after hours, and before daily start-up of construction activities; and
- Installing silt screening in the areas of disturbance.

In the long-term, the proposed Project is not anticipated to have a long-term impact on air quality in the immediate vicinity. As the proposed 10 Kamani Kai Place project will not present any long-term impacts to air quality, no mitigation measures are required.

4.5 VISUAL RESOURCES

The predominant visual character of North Kalāheo Avenue in the vicinity of the Property is one of single-family residences. The Property is most visible from abutting residential properties and from passing beachgoers. The Property is not visible from North Kalāheo Avenue (Figure 12).

Project Impacts and Mitigation Measures

During the pre-Assessment consultation process, the State of Hawai‘i, Department of Transportation (HDOT) commented:



1. View of the property facing north (makai).



2. View of the east boundary of the property facing north (makai).



3. View of the west boundary of the property facing west (toward Kaneohe).



4. View of the west boundary of the property facing south (mauka).

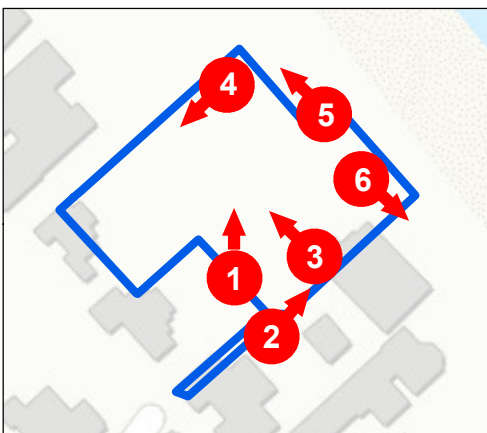


5. View of the beach adjacent to the north boundary of the property facing west (toward Kaneohe).



6. View of the beach adjacent to the north boundary of the property facing east (toward Waimanalo).

DATE: 4/18/2022



Source: ESRI Online Basemaps.

Disclaimer: This graphic has been prepared for general planning purposes only.

Figure 12:
Visual Analysis

10 Kamani Kai Place

TMK (1) 4-3-015:055

Island of O'ahu



“The subject property is approximately 1 mile away from Kailua Road (State Route 61) and 1.5 miles away from Mokapu Boulevard (State Route 65), which are the nearest roadways under HDOT jurisdiction.

Based on the project description and location HDOT does not anticipate any significant adverse impacts to State roadways, therefore, we have no comments to provide.”

Since the Property is not discernable from the nearest coastal highway, a photographic analysis was not conducted. The proposed Project involves the construction of two attached, single-family homes setback 60 feet from the shoreline. There are no plans to exceed the development standards for building in the R-10 Residential zoning district, including exceeding the limitations on building area, building heights or building height setbacks. Additionally, the proposed buildings will not intrude into the 40-foot shoreline setback. Therefore, the proposed 10 Kamani Kai Place project will not obstruct lateral views along Kailua Beach. Because no adverse visual impacts are expected, no additional mitigation measures are proposed.

4.6 SOCIAL & ECONOMIC CHARACTERISTICS

Currently, there is no one residing on the Property, and there are no school-aged children that who attend public elementary, middle or high schools. As a result, there are no residents on the Property who require public services (public transportation, refuse collection, public schools, etc.) or infrastructure (water, wastewater, etc.), or who impact peak hour traffic on a full-time basis. However, the Applicant does pay real property and State taxes, and water and wastewater fees usage fees.

Project Impacts and Mitigation Measures

Once the new residence is occupied, there will be an increase in demand for public services (public transportation, refuse collection, etc.) and infrastructure (water, wastewater, etc.), and insignificant increase to traffic. To mitigate the future level of demand for public services and infrastructure the Applicant will continue to pay real property and State taxes, and water and wastewater fees usage fees.

During the SMA Use Permit Major, design and construction process, the 10 Kamani Kai Place project will generate temporary employment for architects (and their subconsultants) and the contractor (and its subcontractors), and generate both general excise taxes, as well as income taxes. The acquisition of building materials and supplies will also have a positive and indirect impact on building material suppliers, and general excise taxes.

Once completed, the proposed Project will generate minimal employment in the way of repair and maintenance of the buildings and landscaping services.

During the pre-Assessment consultation process, the City and County of Honolulu Department of Community Services wrote:

“Our review indicates that the proposed project will have no adverse impacts on any Department of Community Services activities or projects in the surrounding neighborhood.”

During the pre-Assessment consultation process, the DPP wrote: "...please contact the appropriate Neighborhood Board (NB)...to request an opportunity to present the Project proposal at the next available NB meeting..." Per the Kailua Neighborhood Board's procedures, a presentation was made first to the Neighborhood Board's Planning, Zoning and Environment (PZE) Committee (on March 15, 2022). During the PZE meeting, it was decided that the proposed Project be put on the next full Kailua Neighborhood Board No. 31 meeting on April 7, 2022.

The Kailua Neighborhood Board meeting was held both in-person and via WebEx on April 7 from 7:00 to 10:00 pm. During this meeting, Brittany Wheatman with PBR HAWAII & Associates, Inc. and Peter Vincent with Peter Vincent Architects gave a presentation which discussed the proposed project at 10 Kamani Kai Place (see Appendix I). The purpose of this presentation was to provide information to the general public and fulfill the requirements for preparation of an EA in support of a SMA Use Permit – Major.

Before the presentation began, Chair Bill Hicks clarified that additional questions and further discussion will take place during the upcoming PZE Committee meeting on April 19th, as well as after the publication of the Draft EA. (It should be noted that prior to this project, the Kailua Neighborhood Board required planning-related projects to make a presentation to the PZE Committee prior to making a presentation to the full Kailua Neighborhood Board. Such as presentation was made to the PZE on March 15, 2022. The Kailua Neighborhood Board recently came to the realization that attendance at and presentations to two Neighborhood Board meetings was more than required by City Council Ordinance 21-27, and therefore, the Kailua Neighborhood Board will require that applicants make only one presentation, which was satisfied by the presentation at the April 7 Neighborhood Board meeting). Chair Hicks mentioned that on April 19, the PZE could make a recommendation to the full Neighborhood Board to support or oppose the project at the Neighborhood Board's next meeting (possibly May 5, 2022).

Brittany Wheatman began the presentation by discussing the location of the proposed property. She then noted that the project site is located within the SMA, as well as many other properties makai of North Kalāheo Avenue. Brittany then discussed that the project site is located in Zone X of the Flood Insurance Rate Map, or an area of minimal flood hazard (outside of the Floodplain). She noted that the project site would not be affected by 3.2 feet of Sea Level Rise. Brittany concluded her portion of the presentation by discussing the square footage and zoning of the proposed project, which occupies 38,810 square feet and is zoned R-10. She noted that this lot could legally be subdivided into three lots and/or homesites, as allowed by the Land Use Ordinance (LUO), though what is being proposed is much less dense than what is allowed for R-10 zoning in the LUO.

Peter Vincent continued the presentation by showing various photos of the current site. He then showed a topographic map which displayed the certified shoreline, as well as a site plan. It was noted that, although the site plan showed two dwellings, the proposed project will be for a single owner occupant and their family and will not be used as a short- or long-term vacation rental. Peter then discussed details of the dwellings, noting that each will be a three-bedroom, one-story unit and connected by an open-air walkway. He noted that the project site is set back 60 feet from the shoreline, which is further back than most homes located on Kailua Beach. Peter then displayed the roof plan, followed by various renderings of the proposed project as viewed from Kailua Beach. Materials and landscaping were then discussed. Peter concluded the presentation by discussing the total building area of 10,790, which is significantly below the maximum allowable floor area.

Following the presentation, Chair Bill Hicks opened the floor for discussion. A resident of Kamani Kai Place voiced concern regarding the capacity of utilities and wondered if this project would prohibit other residents of the area from making future renovations to their homes. This resident also asked if the residents of the proposed project would park on the street or pull their cars onto their own lot. Peter clarified that there would be no impact to utilities for other homes in the area, but did not have time to answer the other questions or elaborate further on this topic. Neighborhood Board Member Donna Wong asked when the Draft EA will be published. Brittany clarified that the project team plans to submit the Draft EA to the DPP in the very near future as DPP must review and approve the DEA before it can be submitted to the Environmental Review Program (ERP) and published in the Environmental Notice. Another resident of Kamani Kai Place noted that the proposed project is located on a private street and maintenance of the street is paid for by the residents. This resident requested that after construction, evaluation of the road should be conducted to determine any damages made during the building process, which should be repaired by the Applicant. Donna Wong noted that this is hopefully something that will be discussed in the Draft EA (which will be reviewed by the PZE).

On April 11, 2022, Peter Vincent followed up with Chair Bill Hicks and Donna Wong via email with responses to the questions brought up at the April 7, 2022 Kailua Neighborhood Board meeting, which did not have time to be addressed during the meeting. The outstanding questions posed at the Kailua Neighborhood Board meeting, as well as Peter Vincent's responses, are shown in Appendix I-1.

4.7 INFRASTRUCTURE AND UTILITY REQUIREMENTS

4.7.1 Water System

Presently, the Property domestic and irrigation services is currently provided by a 5/8-inch water meter and 1.25-inch water lateral in Kamani Kai Place and North Kalāheo Avenue. Since there is no one residing on the Property, water usage is low. Additionally, there is a fire hydrant (W1462) located in front of 50 Kamani Kai Place, which is approximately 130 feet from the beginning of the "flag" to the 10 Kamani Kai Place property, and approximately 238 feet from the bulk of the property.

Project Impacts and Mitigation Measures

The projected average daily demand for water is estimated at 500 GPD (not including irrigation for landscaping). The existing meter and lateral are likely too small for the proposed project demands and will require upsizing. In addition, the 10 Kamani Kai Place project will incorporate low flow plumbing fixtures, which will help to reduce overall water consumption.

During the pre-assessment consultation period, the Board of Water Supply (BWS) commented:

"The existing water system is adequate to accommodate the proposed single-family dwelling (SFD) that will be replacing the existing SFD on the subject property. This information is based upon current data and, therefore, the Board of Water Supply

(BWS) reserves the right to change any position or information stated herein up until the final approval of the building permit application. The final decision on the availability of

water will be confirmed when the building permit application is submitted for our review and approval.

All applicable BWS charges for the proposed SFD will be determined upon our review of the building permit application and must be paid prior to approval of the building permit application.

In addition, if any portion of the proposed SFD is to be constructed more than 150 feet from the public right-of-way, please contact and coordinate any on-site fire protection requirements with the Honolulu Fire Department, Fire Plans Section at 723-7094. "Liquid Waste Disposal

The property sewer service is currently provided by an existing 6-inch City sewer lateral connected to an 8-inch sewer main within a utility easement which continues through Kamani Kai Place and ultimately to North Kalāheo Avenue.

Project Impacts and Mitigation Measures

The sewer system is likely adequate for the proposed 10 Kamani Kai Place project since the system was designed for a residential parcel of this size which has not been rezoned or subdivided.

4.7.2 Drainage System

There are no existing subsurface drainage systems at the Property. The site gently slopes from *mauka* to *makai* with an elevation change of approximately two feet.

Project Impacts and Mitigation Measures

The proposed drainage system will consist of a subsurface drainage system which conveys storm water runoff from roof downspouts and area drains. The drainage system will discharge to drywells that will be located *mauka* of the shoreline setback. The proposed drainage system and site grading will be designed to maintain existing storm water runoff conditions. The addition of the drywells will help to improve storm water quality by intercepting sediment and debris, and reducing storm water runoff flow rates. The drywells will be sized with their depth no greater than their width to comply with the DOH Underground Injection Control Regulations. The property will not trigger the City and County of Honolulu Storm Water Quality post-construction treatment requirement since it is a residential project that will result in less than 1-acre of disturbance.

During the pre-Assessment consultation process, the OPSD commented:

"The OP has developed guidance documents on stormwater runoff strategies, which offer techniques to prevent land-based pollutants and sediment from potentially affecting water resources. The OP recommends that the subject EA consider the following stormwater assessment guidance to mitigate stormwater runoff impacts:

- *Stormwater Impact Assessments can be used to identify and analyze information on hydrology, sensitivity of coastal and riparian resources, and management measures to control runoff, as well as consider secondary and cumulative impacts to the area.*
https://files.hawaii.gov/dbedt/op/czm/initiative/stomwater_imapct/final_stormwater_impact_assessments_guidance.pdf

4.7.3 Electrical and Telecommunications Systems

Hawaiian Electric Company, Inc. (HECO) provides electrical service to an existing electrical meter on the Property via an overhead electrical line along the *mauka* side of North Kalāheo Avenue. Spectrum currently provides cable TV (CATV) and internet services to the Property. During the pre-Assessment consultation process, Charter Communications (Spectrum) noted that “According to our drawings, there are CATV Aerial facilities near, and possibly in your Project Area” and provided a drawing for reference.

Project Impacts and Mitigation Measures

Power connection from HECO will be obtained to meet the electrical needs of the Project. Energy-saving features will be incorporated into its design where feasible, including:

- Photovoltaic panel system with battery backup;
- LED lighting;
- Installation of high-performance glazing (insulated with low-E coating) in the windows and doors, as well as other passive cooling strategies.

Additionally, Spectrum will provide CATV and internet services to the proposed homes. The telecommunications distribution system will not be affected by the 10 Kamani Kai Place project apart from the lines in the Property which will need to be connected to existing telecommunications infrastructure in the Project area. As the proposed 10 Kamani Kai Place project will not present any long-term impacts to electrical and telecommunications systems, no mitigation measures are required.

4.7.4 Solid Waste Disposal

Solid waste from the single-family residences along North Kalāheo Avenue is currently collected regularly by the City and County of Honolulu, with refuse collected once a week (Saturdays) and mixed recyclables collected once every other Wednesday and green waste collected every other Wednesday (on alternating weeks from mixed recyclables) (Department of Environmental Services, 2019).

Project Impacts and Mitigation Measures

During the construction phase, solid waste generated at the Property is anticipated to increase over current conditions. The additional waste is expected to include materials from construction, grading, and landscaping activities. Any construction waste generated by the Project will be disposed of at a solid waste disposal facility that complies with the applicable provisions (Chapter 11-58.1, HAR “Solid Waste Management Control”). Solid waste that cannot be recycled will be disposed of at landfills, the incinerator, or transfer stations. A waste-to-energy combustor, H-POWER (Honolulu Program of Waste Energy Recovery), is located at the Campbell Industrial Park and incinerates about 1,800 tons of combustible waste per day. The electricity generated is bought by HECO. Currently, the H-POWER facility receives all residential and commercial packer truck wastes on the island. Waste contractors will be asked to submit disposal receipts and invoices to ensure proper disposal of waste. The proposed Project will also comply with the provisions of Chapters 11-260 to 11-280, HAR, relating to hazardous waste.

In the long term, the family may generate additional solid waste. The amount of new solid waste that is expected to be generated can be accommodated by existing solid waste collection services and facilities. Solid waste disposal will be in accordance with the guidelines set forth by the City and County of Honolulu, Department of Environmental Services (ENV).

4.8 PUBLIC SERVICES AND FACILITIES

4.8.1 Police Protection

The Property is located within Honolulu Police Department (HPD) District 4, which covers Makapu‘u Point to Kawela Bay (Honolulu Police Department, 2021). The headquarters for District 4 is the Kāne‘ohe Police Station located at 45-270 Waikalua Road, however there is a substation in Kailua at 219 Ku‘ulei Road, located approximately 0.7 mile or three minutes away (Figure 13).

Project Impacts and Mitigation Measures

During the pre-Assessment consultation process, the HPD commented:

“The Honolulu Police Department (HPD) has reviewed the project plans and anticipates short-term impacts to traffic in the area, as Kamani Kai Drive is a dead-end street that leads to North Kalaheo Avenue (one of the main roads in the area). The HPD recommends that adequate notification be made to area residents due to the ingress and egress of construction vehicles, equipment, and deliveries during the construction phase of the project.”

It is not anticipated that the 10 Kamani Kai Place project will create an increased long-term demand on existing police protection services; therefore, no long-term mitigation measures are required.

4.8.2 Fire Protection

The Kailua Fire Station is the closest fire station to the Property, and is located at 211 Ku‘ulei Road, located approximately 0.7 mile or two to three minutes away (Figure 13). There is a fire hydrant (W1462) located in front of 50 Kamani Kai Place, which is approximately 130 feet from the beginning of the “flag” to the 10 Kamani Kai Place property, and approximately 238 feet from the bulk of the property.

Project Impacts and Mitigation Measures

During the pre-Assessment consultation period, the Honolulu Fire Department (HFD) provided several comments related to the provision of fire department of access roads, water supply, width/vertical clearance requirements for fire apparatus access roads, and submittal of civil drawings to the HFD. A fire sprinkler system will be required for the Project due to the distance from the Kamani Kai turnaround. An onsite fire hydrant or onsite fire access road should not be required by the HFD due to the single-family dwelling exceptions that are allowed. At the appropriate stage in the design process, civil drawings will be submitted to HFD for its review and approval.

4.8.3 Health Care Services

The closest emergency room is located at Adventist Health Castle (640 Ulukahiki Street) located approximately 2.3 miles or eight minutes away (Figure 13). Emergency medical services are also provided from Kailua Fire Station.

Project Impacts and Mitigation Measures

Although there may be an unavoidable and occasional need for emergency health care services the Applicant and its visitors, the Project will not significantly increase the need for emergency service. Additionally, the proposed 10 Kamani Kai Place project is not expected to have a long-term adverse impact on emergency medical providers or their ability to service the community. No mitigation measures are proposed.

4.8.4 Recreational Facilities

The closest recreational facility to the Property is Kailua Beach, including the publicly-owned and -used Kailua Beach Park. Other notable recreational facilities in Kailua include: Kailua District Park, Kawainui Regional Park, Ka'iwa Ridge (Figure 13). In the Beaches of O'ahu, John Clark noted that the primary water activities at Kailua Beach include sunbathing, boating, diving, sailing, snorkeling, board surfing, bodysurfing, and swimming.

Project Impacts and Mitigation Measures

The proposed 10 Kamani Kai Place project is not anticipated to displace any existing recreational facilities or create any additional demand on recreational facilities in the vicinity of the Property. No mitigation measures are proposed.

4.8.5 Schools

The closest public schools in the area include: Kainalu Elementary, Kailua Elementary, Kailua Intermediate and Kalāheo High (Figure 13). There are no school-aged children living on the Property full-time or who attend public elementary, middle or high schools

Project Impacts and Mitigation Measures

During the pre-Assessment consultation process, the State of Hawai'i, Department of Human Services (DHS) wrote:

“The DHS has reviewed the map of the project area. At this time, DHS has no comments.”

Once the new residence is completed and occupied, there should be no noise impacts to the above public school facilities. No school-aged children are anticipated to occupy the residence on a full-time basis. Therefore, there should be no increase in demand for public schools.



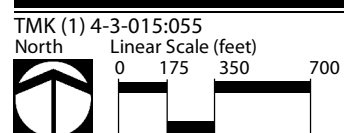
DATE: 4/18/2022

Legend

- | | | | |
|---|---------------------|---|-----------------|
|  | Project Site |  | Private Schools |
|  | Hospitals & Clinics |  | Public Schools |
|  | Police Stations |  | Parks |
|  | Fire Stations | | |

Figure 13:
Public Services

10 Kamani Kai Place



Island of O'ahu



5.0 LAND USE CONFORMANCE

State and County land use plans and policies and required permits and approvals relevant to the 10 Kamani Kai Place project are described below.

5.1 STATE OF HAWAII

5.1.1 State Land Use Law, Chapter 205, Hawaii Revised Statutes

The State Land Use Law (Chapter 205, HRS) establishes the State Land Use Commission (LUC) and authorizes this body to designate all lands in the State into one of four districts: Urban, Rural, Agricultural, or Conservation. These districts are defined and mapped by the LUC in order to ensure compatibility with neighboring land uses and protection of public health.

The Property is located within the State Urban District; residential uses are a permitted use in the State Land Use Urban District.

5.1.2 Coastal Zone Management Act, Chapter 205A, Hawaii Revised Statutes

The Coastal Zone Management (CZM) Area, as defined in Chapter 205A, HRS, includes all the lands of the State. Therefore, the proposed Property lies within the CZM Area. During the pre-Assessment consultation process, the DPP wrote: “The Draft EA should include in its analysis all of the required components for an SMA Use Permit under Chapter 205A, HRS, as revised....” Additionally, the OPSD wrote during the pre-Assessment consultation process that: “The subject EA should include an assessment with mitigation measures if needed, as to how the proposed project conforms to each of the CZM objectives and supporting policies set forth in HRS 205A-2, as amended.”

The CZM Program aims to provide recreational opportunities, protect historic resources, protect scenic and open space resources, protect coastal ecosystems, provide facilities for economic development, reduce hazards, and manage development. Program objectives and applicability to the proposed 10 Kamani Kai Place project are discussed below:

Table 4: Coastal Zone Management Act, Chapter 205A, HRS

COASTAL ZONE MANAGEMENT ACT, CHAPTER 205A, HRS (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)		S	N/S	N/A
Recreational Resources				
<i>Objective: (A) Provide coastal recreational opportunities accessible to the public.</i>				
<i>Policies:</i>				
(A) Improve coordination and funding of coastal recreational planning and management; and				X
(B) Provide adequate, accessible, and diverse recreational opportunities in the coastal zone management area by:				
(i) Protecting coastal resources uniquely suited for recreational activities that cannot be provided in other areas;				X
(ii) Requiring replacement of coastal resources having significant recreational value including, but not limited to, surfing sites, fishponds, and sand beaches, when such resources will be unavoidably damaged by development; or requiring reasonable monetary compensation to the State for recreation when replacement is not feasible or desirable;				X

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COASTAL ZONE MANAGEMENT ACT, CHAPTER 205A, HRS (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)		S	N/S	N/A
(iii)	Providing and managing adequate public access, consistent with conservation of natural resources, to and along shorelines with recreational value;			X
(iv)	Providing an adequate supply of shoreline parks and other recreational facilities suitable for public recreation;			X
(v)	Ensuring public recreational uses of county, state, and federally owned or controlled shoreline lands and waters having recreational value consistent with public safety standards and conservation of natural resources;			X
(vi)	Adopting water quality standards and regulating point and nonpoint sources of pollution to protect, and where feasible, restore the recreational value of coastal waters;	X		
(vii)	Developing new shoreline recreational opportunities, where appropriate, such as artificial lagoons, artificial beaches, and artificial reefs for surfing and fishing; and			X
(viii)	Encouraging reasonable dedication of shoreline areas with recreational value for public use as part of discretionary approvals or permits by the land use commission, board of land and natural resources, and county authorities; and crediting such dedication against the requirements of section 46-6.			X
Discussion: The proposed 10 Kamani Kai Place project does not obstruct coastal recreational opportunities accessible to the public. Given the recreational value of the shoreline, the Project will be designed to minimize pollution via stormwater runoff from the Property.				
Historic Resources				
Objective: (A) Protect, preserve, and, where desirable, restore those natural and manmade historic and prehistoric resources in the coastal zone management area that are significant in Hawaiian and American history and culture.				
Policies:				
(A)	Identify and analyze significant archaeological resources;	X		
(B)	Maximize information retention through preservation of remains and artifacts or salvage operations; and			X
(C)	Support state goals for protection, restoration, interpretation, and display of historic resources.	X		
Discussion: As of this publication, SHPD has yet to provide any formal feedback via HICRIS. However, based on conversations with SHPD, and given the prior archaeological studies conducted relative to the Kailua accretion berm, an Archaeological Inventory Survey (AIS) with subsurface testing that targets areas of proposed subsurface disturbance will be conducted prior to permit approvals. Subsurface testing was initiated on May 12, 2022. A report on the findings of the subsurface testing will be included in the SMA Major Permit application. Furthermore, the Applicant and its contractors will comply with all State and County laws and rules regarding the preservation of archaeological and historic sites. The construction documents will include a provision that if undocumented historic sites such as walls, platforms, pavements and mounds, or remains such as artifacts, burials, concentrations of shell or charcoal or artifacts are inadvertently encountered during construction activities, work will cease immediately in the vicinity of the find and the find will be protected. The contractor(s) will immediately contact the State Historic Preservation Division, which will assess the significance of the find and recommend appropriate mitigation measures, if necessary.				
Scenic and Open Space Resources				
Objective: (A) Protect, preserve, and, where desirable, restore or improve the quality of coastal scenic and open space resources.				
Policies:				
(A)	Identify valued scenic resources in the coastal zone management area;			X
(B)	Ensure that new developments are compatible with their visual environment by designing and locating such developments to minimize the alteration of natural landforms and existing public views to and along the shoreline;	X		
(C)	Preserve, maintain, and, where desirable, improve and restore shoreline open space and scenic resources; and			X
(D)	Encourage those developments that are not coastal dependent to locate in inland areas.			X

10 KAMANI KAI PLACE
DRAFT ENVIRONMENTAL ASSESSMENT/ANTICIPATED FINDING OF NO SIGNIFICANT IMPACT

COASTAL ZONE MANAGEMENT ACT, CHAPTER 205A, HRS (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
Discussion: The 10 Kamani Kai Place project involves the construction of two, attached, single-family homes setback (a minimum of 60 feet) from the shoreline. The proposed Project will be setback from the shoreline and will not obstruct public views along the shoreline, ensuring that the quality of existing coastal scenic and open space resources will be minimally impacted.			
Coastal Ecosystems			
Objective: (A) Protect valuable coastal ecosystems, including reefs, from disruption and minimize adverse impacts on all coastal ecosystems.			
Policies:			
(A) Exercise an overall conservation ethic, and practice stewardship in the protection, use, and development of marine and coastal resources;			X
(B) Improve the technical basis for natural resource management;			X
(C) Preserve valuable coastal ecosystems, including reefs, of significant biological or economic importance;			X
(D) Minimize disruption or degradation of coastal water ecosystems by effective regulation of stream diversions, channelization, and similar land and water uses, recognizing competing water needs; and			X
(E) Promote water quantity and quality planning and management practices that reflect the tolerance of fresh water and marine ecosystems and maintain and enhance water quality through the development and implementation of point and nonpoint source water pollution control measures.	X		
Discussion: The 10 Kamani Kai Place project will not directly impact coastal ecosystems, including reefs as it is setback a minimum of 60 feet from the shoreline. BMPs will be implemented during construction to prevent erosion and stormwater runoff during the construction phase.			
Economic Uses			
Objective: (A) Provide public or private facilities and improvements important to the State's economy in suitable locations.			
Policies:			
(A) Concentrate coastal dependent development in appropriate areas;			X
(B) Ensure that coastal dependent development such as harbors and ports, and coastal related development such as visitor industry facilities and energy generating facilities, are located, designed, and constructed to minimize adverse social, visual, and environmental impacts in the coastal zone management area; and			X
(C) Direct the location and expansion of coastal dependent developments to areas presently designated and used for such developments and permit reasonable long-term growth at such areas, and permit coastal dependent development outside of presently designated areas when:			
(i) Use of presently designated locations is not feasible;			X
(ii) Adverse environmental effects are minimized; and			X
(iii) The development is important to the State's economy.			X
Discussion: The proposed Project is a private facility, but its improvements cannot be considered "important to the State's economy."			
Coastal Hazards			
Objective: (A) Reduce hazard to life and property from tsunami, storm waves, stream flooding, erosion, subsidence, and pollution.			
Policies:			
(A) Develop and communicate adequate information about storm wave, tsunami, flood, erosion, subsidence, and point and nonpoint source pollution hazards;			X
(B) Control development in areas subject to storm wave, tsunami, flood, erosion, hurricane, wind, subsidence, and point and nonpoint source pollution hazards;			X
(C) Ensure that developments comply with requirements of the Federal Flood Insurance Program; and	X		
(D) Prevent coastal flooding from inland projects.			X

10 KAMANI KAI PLACE
DRAFT ENVIRONMENTAL ASSESSMENT/ANTICIPATED FINDING OF NO SIGNIFICANT IMPACT

COASTAL ZONE MANAGEMENT ACT, CHAPTER 205A, HRS (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
Discussion: According to the Flood Insurance Rate Map (FIRM) prepared by the Federal Emergency Management Agency (FEMA), National Flood Insurance Program (NFIP), the Property is located in “Zone X”, meaning that the Property and surrounding area is outside of the 0.2% annual chance floodplain (Figure 8). There are no known hazards to life and property on the Project site from stream flooding, erosion, subsidence, and pollution.			
Managing Development			
Objective: (A) <i>Improve the development review process, communication, and public participation in the management of coastal resources and hazards.</i>			
Policies:			
(A) Use, implement, and enforce existing law effectively to the maximum extent possible in managing present and future coastal zone development;			X
(B) Facilitate timely processing of applications for development permits and resolve overlapping or conflicting permit requirements; and			X
(C) Communicate the potential short and long-term impacts of proposed significant coastal developments early in their life cycle and in terms understandable to the public to facilitate public participation in the planning and review process.	X		
Discussion: This EA discusses potential impacts and mitigation measures of the proposed 10 Kamani Kai Place project and will provide an opportunity for input during the Draft EA Public Comment period. Early consultation comments were obtained and are reproduced in Appendix A.			
Public Participation			
Objective: (A) <i>Stimulate public awareness, education, and participation in coastal management.</i>			
Policies:			
(A) Promote public involvement in coastal zone management processes;	X		
(B) Disseminate information on coastal management issues by means of educational materials, published reports, staff contact, and public workshops for persons and organizations concerned with coastal issues, developments, and government activities; and			X
(C) Organize workshops, policy dialogues, and site-specific mediations to respond to coastal issues and conflicts.			X
Discussion: This EA discusses potential impacts and mitigation measures of the proposed 10 Kamani Kai Place project and will provide an opportunity for input during the Draft EA Public Comment period. Early consultation comments were obtained and are reproduced in Appendix A.			
Beach Protection			
Objective: (A) <i>Protect beaches for public use and recreation.</i>			
Policies:			
(A) Locate new structures inland from the shoreline setback to conserve open space, minimize interference with natural shoreline processes, and minimize loss of improvements due to erosion;	X		
(B) Prohibit construction of private erosion-protection structures seaward of the shoreline, except when they result in improved aesthetic and engineering solutions to erosion at the sites and do not interfere with existing recreational and waterline activities; and			X
(C) Minimize the construction of public erosion-protection structures seaward of the shoreline.			X
(D) Prohibit private property owners from creating a public nuisance by inducing or cultivating the private property owner’s vegetation in a beach transit corridor; and	X		
(E) Prohibit private property owners from creating a public nuisance by allowing the private property owner’s unmaintained vegetation to interfere or encroach upon a beach transit corridor.	X		
Discussion: The proposed 10 Kamani Kai Place project will be setback at least 60 feet from the shoreline. There is a wide expanse of beach fronting the Property and currently the Applicant’s landscaping within the 40 foot shoreline does not interfere or encroach upon the beach transit corridor fronting the Property. The Applicant has			

COASTAL ZONE MANAGEMENT ACT, CHAPTER 205A, HRS (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
no plans to induce or cultivate landscaping that would interfere or encroach upon the beach's lateral transit corridor.			
Marine Resources			
Objective: (A) Promote the protection, use, and development of marine and coastal resources to assure their sustainability.			
Policies:			
(A) Ensure that the use and development of marine and coastal resources are ecologically and environmentally sound and economically beneficial;			X
(B) Coordinate the management of marine and coastal resources and activities to improve effectiveness and efficiency;			X
(C) Assert and articulate the interests of the State as a partner with federal agencies in the sound management of ocean resources within the United States exclusive economic zone;			X
(D) Promote research, study, and understanding of ocean processes, marine life, and other ocean resources in order to acquire and inventory information necessary to understand how ocean development activities relate to and impact upon ocean and coastal resources; and			X
(E) Encourage research and development of new, innovative technologies for exploring, using, or protecting marine and coastal resources.			X
Discussion: The objective and policies of "Marine Resources" are not applicable to the proposed Project.			

5.1.3 Hawai'i State Planning Act, Chapter 226, Hawai'i Revised Statutes

The Hawai'i State Plan, Chapter 226 HRS (2007) provides guidelines for the future growth of the State of Hawai'i. The Hawai'i State Plan identifies goals, objectives, policies, and priorities for allocating the State's resources, including public funds, services, human resources, land, energy, and water. The Plan was enacted to achieve "a desired physical environment, characterized by beauty, cleanliness, quiet, stable natural systems, and uniqueness, that enhances the mental and physical well-being of the people." The following table outlines the proposed 10 Kamani Kai Place project's conformance with each theme, goal, objective, policy, and guideline of the Plan.

5.1.3.1 Hawai'i State Plan, Part I: Overall Theme, Goals, Objectives and Policies

Table 5: Hawai'i State Plan, Chapter 226, HRS – Part I

HAWAI'I STATE PLAN, CHAPTER 226, HRS – PART I. OVERALL THEME, GOALS, OBJECTIVES AND POLICIES (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
HRS § 226-1: Findings and Purpose			
HRS § 226-2: Definitions			
HRS § 226-3: Overall Theme.			
<i>Hawai'i's people, as both individuals and groups, generally accept and live by a number of principles or values which are an integral part of society. This concept is the unifying theme of the State Plan. The following principles or values are established as the overall theme of the Hawai'i State Plan:</i>			
(1) Individual and family self-sufficiency refers to the rights of people to maintain as much self-reliance as possible. It is an expression of the value of independence, in other words, being able to freely pursue personal interests and goals. Self-sufficiency means that individuals and families can express and maintain their own self-interest so long as that self-interest does not adversely affect the general welfare. Individual freedom and individual achievement are possible only by reason of other people in society, the institutions, arrangements and customs that they maintain, and the rights and responsibilities that they sanction.			

HAWAI'I STATE PLAN, CHAPTER 226, HRS – PART I. OVERALL THEME, GOALS, OBJECTIVES AND POLICIES (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
<p>(2) Social and economic mobility refers to the right of individuals to choose and to have the opportunities for choice available to them. It is a corollary to self-sufficiency. Social and economic mobility means that opportunities and incentives are available for people to seek out their own levels of social and economic fulfillment.</p> <p>(3) Community or social well-being is a value that encompasses many things. In essence, it refers to healthy social, economic, and physical environments that benefit the community as a whole. A sense of social responsibility, of caring for others and for the well-being of our community and of participating in social and political life, are important aspects of this concept. It further implies the aloha spirit--attitudes of tolerance, respect, cooperation and unselfish giving, within which Hawai'i's society can progress.</p> <p><i>One of the basic functions of our society is to enhance the ability of individuals and groups to pursue their goals freely, to satisfy basic needs and to secure desired socio-economic levels. The elements of choice and mobility within society's legal framework are fundamental rights. Society's role is to encourage conditions within which individuals and groups can approach their desired levels of self-reliance and self-determination. This enables people to gain confidence and self-esteem; citizens contribute more when they possess such qualities in a free and open society.</i></p> <p><i>Government promotes citizen freedom, self-reliance, self-determination, social and civic responsibility and goals achievement by keeping order, by increasing cooperation among many diverse individuals and groups, and by fostering social and civic responsibilities that affect the general welfare. The greater the number and activities of individuals and groups, the more complex government's role becomes. The function of government, however, is to assist citizens in attaining their goals. Government provides for meaningful participation by the people in decision-making and for effective access to authority as well as an equitable sharing of benefits. Citizens have a responsibility to work with their government to contribute to society's improvement. They must also conduct their activities within an agreed-upon legal system that protects human rights.</i></p> <p>Discussion: The proposed construction of two, attached homes for family use is an expression of the Applicant's right to utilize its property, while not adversely affecting the general welfare of the residents of the State.</p>			
HRS § 226-4: State Goals.			
<p><i>In order to guarantee, for the present and future generations, those elements of choice and mobility that insure that individuals and groups may approach their desired levels of self-reliance and self-determination, it shall be the goal of the State to achieve:</i></p> <p>(1) A strong, viable economy, characterized by stability, diversity and growth that enables fulfillment of the needs and expectations of Hawai'i's present and future generations.</p> <p>(2) A desired physical environment, characterized by beauty, cleanliness, quiet, stable natural systems, and uniqueness, that enhances the mental and physical well-being of the people.</p> <p>(3) Physical, social and economic well-being, for individuals and families in Hawai'i, that nourishes a sense of community responsibility, of caring and of participation in community life.</p>			
<p>Discussion: More active use of the Project site (through the implementation of the proposed Project) may enhance security and benefit neighboring property values.</p>			
HRS § 226-5: Objectives and policies for population.			
(a) Objective: <i>It shall be the objective in planning for the State's population to guide population growth to be consistent with the achievement of physical, economic and social objectives contained in this chapter.</i>			
(b) Policies:			
(1) Manage population growth statewide in a manner that provides increased opportunities for Hawai'i's people to pursue their physical, social and economic aspirations while recognizing the unique needs of each county.			X
(2) Encourage an increase in economic activities and employment opportunities on the neighbor islands consistent with community needs and desires.			X

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(3) Promote increased opportunities for Hawai'i's people to pursue their socio-economic aspirations throughout the islands.			X
(4) Encourage research activities and public awareness programs to foster an understanding of Hawai'i's limited capacity to accommodate population needs and to address concerns resulting from an increase in Hawai'i's population.			X
(5) Encourage federal actions and coordination among major governmental agencies to promote a more balanced distribution of immigrants among the states, provided that such actions do not prevent the reunion of immediate family members.			X
(6) Pursue an increase in federal assistance for states with a greater proportion of foreign immigrants relative to their state's population.			X
(7) Plan the development and availability of land and water resources in a coordinated manner so as to provide for the desired levels of growth in each geographic area.			X
Discussion: The proposed Project will not result in a significant increase in population growth.			
HRS § 226-6: Objectives and policies for the economy in general.			
(a) Objectives: <i>Planning for the State's economy in general shall be directed toward achievement of the following objectives:</i>			
(1) Increased and diversified employment opportunities to achieve full employment, increased income and job choice, and improved living standards for Hawai'i's people, while at the same time stimulating the development and expansion of economic activities capitalizing on defense, dual-use, and science and technology assets, particularly on the neighbor islands where employment opportunities may be limited.			X
(2) A steadily growing and diversified economic base that is not overly dependent on a few industries, and includes the development and expansion of industries on the neighbor islands.			X
(b) Policies:			
(1) Promote and encourage entrepreneurship within Hawai'i by residents and nonresidents of the State.			X
(2) Expand Hawai'i's national and international marketing, communication, and organizational ties, to increase the State's capacity to adjust to and capitalize upon economic changes and opportunities occurring outside the State.			X
(3) Promote Hawai'i as an attractive market for environmentally and socially sound investment activities that benefit Hawai'i's people.			X
(4) Transform and maintain Hawai'i as a place that welcomes and facilitates innovative activity that may lead to commercial opportunities.			X
(5) Promote innovative activity that may pose initial risks, but ultimately contribute to the economy of Hawai'i.			X
(6) Seek broader outlets for new or expanded Hawai'i business investments.			X
(7) Expand existing markets and penetrate new markets for Hawai'i's products and services.			X
(8) Assure that the basic economic needs of Hawai'i's people are maintained in the event of disruptions in overseas transportation.			X
(9) Strive to achieve a level of construction activity responsive to, and consistent with, state growth objectives.			X
(10) Encourage the formation of cooperatives and other favorable marketing arrangements at the local or regional level to assist Hawai'i's small scale producers, manufacturers, and distributors.			X
(11) Encourage labor-intensive activities that are economically satisfying and which offer opportunities for upward mobility.			X
(12) Encourage innovative activities that may not be labor-intensive, but may otherwise contribute to the economy of Hawai'i.			X
(13) Foster greater cooperation and coordination between the government and private sectors in developing Hawai'i's employment and economic growth opportunities.			X
(14) Stimulate the development and expansion of economic activities which will benefit areas with substantial or expected employment problems.			X

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(15) Maintain acceptable working conditions and standards for Hawai'i's workers.			X
(16) Provide equal employment opportunities for all segments of Hawai'i's population through affirmative action and nondiscrimination measures.			X
(17) Stimulate the development and expansion of economic activities capitalizing on defense, dual-use, and science and technology assets, particularly on the neighbor islands where employment opportunities may be limited.			X
(18) Encourage businesses that have favorable financial multiplier effects within Hawai'i's economy, particularly with respect to emerging industries in science and technology.			X
(19) Promote and protect intangible resources in Hawai'i, such as scenic beauty and the aloha spirit, which are vital to a healthy economy.			X
(20) Increase effective communication between the educational community and the private sector to develop relevant curricula and training programs to meet future employment needs in general, and requirements of new, potential growth industries in particular.			X
(21) Foster a business climate in Hawai'i--including attitudes, tax and regulatory policies, and financial and technical assistance programs--that is conducive to the expansion of existing enterprises and the creation and attraction of new business and industry.			X
Discussion: Although the proposed Project will generate construction employment, it will not have a significant impact on the overall state economy.			
HRS § 226-7: Objectives and policies for the economy – agriculture			
<i>(a) Objectives: Planning for the State's economy with regard to agriculture shall be directed towards achievement of the following objectives:</i>			
• Viability of Hawai'i's sugar and pineapple industries.			X
• Growth and development of diversified agriculture throughout the State.			X
• An agriculture industry that continues to constitute a dynamic and essential component of Hawai'i's strategic, economic, and social well-being.			X
<i>(b) Policies:</i>			
(1) Establish a clear direction for Hawai'i's agriculture through stakeholder commitment and advocacy.			X
(2) Encourage agriculture by making best use of natural resources.			X
(3) Provide the governor and the legislature with information and options needed for prudent decision making for the development of agriculture.			X
(4) Establish strong relationships between the agricultural and visitor industries for mutual marketing benefits.			X
(5) Foster increased public awareness and understanding of the contributions and benefits of agriculture as a major sector of Hawai'i's economy.			X
(6) Seek the enactment and retention of federal and state legislation that benefits Hawai'i's agricultural industries.			X
(7) Strengthen diversified agriculture by developing an effective promotion, marketing, and distribution system between Hawai'i's food producers and consumers in the State, nation, and world.			X
(8) Support research and development activities that strengthen economic productivity in agriculture, stimulate greater efficiency, and enhance the development of new products and agricultural by-products.			X
(9) Enhance agricultural growth by providing public incentives and encouraging private initiatives.			X
(10) Assure the availability of agriculturally suitable lands with adequate water to accommodate present and future needs.			X
(11) Increase the attractiveness and opportunities for an agricultural education and livelihood.			X
(12) In addition to the State's priority on food, expand Hawai'i's agricultural base by promoting growth and development of flowers, tropical fruits and plants, livestock, feed grains, forestry, food crops, aquaculture, and other potential enterprises.			X

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(13) Promote economically competitive activities that increase Hawai'i's agricultural self-sufficiency, including the increased purchase and use of Hawai'i-grown food and food products by residents, businesses, and governmental bodies as defined under section 103D-104.			X
(14) Promote and assist in the establishment of sound financial programs for diversified agriculture.			X
(15) Institute and support programs and activities to assist the entry of displaced agricultural workers into alternative agricultural or other employment.			X
(16) Facilitate the transition of agricultural lands in economically nonfeasible agricultural production to economically viable agricultural uses.			X
Discussion: The proposed Project will not impact the state's agricultural industry. The proposed 10 Kamani Kai Place project will involve the construction of a new single-family residence in a residential-zoned area. No agricultural lands will be taken out of production as a result of implementing this Project.			
HRS § 226-8: Objectives and policies for the economy – visitor industry			
<i>(a) Objectives: Planning for the State's economy with regard to the visitor industry shall be directed towards the achievement of the objective of a visitor industry that constitutes a major component of steady growth for Hawai'i's economy.</i>			
<i>(b) Policies:</i>			
(1) Support and assist in the promotion of Hawai'i's visitor attractions and facilities.			X
(2) Ensure that visitor industry activities are in keeping with the social, economic, and physical needs and aspirations of Hawai'i's people.			X
(3) Improve the quality of existing visitor destination areas by utilizing Hawai'i's strengths in science and technology.			X
(4) Encourage cooperation and coordination between the government and private sectors in developing and maintaining well-designed, adequately serviced visitor industry and related developments which are sensitive to neighboring communities and activities.			X
(5) Develop the industry in a manner that will continue to provide new job opportunities and steady employment for Hawai'i's people.			X
(6) Provide opportunities for Hawai'i's people to obtain job training and education that will allow for upward mobility within the visitor industry.			X
(7) Foster a recognition of the contribution of the visitor industry to Hawai'i's economy and the need to perpetuate the aloha spirit.			X
(8) Foster an understanding by visitors of the aloha spirit and of the unique and sensitive character of Hawai'i's cultures and values.			X
Discussion: The proposed 10 Kamani Kai Place project will not directly impact the visitor industry.			
HRS § 226-9: Objective and policies for the economy – federal expenditures			
<i>(a) Objective: Planning for the State's economy with regard to federal expenditures shall be directed towards achievement of the objective of a stable federal investment base as an integral component of Hawai'i's economy.</i>			
<i>(b) Policies:</i>			
(1) Encourage the sustained flow of federal expenditures in Hawai'i that generates long-term government civilian employment.			X
(2) Promote Hawai'i's supportive role in national defense, in a manner consistent with Hawai'i's social, environmental, and cultural goals by building upon dual-use and defense applications to develop thriving ocean engineering, aerospace research and development, and related dual-use technology sectors in Hawai'i's economy.			X
(3) Promote the development of federally supported activities in Hawai'i that respect state-wide economic concerns, are sensitive to community needs, and minimize adverse impacts on Hawai'i's environment.			X
(4) Increase opportunities for entry and advancement of Hawai'i's people into federal government service.			X
(5) Promote federal use of local commodities, services, and facilities available in Hawai'i.			X

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(6) Strengthen federal-state-county communication and coordination in all federal activities that affect Hawai'i.			X
(7) Pursue the return of federally controlled lands in Hawai'i that are not required for either the defense of the nation or for other purposes of national importance, and promote the mutually beneficial exchanges of land between federal agencies, the State, and the counties.			X
Discussion: The proposed 10 Kamani Kai Place project has no relation to the State's goals on federal expenditures.			
HRS § 226-10: Objectives and policies for the economy – potential growth and innovative activities.			
<i>(a) Objective: Planning for the State's economy with regard to potential growth and innovative activities shall be directed towards achievement of the objective of development and expansion of potential growth and innovative activities that serve to increase and diversify Hawai'i's economic base.</i>			
(b) Policies:			
(1) Facilitate investment and employment in economic activities that have the potential to expand and diversify Hawai'i's economy, including but not limited to diversified agriculture, aquaculture, renewable energy development, creative media, health care, and science and technology-based sectors.			X
(2) Facilitate investment in innovative activity that may pose risks or be less labor-intensive than other traditional business activity, but if successful, will generate revenue in Hawai'i through the export of services or products or substitution of imported services or products.			X
(3) Encourage entrepreneurship in innovative activity by academic researchers and instructors who may not have the background, skill, or initial inclination to commercially exploit their discoveries or achievements.			X
(4) Recognize that innovative activity is not exclusively dependent upon individuals with advanced formal education, but that many self-taught, motivated individuals are able, willing, sufficiently knowledgeable, and equipped with the attitude necessary to undertake innovative activity.			X
(5) Increase the opportunities for investors in innovative activity and talent engaged in innovative activity to personally meet and interact at cultural, art, entertainment, culinary, athletic, or visitor-oriented events without a business focus.			X
(6) Expand Hawai'i's capacity to attract and service international programs and activities that generate employment for Hawai'i's people.			X
(7) Enhance and promote Hawai'i's role as a center for international relations, trade, finance, services, technology, education, culture, and the arts.			X
(8) Accelerate research and development of new energy- related industries based on wind, solar, ocean, and underground resources and solid waste.			X
(9) Promote Hawai'i's geographic, environmental, social, and technological advantages to attract new economic activities into the State.			X
(10) Provide public incentives and encourage private initiative to attract new industries that best support Hawai'i's social, economic, physical, and environmental objectives.			X
(11) Increase research and the development of ocean-related economic activities such as mining, food production, and scientific research.			X
(12) Develop, promote, and support research and educational and training programs that will enhance Hawai'i's ability to attract and develop economic activities of benefit to Hawai'i.			X
(13) Foster a broader public recognition and understanding of the potential benefits of new, or innovative growth-oriented industry in Hawai'i.			X
(14) Encourage the development and implementation of joint federal and state initiatives to attract federal programs and projects that will support Hawai'i's social, economic, physical, and environmental objectives.			X
(15) Increase research and development of businesses and services in the telecommunications and information industries.			X
(16) Foster the research and development of nonfossil fuel and energy efficient modes of transportation.			X

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(17) Recognize and promote health care and health care information technology as growth industries.			X
Discussion: The proposed 10 Kamani Kai Place project has no relation to the State's goals on potential growth and innovative activities.			
HRS § 226-10.5: Objectives and policies for the economy – information industry			
<i>(a) Objective: Planning for the State's economy with regard to telecommunications and information technology shall be directed toward recognizing that broadband and wireless communication capability and infrastructure are foundations for an innovative economy and positioning Hawai'i as a leader in broadband and wireless communications and applications in the Pacific Region.</i>			
(b) Policies:			
(1) Promote efforts to attain the highest speeds of electronic and wireless communication within Hawai'i and between Hawai'i and the world, and make high speed communication available to all residents and businesses in Hawai'i.			X
(2) Encourage the continued development and expansion of the telecommunications infrastructure serving Hawai'i to accommodate future growth and innovation in Hawai'i's economy.			X
(3) Facilitate the development of new or innovative business and service ventures in the information industry which will provide employment opportunities for the people of Hawai'i.			X
(4) Encourage mainland- and foreign-based companies of all sizes, whether information technology-focused or not, to allow their principals, employees, or contractors to live in and work from Hawai'i, using technology to communicate with their headquarters, offices, or customers located out-of-state.			X
(5) Encourage greater cooperation between the public and private sectors in developing and maintaining a well-designed information industry.			X
(6) Ensure that the development of new businesses and services in the industry are in keeping with the social, economic, and physical needs and aspirations of Hawai'i's people.			X
(7) Provide opportunities for Hawai'i's people to obtain job training and education that will allow for upward mobility within the information industry.			X
(8) Foster a recognition of the contribution of the information industry to Hawai'i's economy.			X
(9) Assist in the promotion of Hawai'i as a broker, creator, and processor of information in the Pacific.			X
Discussion: The proposed 10 Kamani Kai Place project has no relation to the State's goals on the information industry.			
HRS § 226-11: Objectives and policies for the physical environment – land-based, shoreline, and marine resources.			
<i>(a) Objectives: Planning for the State's physical environment with regard to land-based, shoreline, and marine resources shall be directed towards achievement of the following objectives:</i>			
(1) Prudent use of Hawai'i's land-based, shoreline, and marine resources.	X		
(2) Effective protection of Hawai'i's unique and fragile environmental resources.			X
(b) Policies:			
(1) Exercise an overall conservation ethic in the use of Hawai'i's natural resources.			X
(2) Ensure compatibility between land-based and water-based activities and natural resources and ecological systems.			X
(3) Take into account the physical attributes of areas when planning and designing activities and facilities.			X
(4) Manage natural resources and environs to encourage their beneficial and multiple use without generating costly or irreparable environmental damage.			X
(5) Consider multiple uses in watershed areas, provided such uses do not detrimentally affect water quality and recharge functions.			X

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(6) Encourage the protection of rare or endangered plant and animal species and habitats native to Hawai'i.	X		
(7) Provide public incentives that encourage private actions to protect significant natural resources from degradation or unnecessary depletion.			X
(8) Pursue compatible relationships among activities, facilities, and natural resources.			X
(9) Promote increased accessibility and prudent use of inland and shoreline areas for public recreational, educational, and scientific purposes.	X		
Discussion: By building a new residence on the Property with residential zoning, the Project furthers the State's goal of prudent use of land, especially where State and County land use designations permit urban and residential land uses.			
HRS § 226-12: Objective and policies for the physical environment – scenic, natural beauty, and historic resources.			
<i>(a) Objective: Planning for the State's physical environment shall be directed towards achievement of the objective of enhancement of Hawai'i's scenic assets, natural beauty, and multi-cultural/historical resources.</i>			
(b) Policies:			
(1) Promote the preservation and restoration of significant natural and historic resources.			X
(2) Provide incentives to maintain and enhance historic, cultural, and scenic amenities.			X
(3) Promote the preservation of views and vistas to enhance the visual and aesthetic enjoyment of mountains, ocean, scenic landscapes, and other natural features.	X		
(4) Protect those special areas, structures, and elements that are an integral and functional part of Hawai'i's ethnic and cultural heritage.			X
(5) Encourage the design of developments and activities that complement the natural beauty of the islands.			X
Discussion: The proposed Project will be setback from the shoreline by a minimum of 60 feet. Building the proposed 10 Kamani Kai Place project will not obstruct lateral views along the shoreline.			
HRS § 226-13: Objectives and policies for the physical environment – land, air, and water quality.			
<i>(a) Objectives: Planning for the State's physical environment with regard to land, air, and water quality shall be directed towards achievement of the following objectives:</i>			
(1) Maintenance and pursuit of improved quality in Hawai'i's land, air, and water resources.			X
(2) Greater public awareness and appreciation of Hawai'i's environmental resources.			X
(b) Policies:			
(1) Foster educational activities that promote a better understanding of Hawai'i's limited environmental resources.			X
(2) Promote the proper management of Hawai'i's land and water resources.			X
(3) Promote effective measures to achieve desired quality in Hawai'i's surface, ground, and coastal waters.			X
(4) Encourage actions to maintain or improve aural and air quality levels to enhance the health and well-being of Hawai'i's people.			X
(5) Reduce the threat to life and property from erosion, flooding, tsunamis, hurricanes, earthquakes, volcanic eruptions, and other natural or man-induced hazards and disasters.	X		
(6) Encourage design and construction practices that enhance the physical qualities of Hawai'i's communities.			X
(7) Encourage urban developments in close proximity to existing services and facilities.	X		
(8) Foster recognition of the importance and value of the land, air, and water resources to Hawai'i's people, their cultures and visitors.			X

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Discussion: The proposed 10 Kamani Kai Place project is located in an Urban and residential-zoned portion of Kailua thus following the State’s goal of encouraging development in proximity to existing services and facilities, while reducing impacts to land, air and water quality. According to the Flood Insurance Rate Map (FIRM) prepared by the Federal Emergency Management Agency (FEMA), National Flood Insurance Program (NFIP), the Property is located in “Zone X”, meaning that the Property and surrounding area is outside of the 0.2% annual chance floodplain (Figure 8). There are no known hazards to life and property on the Property from stream flooding. Potential impacts from other natural hazards are addressed in section 3.5 of this EA.			
HRS § 226-14: Objective and policies for facility systems – in general.			
(a) Objective: Planning for the State’s facility systems in general shall be directed towards achievement of the objective of water, transportation, waste disposal, and energy and telecommunication systems that support statewide social, economic, and physical objectives.			
(b) Policies:			
(1) Accommodate the needs of Hawai‘i’s people through coordination of facility systems and capital improvement priorities in consonance with state and county plans.			X
(2) Encourage flexibility in the design and development of facility systems to promote prudent use of resources and accommodate changing public demands and priorities.			X
(3) Ensure that required facility systems can be supported within resource capacities and at reasonable cost to the user.			X
(4) Pursue alternative methods of financing programs and projects and cost-saving techniques in the planning, construction, and maintenance of facility systems.			X
Discussion: Not directly applicable, but by maintaining the parcel’s “Urban” State Land Use Boundary and County zoning R-10 Residential land use designations, the 10 Kamani Kai Place project is in consonance with both State and County plans.			
HRS § 226-15: Objectives and policies for facility systems – solid and liquid wastes.			
(a) Objectives: Planning for the State’s facility systems with regard to solid and liquid wastes shall be directed towards the achievement of the following objectives:			
(1) Maintenance of basic public health and sanitation standards relating to treatment and disposal of solid and liquid wastes.			X
(2) Provision of adequate sewerage facilities for physical and economic activities that alleviate problems in housing, employment, mobility, and other areas.			X
(b) Policies:			
(1) Encourage the adequate development of sewerage facilities that complement planned growth.	X		
(2) Promote re-use and recycling to reduce solid and liquid wastes and employ a conservation ethic.			X
(3) Promote research to develop more efficient and economical treatment and disposal of solid and liquid wastes.			X
Discussion: The Property is served by the City and County of Honolulu via an 8-inch wastewater collection line in 10 Kamani Kai Place.			
HRS § 226-16: Objective and policies for facility systems – water.			
(a) Objective: Planning for the State’s facility systems with regard to water shall be directed towards achievement of the objective of the provision of water to adequately accommodate domestic, agricultural, commercial, industrial, recreational, and other needs within resource capacities.			
(b) Policies:			
(1) Coordinate development of land use activities with existing and potential water supply.	X		
(2) Support research and development of alternative methods to meet future water requirements well in advance of anticipated needs.			X
(3) Reclaim and encourage the productive use of runoff water and wastewater discharges.			X
(4) Assist in improving the quality, efficiency, service, and storage capabilities of water systems for domestic and agricultural use.			X
(5) Support water supply services to areas experiencing critical water problems.			X

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(6) Promote water conservation programs and practices in government, private industry, and the general public to help ensure adequate water to meet long-term needs.			X
Discussion: Close coordination will be maintained with the BWS to ensure that the water system will not be adversely impacted and to minimize interruption of water services to adjacent areas. During the design phase, the construction drawings will be submitted to the BWS for review and approval.			
HRS § 226-17: Objectives and policies for facility systems – transportation.			
<i>(a) Objective: Planning for the State's facility systems with regard to transportation shall be directed toward the achievement of the following objectives:</i>			
(1) An integrated multi-modal transportation system that services statewide needs and promotes the efficient, economical, safe, and convenient movement of people and goods.			X
(2) A statewide transportation system that is consistent with and will accommodate planned growth objectives throughout the State.			X
<i>(b) Policies:</i>			
(1) Design, program, and develop a multi-modal system in conformance with desired growth and physical development as stated in this chapter;			X
(2) Coordinate state, county, federal, and private transportation activities and programs toward the achievement of statewide objectives;			X
(3) Encourage a reasonable distribution of financial responsibilities for transportation among participating governmental and private parties;			X
(4) Provide for improved accessibility to shipping, docking, and storage facilities;			X
(5) Promote a reasonable level and variety of mass transportation services that adequately meet statewide and community needs;			X
(6) Encourage transportation systems that serve to accommodate present and future development needs of communities;			X
(7) Encourage a variety of carriers to offer increased opportunities and advantages to interisland movement of people and goods;			X
(8) Increase the capacities of airport and harbor systems and support facilities to effectively accommodate transshipment and storage needs;			X
(9) Encourage the development of transportation systems and programs which would assist statewide economic growth and diversification;			X
(10) Encourage the design and development of transportation systems sensitive to the needs of affected communities and the quality of Hawai'i's natural environment;			X
(11) Encourage safe and convenient use of low-cost, energy-efficient, non-polluting means of transportation;			X
(12) Coordinate intergovernmental land use and transportation planning activities to ensure the timely delivery of supporting transportation infrastructure in order to accommodate planned growth objectives; and			X
(13) Encourage diversification of transportation modes and infrastructure to promote alternate fuels and energy efficiency.			X
Discussion: The proposed 10 Kamani Kai Place project has no relationship to planning for the State's facility systems with regards to transportation.			
HRS § 226-18: Objectives and policies for facility systems – energy.			
<i>(a) Objectives: Planning for the State's facility systems with regard to energy shall be directed toward the achievement of the following objectives, giving due consideration to all:</i>			
(1) Dependable, efficient, and economical statewide energy systems capable of supporting the needs of the people;	X		
(2) Increased energy security and self-sufficiency through the reduction and ultimate elimination of Hawai'i's dependence on imported fuels for electrical generation and ground transportation;			X
(3) Greater diversification of energy generation in the face of threats to Hawai'i's energy supplies and systems;			X

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(4) Reduction, avoidance, or sequestration of greenhouse gas emissions from energy supply and use; and			X
(5) Utility models that make the social and financial interests of Hawai'i's utility customers a priority.			X
<i>(b) To achieve the energy objectives, it shall be the policy of this State to ensure the short- and long-term provision of adequate, reasonably priced, and dependable energy services to accommodate demand.</i>			
(c) Other Policies:			
(1) Support research and development as well as promote the use of renewable energy sources;			X
(2) Ensure that the combination of energy supplies and energy-saving systems is sufficient to support the demands of growth;			X
(3) Base decisions of least-cost supply-side and demand-side energy resource options on a comparison of their total costs and benefits when a least-cost is determined by a reasonably comprehensive, quantitative, and qualitative accounting of their long-term, direct and indirect economic, environmental, social, cultural, and public health costs and benefits;			X
(4) Promote all cost-effective conservation of power and fuel supplies through measures including:			
(A) Development of cost-effective demand-side management programs;			X
(B) Education;			X
(C) Adoption of energy-efficient practices and technologies; and			X
(D) Increasing energy efficiency and decreasing energy use in public infrastructure;			X
(5) Ensure, to the extent that new supply-side resources are needed, that the development or expansion of energy systems uses the least-cost energy supply option and maximizes efficient technologies;			X
(6) Support research, development, demonstration, and use of energy efficiency, load management, and other demand-side management programs, practices, and technologies;			X
(7) Promote alternate fuels and transportation energy efficiency;			X
(8) Support actions that reduce, avoid, or sequester greenhouse gases in utility, transportation, and industrial sector applications;			X
(9) Support actions that reduce, avoid, or sequester Hawai'i's greenhouse gas emissions through agriculture and forestry initiatives.			X
(10) Provide priority handling and processing for all state and county permits required for renewable energy projects;			X
(11) Ensure that liquefied natural gas is used only as a cost-effective transitional, limited-term replacement of petroleum for electricity generation and does not impede the development and use of other cost-effective renewable energy sources; and			X
(12) Promote the development of indigenous geothermal energy resources that are located on public trust land as an affordable and reliable source of firm power for Hawai'i.			X
Discussion: The 10 Kamani Kai Place project has no relationship to planning for the State's facility systems with regards to energy, however, energy-saving features will be incorporated into its design where feasible, including: <ul style="list-style-type: none"> - Photovoltaic panel system with battery backup; - LED lighting; - Installation of high-performance glazing (insulated with low-E coating) in the windows and doors, as well as other passive cooling strategies. 			
HRS § 226-18.5: Objectives and policies for facility systems – telecommunications.			
<i>(a) Objective: Planning for the State's telecommunications facility systems shall be directed towards the achievement of dependable, efficient, and economical statewide telecommunications systems capable of supporting the needs of the people.</i>			
<i>(b) To achieve the telecommunications objective, it shall be the policy of this State to ensure the provision of adequate, reasonably priced, and dependable telecommunications services to accommodate demand.</i>			

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(c) Other Policies:			
(1) Facilitate research and development of telecommunications systems and resources;			X
(2) Encourage public and private sector efforts to develop means for adequate, ongoing telecommunications planning;			X
(3) Promote efficient management and use of existing telecommunications systems and services; and			X
(4) Facilitate the development of education and training of telecommunications personnel.			X
Discussion: The proposed 10 Kamani Kai Place project has no relationship to planning for the State's telecommunications facility systems.			
HRS § 226-19: Objectives and policies for socio-cultural advancement – housing.			
(a) Objectives: Planning for the State's socio-cultural advancement with regard to housing shall be directed toward the achievement of the following objectives:			
(1) Greater opportunities for Hawai'i's people to secure reasonably priced, safe, sanitary, and livable homes, located in suitable environments that satisfactorily accommodate the needs and desires of families and individuals, through collaboration and cooperation between government and nonprofit and for-profit developers to ensure that more affordable housing is made available to very low-, low- and moderate-income segments of Hawai'i's population.			X
(2) The orderly development of residential areas sensitive to community needs and other land uses.			X
(3) The development and provision of affordable rental housing by the State to meet the housing needs of Hawai'i's people.			X
(b) Policies:			
(1) Effectively accommodate the housing needs of Hawai'i's people.			X
(2) Stimulate and promote feasible approaches that increase housing choices for low-income, moderate-income, and gap-group households.			X
(3) Increase homeownership and rental opportunities and choices in terms of quality, location, cost, densities, style, and size of housing.			X
(4) Promote appropriate improvement, rehabilitation, and maintenance of existing housing units and residential areas.	X		
(5) Promote design and location of housing developments taking into account the physical setting, accessibility to public facilities and services, and other concerns of existing communities and surrounding areas.			X
(6) Facilitate the use of available vacant, developable, and underutilized urban lands for housing.			X
(7) Foster a variety of lifestyles traditional to Hawai'i through the design and maintenance of neighborhoods that reflect the culture and values of the community.			X
(8) Promote research and development of methods to reduce the cost of housing construction in Hawai'i.			X
Discussion: The proposed 10 Kamani Kai Place project involves the construction of two attached single-family residences, which will be used by the Applicant and its extended family.			
HRS § 226-20: Objectives and policies for socio-cultural advancement – health			
(a) Objectives: Planning for the State's socio-cultural advancement with regard to health shall be directed towards achievement of the following objectives:			
(1) Fulfillment of basic individual health needs of the general public.			X
(2) Maintenance of sanitary and environmentally healthful conditions in Hawai'i's communities.	X		
(3) Elimination of health disparities by identifying and addressing social determinants of health.			X
(b) Policies:			
(1) Provide adequate and accessible services and facilities for prevention and treatment of physical and mental health problems, including substance abuse.			X

HAWAI'I STATE PLAN, CHAPTER 226, HRS – PART I. OVERALL THEME, GOALS, OBJECTIVES AND POLICIES (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
(2) Encourage improved cooperation among public and private sectors in the provision of health care to accommodate the total health needs of individuals throughout the State.			X
(3) Encourage public and private efforts to develop and promote statewide and local strategies to reduce health care and related insurance costs.			X
(4) Foster an awareness of the need for personal health maintenance and preventive health care through education and other measures.			X
(5) Provide programs, services, and activities that ensure environmentally healthful and sanitary conditions.			X
(6) Improve the State's capabilities in preventing contamination by pesticides and other potentially hazardous substances through increased coordination, education, monitoring, and enforcement.			X
(7) Prioritize programs, services, interventions, and activities that address identified social determinants of health to improve native Hawaiian health and well-being consistent with the United States Congress' declaration of policy as codified in title 42 United States Code section 11702, and to reduce health disparities of disproportionately affected demographics, including native Hawaiians, other Pacific Islanders, and Filipinos. The prioritization of affected demographic groups other than native Hawaiians may be reviewed every ten years and revised based on the best available epidemiological and public health data.			X
Discussion: The Property is served by the City and County of Honolulu via an 8-inch wastewater collection line in Kamani Kai Place.			
HRS § 226-21: Objective and policies for socio-cultural advancement – education.			
<i>(a) Objectives: Planning for the State's socio-cultural advancement with regard to education shall be directed towards achievement of the objective of the provision of a variety of educational opportunities to enable individuals to fulfill their needs, responsibilities, and aspirations.</i>			
(b) Policies:			
(1) Support educational programs and activities that enhance personal development, physical fitness, recreation, and cultural pursuits of all groups.			X
(2) Ensure the provision of adequate and accessible educational services and facilities that are designed to meet individual and community needs.			X
(3) Provide appropriate educational opportunities for groups with special needs.			X
(4) Promote educational programs which enhance understanding of Hawai'i's cultural heritage.			X
(5) Provide higher educational opportunities that enable Hawai'i's people to adapt to changing employment demands.			X
(6) Assist individuals, especially those experiencing critical employment problems or barriers, or undergoing employment transitions, by providing appropriate employment training programs and other related educational opportunities.			X
(7) Promote programs and activities that facilitate the acquisition of basic skills, such as reading, writing, computing, listening, speaking, and reasoning.			X
(8) Emphasize quality educational programs in Hawai'i's institutions to promote academic excellence.			X
(9) Support research programs and activities that enhance the education programs of the State.			X
Discussion: The proposed 10 Kamani Kai Place project has no relationship to planning for the State's socio-cultural advancement with regard to education.			
HRS § 226-22: Objective and policies for socio-cultural advancement – social services.			
<i>(a) Objective: Planning for the State's socio-cultural advancement with regard to social services shall be directed towards the achievement of the objective of improved public and private social services and activities that enable individuals, families, and groups to become more self-reliant and confident to improve their well-being.</i>			

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(b) Policies:			
(1) Assist individuals, especially those in need of attaining a minimally adequate standard of living and those confronted by social and economic hardship conditions, through social services and activities within the State's fiscal capacities.			X
(2) Promote coordination and integrative approaches among public and private agencies and programs to jointly address social problems that will enable individuals, families, and groups to deal effectively with social problems and to enhance their participation in society.			X
(3) Facilitate the adjustment of new residents, especially recently arrived immigrants, into Hawai'i's communities.			X
(4) Promote alternatives to institutional care in the provision of long-term care for elder and disabled populations.			X
(5) Support public and private efforts to prevent domestic abuse and child molestation, and assist victims of abuse and neglect.			X
(6) Promote programs which assist people in need of family planning services to enable them to meet their needs.			X
Discussion: The proposed 10 Kamani Kai Place project has no relationship to planning for the State's socio-cultural advancement with regard to social services.			
HRS § 226-23: Objective and policies for socio-cultural advancement – leisure.			
(a) Objective: <i>Planning for the State's socio-cultural advancement with regard to leisure shall be directed towards the achievement of the objective of the adequate provision of resources to accommodate diverse cultural, artistic, and recreational needs for present and future generations.</i>			
(b) Policies:			
(1) Foster and preserve Hawai'i's multi-cultural heritage through supportive cultural, artistic, recreational, and humanities-oriented programs and activities.			X
(2) Provide a wide range of activities and facilities to fulfill the cultural, artistic, and recreational needs of all diverse and special groups effectively and efficiently.			X
(3) Enhance the enjoyment of recreational experiences through safety and security measures, educational opportunities, and improved facility design and maintenance.			X
(4) Promote the recreational and educational potential of natural resources having scenic, open space, cultural, historical, geological, or biological values while ensuring that their inherent values are preserved.			X
(5) Ensure opportunities for everyone to use and enjoy Hawai'i's recreational resources.			X
(6) Assure the availability of sufficient resources to provide for future cultural, artistic, and recreational needs.			X
(7) Provide adequate and accessible physical fitness programs to promote the physical and mental well-being of Hawai'i's people.			X
(8) Increase opportunities for appreciation and participation in the creative arts, including the literary, theatrical, visual, musical, folk, and traditional art forms.			X
(9) Encourage the development of creative expression in the artistic disciplines to enable all segments of Hawai'i's population to participate in the creative arts.			X
(10) Assure adequate access to significant natural and cultural resources in public ownership.			X
Discussion: The proposed Project has no relationship to planning for the State's socio-cultural advancement with regard to leisure, however, the proposed 10 Kamani Kai Place project will not hinder lateral access along the shoreline or use of the beach fronting the Property for sunbathing, boating, diving, sailing, snorkeling, board surfing, bodysurfing, and swimming.			
HRS § 226-24: Objective and policies for socio-cultural advancement – individual rights and personal well-being.			
(a) Objective: <i>Planning for the State's socio-cultural advancement with regard to individual rights and personal well-being shall be directed towards achievement of the objective of increased opportunities and protection of individual rights to enable individuals to fulfill their socio-economic needs and aspirations.</i>			

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(b) Policies:			
(1) Provide effective services and activities that protect individuals from criminal acts and unfair practices and that alleviate the consequences of criminal acts in order to foster a safe and secure environment.			X
(2) Uphold and protect the national and state constitutional rights of every individual.			X
(3) Assure access to, and availability of, legal assistance, consumer protection, and other public services which strive to attain social justice.			X
(4) Ensure equal opportunities for individual participation in society.			X
Discussion: The proposed 10 Kamani Kai Place project has no relationship to planning for the State's socio-cultural advancement with regard individual rights and personal well-being.			
HRS § 226-25: Objective and policies for socio-cultural advancement – culture.			
(a) Objective: Planning for the State's socio-cultural advancement with regard to culture shall be directed toward the achievement of the objective of enhancement of cultural identities, traditions, values, customs, and arts of Hawai'i's people.			
(b) Policies:			
(1) Foster increased knowledge and understanding of Hawai'i's ethnic and cultural heritages and the history of Hawai'i.			X
(2) Support activities and conditions that promote cultural values, customs, and arts that enrich the lifestyles of Hawai'i's people and which are sensitive and responsive to family and community needs.			X
(3) Encourage increased awareness of the effects of proposed public and private actions on the integrity and quality of cultural and community lifestyles in Hawai'i.			X
(4) Encourage the essence of the aloha spirit in people's daily activities to promote harmonious relationships among Hawai'i's people and visitors.			X
Discussion: The proposed 10 Kamani Kai Place project has no relationship to planning for the State's socio-cultural advancement with regard to culture.			
HRS § 226-26: Objectives and policies for socio-cultural advancement – public safety.			
Objectives: Planning for the State's socio-cultural advancement with regard to public safety shall be directed towards the achievement of the following objectives:			
(1) Assurance of public safety and adequate protection of life and property for all people.			X
(2) Optimum organizational readiness and capability in all phases of emergency management to maintain the strength, resources, and social and economic well-being of the community in the event of civil disruptions, wars, natural disasters, and other major disturbances.			X
(3) Promotion of a sense of community responsibility for the welfare and safety of Hawai'i's people.			X
(b) Policies related to public safety:			
(1) Ensure that public safety programs are effective and responsive to community needs.			X
(2) Encourage increased community awareness and participation in public safety programs.			X
(c) Policies related to criminal justice:			
(1) Support criminal justice programs aimed at preventing and curtailing criminal activities.			X
(2) Develop a coordinated, systematic approach to criminal justice administration among all criminal justice agencies.			X
(3) Provide a range of correctional resources which may include facilities and alternatives to traditional incarceration in order to address the varied security needs of the community and successfully reintegrate offenders into the community.			X
(d) Policies related to emergency management:			
(1) Ensure that responsible organizations are in a proper state of readiness to respond to major war-related, natural, or technological disasters and civil disturbances at all times.			X
(2) Enhance the coordination between emergency management programs throughout the State.			X

HAWAI'I STATE PLAN, CHAPTER 226, HRS – PART I. OVERALL THEME, GOALS, OBJECTIVES AND POLICIES (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
Discussion: The proposed 10 Kamani Kai Place project has no relationship to planning for the State's socio-cultural advancement with regard to public safety.			
HRS § 226-27: Objectives and policies for socio-cultural advancement – government.			
<i>(a) Objectives: Planning the State's socio-cultural advancement with regard to government shall be directed towards the achievement of the following objectives:</i>			
(1) Efficient, effective, and responsive government services at all levels in the State.			X
(2) Fiscal integrity, responsibility, and efficiency in the state government and county governments.			X
<i>(b) Policies:</i>			
(1) Provide for necessary public goods and services not assumed by the private sector.			X
(2) Pursue an openness and responsiveness in government that permits the flow of public information, interaction, and response.			X
(3) Minimize the size of government to that necessary to be effective.			X
(4) Stimulate the responsibility in citizens to productively participate in government for a better Hawai'i.			X
(5) Assure that government attitudes, actions, and services are sensitive to community needs and concerns.			X
(6) Provide for a balanced fiscal budget.			X
(7) Improve the fiscal budgeting and management system of the State.			X
(8) Promote the consolidation of state and county governmental functions to increase the effective and efficient delivery of government programs and services and to eliminate duplicative services wherever feasible.			X
Discussion: The proposed 10 Kamani Kai Place project has no relationship to planning for the State's socio-cultural advancement with regard to government.			

5.1.3.2 Hawai'i State Plan, Part II: Planning Coordination and Implementation

Part II of the State Plan establishes a statewide planning system to coordinate and guide all major state and county activities and to implement the overall theme, goals, objectives, policies, and priority guidelines. The system implements the State Plan through the development of functional plans and county general plans. Functional plans, general plans, and the formulation, administration, and implementation of state programs must be in conformance with the State Plan.

- **State Functional Plans**

State Functional Plans (SFPs) set forth the policies, statewide guidelines, and priorities within a specific field of activity, when such activity or program is proposed, administered, or funded by any agency of the state. Functional plans are developed by the state agency primarily responsible for a given functional area, which include: Agriculture, Conservation Lands, Education, Employment, Energy, Health, Higher Education, Historic Preservation, Housing, Human Services, Recreation, Tourism, and Transportation. Functional plans must identify priority issues in the functional area and contain objectives, policies, and implementing actions to address those priority issues. Actions may include organizational or management initiatives, facility or physical infrastructure development initiatives, initiatives for programs and services, or legislative proposals. Functional plans are approved by the governor and serve as guidelines for funding and implementation by state and county agencies. In addition, functional plans shall be used to guide the allocation of resources for the implementation of state policies adopted by the legislature. The Hawai'i State Plan on Housing was last updated in February 2017. The State Housing Functional

Plan (2017) provides specific strategies, policies and priority actions to address the housing shortage in Hawai‘i, as such, it is not relevant to the proposed 10 Kamani Kai Place.

• **County General Plan**

As established in the Part II of the State Plan, a statewide planning system implements the State Plan through the development of SFPs and county general plans. The applicable county general plan is the O‘ahu General Plan, which is discussed in section 5.2.1 of this EA below.

5.1.3.3 Hawai‘i State Plan, Part III: *Priority Guidelines*

Table 6: Hawai‘i State Plan, Chapter 226, HRS – Part III

HAWAI‘I STATE PLAN, CHAPTER 226, HRS – PART III. PRIORITY GUIDELINES (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
HRS § 226-101: Purpose. <i>The purpose of this part is to establish overall priority guidelines to address areas of statewide concern.</i>			
HRS § 226-102: Overall direction. <i>The State shall strive to improve the quality of life for Hawai‘i’s present and future present and future population through the pursuit of desirable courses of action in five major areas of statewide concern which merit priority attention: economic development, population growth and land resource management, affordable housing, crime and criminal justice, quality education, principles of sustainability, and climate change adaptation.</i>			
HRS § 226-103: Economic priority guidelines.			
(a) Priority guidelines to stimulate economic growth and encourage business expansion and development to provide needed jobs for Hawai‘i’s people and achieve a stable and diversified economy:			
(1) Seek a variety of means to increase the availability of investment capital for new and expanding enterprises.			X
(A) Encourage investments which:			
(i) Reflect long term commitments to the State;			X
(ii) Rely on economic linkages within the local economy;			X
(iii) Diversify the economy;			X
(iv) Reinvest in the local economy;			X
(v) Are sensitive to community needs and priorities; and			X
(vi) Demonstrate a commitment to provide management opportunities to Hawai‘i residents; and			X
(B) Encourage investments in innovative activities that have a nexus to the State, such as:			
(i) Present or former residents acting as entrepreneurs or principals;			X
(ii) Academic support from an institution of higher education in Hawai‘i;			X
(iii) Investment interest from Hawai‘i residents;			X
(iv) Resources unique to Hawai‘i that are required for innovative activity; and			X
(v) Complementary or supportive industries or government programs or projects.			X
(2) Encourage the expansion of technological research to assist industry development and support the development and commercialization of technological advancements.			X
(3) Improve the quality, accessibility, and range of services provided by government to business, including data and reference services and assistance in complying with governmental regulations.			X
(4) Seek to ensure that state business tax and labor laws and administrative policies are equitable, rational, and predictable.			X
(5) Streamline the processes for building and development permit and review and telecommunication infrastructure installation approval and eliminate or consolidate other burdensome or duplicative governmental requirements imposed on business, where scientific evidence indicates that public health, safety, and welfare would not be adversely affected.			X

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(6) Encourage the formation of cooperatives and other favorable marketing or distribution arrangements at the regional or local level to assist Hawai'i's small-scale producers, manufacturers, and distributors.			X
(7) Continue to seek legislation to protect Hawai'i from transportation interruptions between Hawai'i and the continental United States.			X
(8) Provide public incentives and encourage private initiative to develop and attract industries which promise long-term growth potentials and which have the following characteristics:			
(A) An industry that can take advantage of Hawai'i's unique location and available physical and human resources.			X
(B) A clean industry that would have minimal adverse effects on Hawai'i's environment.			X
(C) An industry that is willing to hire and train Hawai'i's people to meet the industry's labor needs at all levels of employment.			X
(D) An industry that would provide reasonable income and steady employment.			X
(9) Support and encourage, through educational and technical assistance programs and other means, expanded opportunities for employee ownership and participation in Hawai'i business.			X
(10) Enhance the quality of Hawai'i's labor force and develop and maintain career opportunities for Hawai'i's people through the following actions:			
(A) Expand vocational training in diversified agriculture, aquaculture, information industry, and other areas where growth is desired and feasible.			X
(B) Encourage more effective career counseling and guidance in high schools and post-secondary institutions to inform students of present and future career opportunities.			X
(C) Allocate educational resources to career areas where high employment is expected and where growth of new industries is desired.			X
(D) Promote career opportunities in all industries for Hawai'i's people by encouraging firms doing business in the State to hire residents.			X
(E) Promote greater public and private sector cooperation in determining industrial training needs and in developing relevant curricula and on-the-job training opportunities.			X
(F) Provide retraining programs and other support services to assist entry of displaced workers into alternative employment.			X
(b) Priority guidelines to promote the economic health and quality of the visitor industry:			
(1) Promote visitor satisfaction by fostering an environment which enhances the Aloha Spirit and minimizes inconveniences to Hawai'i's residents and visitors.			X
(2) Encourage the development and maintenance of well-designed, adequately serviced hotels and resort destination areas which are sensitive to neighboring communities and activities and which provide for adequate shoreline setbacks and beach access.			X
(3) Support appropriate capital improvements to enhance the quality of existing resort destination areas and provide incentives to encourage investment in upgrading, repair, and maintenance of visitor facilities.			X
(4) Encourage visitor industry practices and activities which respect, preserve, and enhance Hawai'i's significant natural, scenic, historic, and cultural resources.			X
(5) Develop and maintain career opportunities in the visitor industry for Hawai'i's people, with emphasis on managerial positions.			X
(6) Support and coordinate tourism promotion abroad to enhance Hawai'i's share of existing and potential visitor markets.			X
(7) Maintain and encourage a more favorable resort investment climate consistent with the objectives of this chapter.			X
(8) Support law enforcement activities that provide a safer environment for both visitors and residents alike.			X
(9) Coordinate visitor industry activities and promotions to business visitors through the state network of advanced data communication techniques.			X
(c) Priority guidelines to promote the continued viability of the sugar and pineapple industries:			

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(1) Provide adequate agricultural lands to support the economic viability of the sugar and pineapple industries.			X
(2) Continue efforts to maintain federal support to provide stable sugar prices high enough to allow profitable operations in Hawai'i.			X
(3) Support research and development, as appropriate, to improve the quality and production of sugar and pineapple crops.			X
(d) Priority guidelines to promote the growth and development of diversified agriculture and aquaculture:			
(1) Identify, conserve, and protect agricultural and aquacultural lands of importance and initiate affirmative and comprehensive programs to promote economically productive agricultural and aquacultural uses of such lands.			X
(2) Assist in providing adequate, reasonably priced water for agricultural activities.			X
(3) Encourage public and private investment to increase water supply and to improve transmission, storage, and irrigation facilities in support of diversified agriculture and aquaculture.			X
(4) Assist in the formation and operation of production and marketing associations and cooperatives to reduce production and marketing costs.			X
(5) Encourage and assist with the development of a waterborne and airborne freight and cargo system capable of meeting the needs of Hawai'i's agricultural community.			X
(6) Seek favorable freight rates for Hawai'i's agricultural products from interisland and overseas transportation operators.			X
(7) Encourage the development and expansion of agricultural and aquacultural activities which offer long-term economic growth potential and employment opportunities.			X
(8) Continue the development of agricultural parks and other programs to assist small independent farmers in securing agricultural lands and loans.			X
(9) Require agricultural uses in agricultural subdivisions and closely monitor the uses in these subdivisions.			X
(10) Support the continuation of land currently in use for diversified agriculture.			X
(11) Encourage residents and visitors to support Hawai'i's farmers by purchasing locally grown food and food products.			X
(e) Priority guidelines for water use and development:			
(1) Maintain and improve water conservation programs to reduce the overall water consumption rate.			X
(2) Encourage the improvement of irrigation technology and promote the use of nonpotable water for agricultural and landscaping purposes.			X
(3) Increase the support for research and development of economically feasible alternative water sources.			X
(4) Explore alternative funding sources and approaches to support future water development programs and water system improvements.			X
(f) Priority guidelines for energy use and development:			
(1) Encourage the development, demonstration, and commercialization of renewable energy sources.			X
(2) Initiate, maintain, and improve energy conservation programs aimed at reducing energy waste and increasing public awareness of the need to conserve energy.			X
(3) Provide incentives to encourage the use of energy conserving technology in residential, industrial, and other buildings.			X
(4) Encourage the development and use of energy conserving and cost-efficient transportation systems.			X
(g) Priority guidelines to promote the development of the information industry:			
(1) Establish an information network, with an emphasis on broadband and wireless infrastructure and capability, that will serve as the foundation of and catalyst for overall economic growth and diversification in Hawai'i.			X
(2) Encourage the development of services such as financial data processing, a products and services exchange, foreign language translations, telemarketing, teleconferencing, a			X

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twenty-four-hour international stock exchange, international banking, and a Pacific Rim management center.			
(3) Encourage the development of small businesses in the information field such as software development, the development of new information systems, peripherals, and applications; data conversion and data entry services; and home or cottage services such as computer programming, secretarial, and accounting services.			X
(4) Encourage the development or expansion of educational and training opportunities for residents in the information and telecommunications fields.			X
(5) Encourage research activities, including legal research in the information and telecommunications fields.			X
(6) Support promotional activities to market Hawai'i's information industry services.			X
(7) Encourage the location or co-location of telecommunication or wireless information relay facilities in the community, including public areas, where scientific evidence indicates that the public health, safety, and welfare would not be adversely affected.			X
Discussion: Although the proposed 10 Kamani Kai Place project will generate construction employment, it will not have a significant impact on the overall state economy.			
HRS § 226-104: Population growth and land resources priority guidelines.			
(a) Priority guidelines to effect desired statewide growth and distribution:			
(1) Encourage planning and resource management to insure that population growth rates throughout the State are consistent with available and planned resource capacities and reflect the needs and desires of Hawai'i's people.			X
(2) Manage a growth rate for Hawai'i's economy that will parallel future employment needs for Hawai'i's people.			X
(3) Ensure that adequate support services and facilities are provided to accommodate the desired distribution of future growth throughout the State.			X
(4) Encourage major state and federal investments and services to promote economic development and private investment to the neighbor islands, as appropriate.			X
(5) Explore the possibility of making available urban land, low-interest loans, and housing subsidies to encourage the provision of housing to support selective economic and population growth on the neighbor islands.			X
(6) Seek federal funds and other funding sources outside the State for research, program development, and training to provide future employment opportunities on the neighbor islands.			X
(7) Support the development of high technology parks on the neighbor islands.			X
(b) Priority guidelines for regional growth distribution and land resource utilization:			
(1) Encourage urban growth primarily to existing urban areas where adequate public facilities are already available or can be provided with reasonable public expenditures, and away from areas where other important benefits are present, such as protection of important agricultural land or preservation of lifestyles.			X
(2) Make available marginal or nonessential agricultural lands for appropriate urban uses while maintaining agricultural lands of importance in the agricultural district.			X
(3) Restrict development when drafting of water would result in exceeding the sustainable yield or in significantly diminishing the recharge capacity of any groundwater area.			X
(4) Encourage restriction of new urban development in areas where water is insufficient from any source for both agricultural and domestic use.			X
(5) In order to preserve green belts, give priority to state capital-improvement funds which encourage location of urban development within existing urban areas except where compelling public interest dictates development of a noncontiguous new urban core.			X
(6) Seek participation from the private sector for the cost of building infrastructure and utilities, and maintaining open spaces.			X
(7) Pursue rehabilitation of appropriate urban areas.			X
(8) Support the redevelopment of Kaka'ako into a viable residential, industrial, and commercial community.			X

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(9) Direct future urban development away from critical environmental areas or impose mitigating measures so that negative impacts on the environment would be minimized.			X
(10) Identify critical environmental areas in Hawai‘i to include but not be limited to the following: watershed and recharge areas; wildlife habitats (on land and in the ocean); areas with endangered species of plants and wildlife; natural streams and water bodies; scenic and recreational shoreline resources; open space and natural areas; historic and cultural sites; areas particularly sensitive to reduction in water and air quality; and scenic resources.	X		
(11) Identify all areas where priority should be given to preserving rural character and lifestyle.			X
(12) Utilize Hawai‘i’s limited land resources wisely, providing adequate land to accommodate projected population and economic growth needs while ensuring the protection of the environment and the availability of the shoreline, conservation lands, and other limited resources for future generations.			X
(13) Protect and enhance Hawai‘i’s shoreline, open spaces, and scenic resources.			X
Discussion: Not directly applicable, but by maintaining the parcel’s “Urban” State Land Use Boundary and County zoning R-10 Residential land use designations, and use for a single-family residence, the 10 Kamani Kai Place project is in consonance with both State and County plans for population growth and land resources.			
HRS § 226-105: Crime and criminal justice.			
Priority guidelines in the area of crime and criminal justice:			
(1) Support law enforcement activities and other criminal justice efforts that are directed to provide a safer environment.			X
(2) Target state and local resources on efforts to reduce the incidence of violent crime and on programs relating to the apprehension and prosecution of repeat offenders.			X
(3) Support community and neighborhood program initiatives that enable residents to assist law enforcement agencies in preventing criminal activities.			X
(4) Reduce overcrowding or substandard conditions in correctional facilities through a comprehensive approach among all criminal justice agencies which may include sentencing law revisions and use of alternative sanctions other than incarceration for persons who pose no danger to their community.			X
(5) Provide a range of appropriate sanctions for juvenile offenders, including community-based programs and other alternative sanctions.			X
(6) Increase public and private efforts to assist witnesses and victims of crimes and to minimize the costs of victimization.			X
Discussion: The proposed 10 Kamani Kai Place project has no direct relationship to priority guidelines in the area of crime and criminal justice.			
HRS § 226-106: Affordable housing.			
Priority guidelines for the provision of affordable housing:			
(1) Seek to use marginal or nonessential agricultural land and public land to meet housing needs of low- and moderate-income and gap-group households.			X
(2) Encourage the use of alternative construction and development methods as a means of reducing production costs.			X
(3) Improve information and analysis relative to land availability and suitability for housing.			X
(4) Create incentives for development which would increase home ownership and rental opportunities for Hawai‘i’s low- and moderate-income households, gap-group households, and residents with special needs.			X
(5) Encourage continued support for government or private housing programs that provide low interest mortgages to Hawai‘i’s people for the purchase of initial owner-occupied housing.			X
(6) Encourage public and private sector cooperation in the development of rental housing alternatives.			X
(7) Encourage improved coordination between various agencies and levels of government to deal with housing policies and regulations.			X

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(8) Give higher priority to the provision of quality housing that is affordable for Hawai'i's residents and less priority to development of housing intended primarily for individuals outside of Hawai'i.			X
Discussion: The proposed Project has no direct relationship to priority guidelines for the provision of or trigger requirements for affordable housing.			
HRS § 226-107: Quality education.			
<i>Priority guidelines to promote quality education:</i>			
(1) Pursue effective programs which reflect the varied district, school, and student needs to strengthen basic skills achievement;			X
(2) Continue emphasis on general education "core" requirements to provide common background to students and essential support to other university programs;			X
(3) Initiate efforts to improve the quality of education by improving the capabilities of the education work force;			X
(4) Promote increased opportunities for greater autonomy and flexibility of educational institutions in their decision-making responsibilities;			X
(5) Increase and improve the use of information technology in education by the availability of telecommunications equipment for:			
(A) The electronic exchange of information;			X
(B) Statewide electronic mail; and			X
(C) Access to the Internet.			X
<i>Encourage programs that increase the public's awareness and understanding of the impact of information technologies on our lives;</i>			X
(6) Pursue the establishment of Hawai'i's public and private universities and colleges as research and training centers of the Pacific;			X
(7) Develop resources and programs for early childhood education;			X
(8) Explore alternatives for funding and delivery of educational services to improve the overall quality of education; and			X
(9) Strengthen and expand educational programs and services for students with special needs.			X
Discussion: The proposed Project has no direct relationship to priority guidelines to promote quality education.			
HRS § 226-108: Sustainability.			
<i>Priority guidelines and principles to promote sustainability shall include:</i>			
(1) Encouraging balanced economic, social, community, and environmental priorities;			X
(2) Encouraging planning that respects and promotes living within the natural resources and limits of the State;			X
(3) Promoting a diversified and dynamic economy;			X
(4) Encouraging respect for the host culture;			X
(5) Promoting decisions based on meeting the needs of the present without compromising the needs of future generations			X
(6) Considering the principles of the ahupua'a system; and			X
(7) Emphasizing that everyone, including individuals, families, communities, businesses, and government, has the responsibility for achieving a sustainable Hawai'i.			X
Discussion: The proposed 10 Kamani Kai Place project has no direct relationship to priority guidelines and principles to promote economic, social, community and environmental sustainability.			
HRS § 226-109: Climate change adaptation priority guidelines.			
<i>Priority guidelines to prepare the State to address the impacts of climate change, including impacts to the areas of agriculture; conservation lands; coastal and nearshore marine areas; natural and cultural resources; education; energy; higher education; health; historic preservation; water resources; the built environment, such as housing, recreation, transportation; and the economy shall:</i>			
(1) Ensure that Hawai'i's people are educated, informed, and aware of the impacts climate change may have on their communities;	X		

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(2) Encourage community stewardship groups and local stakeholders to participate in planning and implementation of climate change policies;			X
(3) Invest in continued monitoring and research of Hawai'i's climate and the impacts of climate change on the State;			X
(4) Consider native Hawaiian traditional knowledge and practices in planning for the impacts of climate change;			X
(5) Encourage the preservation and restoration of natural landscape features, such as coral reefs, beaches and dunes, forests, streams, floodplains, and wetlands, that have the inherent capacity to avoid, minimize, or mitigate the impacts of climate change;			X
(6) Explore adaptation strategies that moderate harm or exploit beneficial opportunities in response to actual or expected climate change impacts to the natural and built environments;			X
(7) Promote sector resilience in areas such as water, roads, airports, and public health, by encouraging the identification of climate change threats, assessment of potential consequences, and evaluation of adaptation options;			X
(8) Foster cross-jurisdictional collaboration between county, state, and federal agencies and partnerships between government and private entities and other nongovernmental entities, including nonprofit entities;			X
(9) Use management and implementation approaches that encourage the continual collection, evaluation, and integration of new information and strategies into new and existing practices, policies, and plans; and			X
(10) Encourage planning and management of the natural and built environments that effectively integrate climate change policy.			X
Discussion: No portion of the Property would be located inside the 3.2-foot SLR-XA as modeled by the University of Hawai'i CGG. According to NOAA's Digital Coast Sea Level Rise Viewer (Figure 11), no portion of the buildable area within Property is expected to be affected sea level rise inundation (NOAA, n.d.).			

5.1.4 State Environmental Policy, Chapter 344, Hawai'i Revised Statutes

The State Environmental Policy, as defined in Chapter 344, HRS, establishes the policy of the State of Hawai'i on natural resource conservation and the environment. The Project's consistency with the State Environmental Policy is outlined in the table below:

Table 7: State Environmental Policy, Chapter 344, HRS

State Environmental Policy, Chapter 344, Hawai'i Revised Statutes (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
State Environmental Policy			
<i>§344-3 Environmental policy. It shall be the policy of the State, through its programs, authorities, and resources to:</i>			
(1) Conserve the natural resources, so that land, water, mineral, visual, air and other natural resources are protected by controlling pollution, by preserving or augmenting natural resources, and by safeguarding the State's unique natural environmental characteristics in a manner which will foster and promote the general welfare, create and maintain conditions under which humanity and nature can exist in productive harmony, and fulfill the social, economic, and other requirements of the people of Hawai'i.			X
<i>(2) Enhance the quality of life by:</i>			
(A) Setting population limits so that the interaction between the natural and artificial environments and the population is mutually beneficial;			X
(B) Creating opportunities for the residents of Hawai'i to improve their quality of life through diverse economic activities which are stable and in balance with the physical and social environments;			X

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State Environmental Policy, Chapter 344, Hawai'i Revised Statutes (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
(C) Establishing communities which provide a sense of identity, wise use of land, efficient transportation, and aesthetic and social satisfaction in harmony with the natural environment which is uniquely Hawaiian; and			X
(D) Establishing a commitment on the part of each person to protect and enhance Hawai'i's environment and reduce the drain on nonrenewable resources.			X
Discussion: The proposed 10 Kamani Kai Place project is located within the State Urban Land Use District boundaries and will not involve State Conservation lands.			
Guidelines			
<i>§344-4 Guidelines. In pursuance of the state policy to conserve the natural resources and enhance the quality of life, all agencies, in the development of programs, shall, insofar as practicable, consider the following guidelines:</i>			
(1) Population.			
(A) Recognize population impact as a major factor in environmental degradation and adopt guidelines to alleviate this impact and minimize future degradation;			X
(B) Recognize optimum population levels for counties and districts within the State, keeping in mind that these will change with technology and circumstance, and adopt guidelines to limit population to the levels determined.			X
Discussion: The proposed Project will not significantly increase the population of the State.			
(2) Land, water, mineral, visual, air, and other natural resources.			
(A) Encourage management practices which conserve and fully utilize all natural resources;			X
(B) Promote irrigation and waste water management practices which conserve and fully utilize vital water resources;			X
(C) Promote the recycling of waste water;			X
(D) Encourage management practices which conserve and protect watersheds and water sources, forest, and open space areas;			X
(E) Establish and maintain natural area preserves, wildlife preserves, forest reserves, marine preserves, and unique ecological preserves;			X
(F) Maintain an integrated system of state land use planning which coordinates the state and county general plans;			X
(G) Promote the optimal use of solid wastes through programs of waste prevention, energy resource recovery, and recycling so that all our wastes become utilized.			X
Discussion: The proposed 10 Kamani Kai Place project has no direct relationship to the State's guidelines for land, water, mineral, visual, air, and other natural resources, other than that the proposed residence will be set back a minimum of 60 feet from the shoreline and it will not disrupt lateral views along the beach.			
(3) Flora and fauna.			
(A) Protect endangered species of indigenous plants and animals and introduce new plants or animals only upon assurance of negligible ecological hazard;	X		
(B) Foster the planting of native as well as other trees, shrubs, and flowering plants compatible to the enhancement of our environment.	X		
Discussion: The Property is not in any critical habitat areas, and is anticipated to have no impact on endangered species.			
(4) Parks, recreation, and open space.			
(A) Establish, preserve and maintain scenic, historic, cultural, park and recreation areas, including the shorelines, for public recreational, educational, and scientific uses;	X		
(B) Protect the shorelines of the State from encroachment of artificial improvements, structures, and activities;	X		
(C) Promote open space in view of its natural beauty not only as a natural resource but as an ennobling, living environment for its people.	X		
Discussion: The proposed Project will be set back a minimum of 60 feet from the shoreline and it will not disrupt lateral views along the beach.			

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State Environmental Policy, Chapter 344, Hawai'i Revised Statutes (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
(5) Economic development.			
(A) Encourage industries in Hawai'i which would be in harmony with our environment;			X
(B) Promote and foster the agricultural industry of the State; and preserve and conserve productive agricultural lands;			X
(C) Encourage federal activities in Hawai'i to protect the environment;			X
(D) Encourage all industries including the fishing, aquaculture, oceanography, recreation, and forest products industries to protect the environment;			X
(E) Establish visitor destination areas with planning controls which shall include but not be limited to the number of rooms;			X
(F) Promote and foster the aquaculture industry of the State; and preserve and conserve productive aquacultural lands.			X
Discussion: The proposed 10 Kamani Kai Place project is not directly related to the State's guidelines for economic development.			
(6) Transportation.			
(A) Encourage transportation systems in harmony with the lifestyle of the people and environment of the State;			X
(B) Adopt guidelines to alleviate environmental degradation caused by motor vehicles;			X
(C) Encourage public and private vehicles and transportation systems to conserve energy, reduce pollution emission, including noise, and provide safe and convenient accommodations for their users.	X		
Discussion: The proposed 10 Kamani Kai Place project is not directly related to the State's guidelines for transportation, however, with time, the Applicant's personal vehicles have become more energy-efficient.			
(7) Energy.			
(A) Encourage the efficient use of energy resources.	X		
Discussion: Energy-saving features will be incorporated into the design of the 10 Kamani Kai Place project where feasible, including: <ul style="list-style-type: none"> - Photovoltaic panel system with battery backup; - LED lighting; - Installation of high-performance glazing (insulated with low-E coating) in the windows and doors, as well as other passive cooling strategies. 			
(8) Community life and housing.			
(A) Foster lifestyles compatible with the environment; preserve the variety of lifestyles traditional to Hawai'i through the design and maintenance of neighborhoods which reflect the culture and mores of the community;			X
(B) Develop communities which provide a sense of identity and social satisfaction in harmony with the environment and provide internal opportunities for shopping, employment, education, and recreation;			X
(C) Encourage the reduction of environmental pollution which may degrade a community;			X
(D) Foster safe, sanitary, and decent homes;			X
(E) Recognize community appearances as major economic and aesthetic assets of the counties and the State; encourage green belts, plantings, and landscape plans and designs in urban areas; and preserve and promote mountain-to-ocean vistas.			X
Discussion: The proposed Project is not directly related to the State's guidelines for community life and housing, however, the proposed residences will not be a "monster home" and will meet the current needs of the Applicant.			
(9) Education and culture.			
(A) Foster culture and the arts and promote their linkage to the enhancement of the environment;			X
(B) Encourage both formal and informal environmental education to all age groups.			X
Discussion: The proposed 10 Kamani Kai Place project is not directly related to the State's guidelines for education and culture.			

State Environmental Policy, Chapter 344, Hawai‘i Revised Statutes (Key: S = Supportive, N/S = Not Supportive, N/A = Not Applicable)	S	N/S	N/A
(10) Citizen participation.			
(A) Encourage all individuals in the State to adopt a moral ethic to respect the natural environment; to reduce waste and excessive consumption; and to fulfill the responsibility as trustees of the environment for the present and succeeding generations; and			X
(B) Provide for expanding citizen participation in the decision making process so it continually embraces more citizens and more issues.	X		
Discussion: This EA discusses potential impacts and mitigation measures of the proposed 10 Kamani Kai Place project and will provide an opportunity for citizen input during the Draft EA Public Comment period.			

5.2 CITY AND COUNTY OF HONOLULU

During the pre-Assessment consultation process, the DPP wrote that the Draft EA should address the Project’s consistency with the relevant policies of the O‘ahu General Plan and the KPSCP, as well as development standards applicable to the R-10 Residential District.

5.2.1 O‘ahu General Plan

The O‘ahu General Plan is the policy document for the long-range development of the Island of O‘ahu. The O‘ahu General Plan is a statement of general conditions to be sought in the 20 year planning horizon and policies to help direct attainment of the plan’s objectives. Specific General Plan goals and policies applicable to the proposed 10 Kamani Kai Place project are discussed below.

Natural Environment

Objective B – *To preserve and enhance the natural monuments and scenic views of Oahu for the benefit of both residents and visitors.*

Policies:

- (1) Protect the Island’s well-known resources: its mountains and craters; forests and watershed areas; marshes, rivers, and streams; shoreline, fishponds, and bays; and reefs and offshore islands.
- (2) Protect O‘ahu’s scenic views, especially those seen from highly developed and heavily traveled areas.
- (4) Provide opportunities for recreational and educational use and physical contact with O‘ahu’s natural environment.

Discussion: The proposed Project will be setback from the shoreline by a minimum of 60 feet and will not obstruct public views along the shoreline, ensuring that the quality of existing coastal scenic and open space resources will be minimally impacted. Implementation of the proposed 10 Kamani Kai Place project will not obstruct lateral views along the shoreline.

The primary water activities at Kailua Beach include sunbathing, boating, diving, sailing, snorkeling, board surfing, bodysurfing, and swimming. The proposed 10 Kamani Kai Place project is not anticipated to displace any existing recreational facilities or create any additional demand on recreational facilities in the vicinity of the Property.

5.2.2 Ko‘olau Poko Sustainable Communities Plan

The City and County of Honolulu has adopted the KPSCP as one of eight community-oriented plans to guide public policy, investment and decision making through the 2025 planning horizon. The document contains policies and planning maps specific to Ko‘olau Poko region. The Property is designated as being located within the Low-Density Residential land use area, within the Community Growth Boundary (CGB). These land use designations, policies, principles, and guidelines are then implemented through ordinances such as the LUO (zoning code). The KPSCP makes the following references to the CGB:

Community Growth Boundary:

“The Community Growth Boundary (CGB) is intended to define and contain the extent of developed or “built” areas of Ko‘olau Poko’s urban fringe and rural communities. Its purpose is to provide an adequate supply of land to support the region’s established suburban and rural communities while protecting lands outside the boundary for agricultural and open space preservation values. Areas within the CGB are generally characterized by significant tracts of residential, commercial, industrial or mixed-use development, and smaller, more dispersed, less intensively developed residential communities and towns areas that are clearly distinguishable from the unbuilt or more “natural” portions of the region. Each generation should re-evaluate the relevance of the boundary in light of their own time.

Discussion: The proposed 10 Kamani Kai Place project is located within the KPSCP CGB, which includes concentrations of residential in Kailua town, and involves the construction of two, attached, one-story single-family homes.

5.2.3 Land Use Ordinance

The Land Use Ordinance (LUO), Chapter 21 of the ROH, implements the goals and objectives of the General Plan and the KPSCP. All lands within the City and County of Honolulu are zoned into specific districts. According to the DPP, the Property is zoned R-10 Residential. According to the LUO Master Use Table (Table 21-3 of the LUO), “Dwellings, detached one-family” is a permitted use in the R-10 zoning district.

Discussion: The proposed 10 Kamani Kai Place project is consistent with the LUO in that it involves two, attached, single-family homes, which is a permitted use in the R-10 zoning district (which is regulated by the City and County of Honolulu).

Under the LUO, the current height limit under R-10 zoning is 25-30 feet and the maximum building area is 50 percent of the lot. According to the Project architect, Peter Vincent Architects (PVA), the proposed two, attached, single-family homes will not exceed the height limit or the maximum building area.

Table 8: Development Standards for the R-10 Residential District

Development Standards	Development Standards for R-10 Residential District	Proposed 10 Kamani Kai Residence	Comparison with Development Standards
Minimum Lot Area (in square feet) for One-family dwelling detached, and other uses	10,000 square feet	38,310 square feet	Exceeds Minimum Lot Area
Minimum Lot Area (in square feet) for Two-family dwelling detached	15,000 square feet	Not applicable, but lot is 38,310 square feet	N/A
Minimum Lot Area (in square feet) for Duplex	7,500 square feet	Not applicable, but lot is 38,310 square feet	N/A
Minimum Lot Width and Depth (feet)	65 feet	Width - 184 feet; Depth – 156 feet	Exceeds both Minimum Lot Width and Depth
Minimum Front Yard	10 feet for dwellings	Not applicable – Flag Lot	Not applicable – Flag Lot
Minimum Side and Rear Yard	Side Yard - 5 feet for portions of house less than or equal to 15 feet high; 9 feet for portions of house greater than 15 feet high, but less than 23 feet high; and 10 feet for portions of house greater than 23 feet high to 25 feet high	Side Yard – Minimum 13-foot setback Rear Yard – Minimum 15-foot setback from the property line (greater than 60 feet from the certified shoreline)	Exceeds Minimum Side and Rear Yard
Maximum Building Area	50 percent of the zoning lot	24 percent of lot	Below Maximum Building Area
Maximum Height	25 feet to 30 feet	24 feet	Does not exceed Maximum Height
Minimum Height Setbacks	Per Sec. 21-3.70-1(c) Side Yard - 5 feet for portions of house less than or equal to 15 feet	Minimum 13-foot setback with maximum 24-foot height	Exceeds Minimum Height Setbacks

Development Standards	Development Standards for R-10 Residential District	Proposed 10 Kamani Kai Residence	Comparison with Development Standards
	high; 9 feet for portions of house greater than 15 feet high, but less than 23 feet high; and 10 feet for portions of house greater than 23 feet high to 25 feet high; Rear Yard - 60 feet		

5.2.4 Special Management Area

As shown in Figure 3, the 10 Kamani Kai Place project is located in the Special Management Area (SMA). In the City and County of Honolulu, management of lands within the SMA is regulated through ROH, Chapter 25. Permit review guidelines in ROH, Chapter 25 used by DPP and the City Council are derived from Section 205A-26 HRS. Act 16 (SB2060, SD2, HD2), adopted on September 15, 2020, amended HRS Chapter 205A. The proposed 10 Kamani Kai Place project requires a SMA Use Permit – Major. Per HAR Section 25-3.3(c)(1), “Any proposed development within the special management area requiring a special management area use permit shall be subject to an assessment by the agency in accordance with the procedural steps set forth in HRS Chapter 343.” Preparation of this document is in accordance with the provisions of Chapter 343, HRS (2007) and Title 11, Chapter 200.1, HAR pertaining to EIS.

In addition to the objectives and policies of the Hawai‘i CZM Program (section 5.1.2 above), Chapter 205A-26, HRS, provides guidelines for approving development within the SMA.

During the pre-Assessment consultation process, the DPP wrote: “The Draft EA should include in its analysis all of the required components for an SMA Use Permit under both Chapter 205A, HRS as revised, and Chapter 25, ROH.”

Per DPP’s “Content Guide for Preparing an Environmental Assessment Required with an Application for a Special Management Area Use Permit,” the guidelines listed in Chapter 205A-26, HRS and ROH, Chapter 25-3.2, along with discussion of how the proposed Project conforms to these guidelines are discussed below.

(1) All development in the special management area shall be subject to reasonable terms and conditions set by the authority in order to ensure:

(A) Adequate access, by dedication or other means, to publicly owned or used beaches, recreation areas, and natural reserves is provided to the extent consistent with sound conservation principles;

(B) Adequate and properly located public recreation areas and wildlife preserves are reserved;

(C) Provisions are made for solid and liquid waste treatment, disposition, and management which will minimize adverse effects upon special management area resources; and

(D) Alterations to existing land forms and vegetation, except crops, and construction of structures shall cause minimum adverse effect to water resources and scenic and recreational amenities and minimum danger of floods, wind damage, storm surge, landslides, erosion, siltation, or failure in the event of earthquake.

Discussion: The proposed Project is located on privately-owned property, and development within the existing Property will not impact existing public access to the shoreline, publicly-owned or used beaches, recreation areas, and natural reserves. In addition, the proposed development is setback 60 feet from the shoreline and no development will occur within the shoreline setback area. The proposed Project will not result in adverse effects to water resources and scenic and recreational amenities or increase the danger of floods, wind damage, storm surge, landslides, erosion, siltation, or failure in the event of earthquake (refer to section 3.5 of this Draft EA).

Solid waste from the single-family residences along North Kalāheo Avenue is currently collected regularly by the City and County of Honolulu, with refuse collected once a week (Saturdays) and mixed recyclables collected once every other week and green waste collected every other week (on alternating weeks from mixed recyclables). Refer to section 4.7.4 for more information on solid waste.

The property sewer service is currently provided by an existing 6-inch City sewer lateral connected to an 8-inch sewer main within a utility easement which continues through Kamani Kai Place and ultimately to North Kalāheo Avenue. Refer to section 4.7.4 for more information on wastewater.

The Property is relatively flat and proposed Project will be built upon graded land. While some grading work may be required for the proposed Project, however, it will have a negligible effect on the topography of the Property and will maintain existing drainage patterns (refer to section 4.7.2). BMPs will be implemented to prevent pollution of the shoreline.

Any grading will be done in compliance with all applicable Federal, State, and County regulations and rules for erosion control including the preparation of an erosion control plan and implementation of BMPs. Temporary erosion control measures during construction will minimize soil loss and erosion hazards. BMPs may include temporary sediment basins, temporary diversion berms and swales to intercept runoff, silt fences, dust fences, inlet protection, slope protection, stabilized construction entrances and truck wash-down areas.

The proposed drainage system will consist of a subsurface drainage system which conveys storm water runoff from roof downspouts and area drains. The drainage system will discharge to drywells that will be located *mauka* of the shoreline setback. The proposed drainage system and site grading will be designed to maintain existing storm water runoff conditions. The addition of the drywells will help to improve storm water quality by intercepting sediment and debris, and reducing storm water runoff flow rates.

Construction BMPs will be designed, implemented, and maintained in compliance with the Administrative Rules, Title 20, DPP, Chapter 3 – Rules Relating to Water Quality, effective

August 16, 2017. Onsite drainage system improvements will be designed in accordance with DPP's Storm Drainage Standards, dated August 2017, as well as the current edition of the Uniform Plumbing Code. See also the discussion in section 3.4.

The Property is located within flood Zone X which is defined by the FEMA as "areas determined to be outside the 0.2% annual chance floodplain." (Refer to section 3.5.1).

(2) No development shall be approved unless the authority has first found:

(A) That the development will not have any substantial adverse environmental or ecological effect, except as such adverse effect is minimized to the extent practicable and clearly outweighed by public health, safety, or compelling public interests. Such adverse effects shall include, but not be limited to, the potential cumulative impact of individual developments, each one of which taken in itself might not have a substantial adverse effect, and the elimination of planning options;

(B) That the development is consistent with the objectives, policies, and special management area guidelines of this chapter and any guidelines enacted by the legislature; and

(C) That the development is consistent with the county general plan and zoning. Such a finding of consistency does not preclude concurrent processing where a general plan or zoning amendment may also be required.

Discussion: The proposed Project will not have substantial adverse environmental or ecological effects and will not have a cumulative impact on the environment or involve a commitment for larger actions. Section 7.0 provides detailed discussion regarding cumulative and secondary impacts, and any irreversible or irretrievable commitment of resources.

The proposed Project is consistent with the objectives, policies, and special management area guidelines as detailed in this section. In addition, the proposed Project is: 1) consistent with the O'ahu General Plan (see section 5.2.1); 2) consistent with the KPSCP (see section 5.2.2); 3) consistent with the City and County of Honolulu LUO (see section 5.2.3); and 4) surrounded by developed urban land uses (Figure 4).

(3) The authority shall seek to minimize, where reasonable:

(A) Dredging, filling or otherwise altering any bay, estuary, salt marsh, river mouth, slough or lagoon;

(B) Any development which would reduce the size of any beach or other area usable for public recreation;

(C) Any development which would reduce or impose restrictions upon public access to tidal and submerged lands, beaches, portions of rivers and streams within the special management areas and the mean high tide line where there is no beach;

(D) Any development which would substantially interfere with or detract from the line of sight toward the sea from the state highway nearest the coast; and

(E) Any development which would adversely affect water quality, existing areas of open water free of visible structures, existing and potential fisheries and fishing grounds, wildlife habitats, or potential or existing agricultural uses of land.

Discussion: The proposed Project:

- Does not involve dredging, filling or otherwise altering any bay, estuary, salt marsh, river mouth, slough or lagoon;
- Will not include any development within the shoreline setback, and thus will not:
 - o Reduce the size of any beach or other area usable for public recreation;
 - o Impose restrictions upon public access to tidal and submerged lands, beaches, portions of rivers and streams within the special management areas, and the mean high tide line where there is no beach; or
 - o Interfere with or detract from the line of sight toward the sea from the State highway nearest the coast, as the nearest State Highway is Pali Highway/Kailua Road, which is approximately one mile away from the Property.
- Will not adversely affect:
 - o Water quality because:
 - ☐ The proposed drainage system will consist of a subsurface drainage system which conveys storm water runoff from roof downspouts and area drains. The drainage system will discharge to drywells that will be located *mauka* of the shoreline setback. The proposed drainage system and site grading will be designed to maintain existing storm water runoff conditions. The addition of the drywells will help to improve storm water quality by intercepting sediment and debris, and reducing storm water runoff flow rates;
 - ☐ Construction activities will comply with all applicable Federal, State, and County regulations and rules for erosion control including the preparation of an erosion control plan and implementation of BMPs required for the NPDES permit (if needed);
 - o Existing areas of open water free of visible structures because:
 - ☐ The proposed Project will occur on land.
 - o Existing and potential fisheries and fishing grounds because:
 - ☐ Water quality will be protected as described above.
 - o Wildlife habitats because:
 - ☐ No rare, threatened, or endangered plant, mammalian, or avian species, or their habitats are present on the Project site. To minimize the potential impact that artificial lighting may have on seabirds, all lighting will be fully shielded, and construction will be limited to daytime hours. In addition, the Applicant will

observe regulations contained in HAR 13-124-3 related to prohibited activities towards wildlife (refer to section 3.6).

- o Potential or existing agricultural uses of land because:
 - The Project site has not been used for agricultural production in the past and is located in the State Land Use Urban district and City and County of Honolulu R-10 Residential zoning district.

5.2.5 Park Dedication

Under the Revised Ordinances of Honolulu (ROH) Chapter 22, dedication of land for parks and playgrounds is required for anyone wishing to subdivide land into three or more lots. The subdivision into two lots, provided neither of the lots are further subdividable, is exempt. The law applies to multiple-family development as well as conventional subdivisions. Exceptions are found under Section 22-7.4, ROH. "Subdivision" is defined in both the state and city laws and in the rules and regulations.

As part of the subdivision conditions for the proposed Project site, a Declaration of Restrictive Covenant was made on February 15, 2019, which states that if more than one residence is proposed on the property, an additional park dedication fee may be required. The declaration states:

No building shall be erected, altered, placed or permitted to remain on a Lot other than one (1) single-family dwelling, together with appurtenant garage and lanais.

In any event, if any owner of a Lot wishes to add another dwelling unit on the Lot or to further subdivide the Lot, such owner shall first submit a park dedication application to the City's Department of Planning and Permitting and pay a park dedication fee in accordance with Chapter 22, R.O.H. 1990.

As such, the Applicant will submit a park dedication application to the Department of Planning and Permitting as well as pay a park dedication fee in accordance with Chapter 22, ROH, 1990.

5.3 LIST OF REQUIRED PERMITS AND APPROVALS

Anticipated permits and approvals that may be required are outlined in Table 9, below.

Table 9: Required Permits and Approvals

AGENCY	PERMIT/APPROVAL
State of Hawai'i	
Environmental Review Program	<ul style="list-style-type: none"> Chapter 343, HRS Compliance
Department of Health	<ul style="list-style-type: none"> National Pollutant Discharge Elimination System (NPDES) Permit (if necessary) Dust Control Plan Noise Permit (if necessary)
Department of Business, Economic Development and Tourism	<ul style="list-style-type: none"> Solar Hot Water Variance
State Historic Preservation Division	<ul style="list-style-type: none"> HRS Chapter 6E Review
City and County of Honolulu	
Department of Planning and Permitting/ Honolulu City Council	<ul style="list-style-type: none"> Special Management Area Use Permit – Major Park Dedication Application
Department of Planning and Permitting	<ul style="list-style-type: none"> Environmental Assessment (in accordance with the procedural steps set forth in HRS Chapter 343) Sewer Connection Application Grading Permit (if necessary) Trenching Permit (if necessary) Occupancy Permit Building Permit (electrical, plumbing, civil) Solar Photovoltaic Permit
Department of Transportation Services	<ul style="list-style-type: none"> Street Usage Permit

6.0 ALTERNATIVES

In compliance with the provisions of Section 11-200.1-18(d)(7), HAR relating to Environmental Assessments, an environmental assessment must discuss potential alternatives to the proposed action which could attain the objectives of the action in sufficient detail to explain why they were rejected. The alternatives considered include:

6.1 NO ACTION

The no-action alternative is no change to the existing Property. This alternative would not meet the objective of the Project:

The objective of the Project is to construct two, attached, one-story, single-family homes, that: observe the development standards for R-10 zoning; exceed the minimum shoreline setback (Appendix B); and incorporate green design elements.

Under this alternative the proposed two residences will not be constructed. Without the proposed Project, the Applicant will continue to: incur costs for continuous repair and maintenance, and pay real property taxes without any benefits of enjoying the Property as a residence, while still being exposed to storm surge during more intense hurricanes (section 3.5.3).

6.2 ALTERNATIVES

Several alternatives to the proposed Project were considered, including one related to maximizing the number of residences that could be built on the Property without rezoning, as well as three general design-related alternatives:

Alternative Maximizing the Number of Residences:

- 1) Subdividing the property into two lots and building two-family dwellings or duplexes on each lot as permitted for R-10 zoned properties (yielding a total of four (4) residences vs. the proposed two attached single-family residence); and

The above alternative characterizes what has occurred on neighboring properties (the maximizing of the number of residences, given the current zoning of R-10). Maximizing the number of residences would result in similar impacts to the proposed Project, except that there would be: more traffic generated, greater demands placed on infrastructure, utilities and public services and facilities, while still in keeping with character of the surrounding neighborhood. Implementation of the above alternative would ultimately result in a greater financial return to the Applicant than the proposed Project. However, implementation of the above alternatives would not achieve many of the stated objectives of the proposed 10 Kamani Kai Place project.

Design-related Alternatives:

- 2) Maximizing the floor area as permitted for R-10 zoned properties, or 26,817 square feet (SF) on the current Property (vs. the proposed floor area of 10,298 SF, including both residences, lanais, covered walkways and pavilion);

The above-described design-related alternative would maximize the development potential of the Property. Maximizing the building area may be attractive to future buyers, if the Property were up for sale someday, but result in increasing the amount of impervious surface on the property, and increasing the amount of stormwater runoff.

Maximizing the number of residences would result in similar impacts to the proposed Project, except that there would be: more traffic generated, greater demands placed on infrastructure, utilities and public services and facilities, while still in keeping with character of the surrounding neighborhood. Implementation of any of the above alternatives and subsequent sale of the Property would likely result in a greater financial return to the Applicant than the proposed Project.

7.0 FINDINGS, SUPPORTING REASONS, AND ANTICIPATED DETERMINATION

To determine whether the proposed Project may have a significant impact on the physical and human environment, all phases and expected consequences of the proposed 10 Kamani Kai Place project have been evaluated, including potential primary, secondary, short-range, long-range, and cumulative impacts. Based on this evaluation, the Approving Agency (City and County of Honolulu, Department of Planning and Permitting) anticipates issuing a Finding of No Significant Impact (FONSI) for the 10 Kamani Kai Place. The supporting rationale for this anticipated finding is presented in this chapter.

7.1 PROBABLE IMPACT, INCLUDING CUMULATIVE IMPACTS

Cumulative impacts are impacts on the environment that result from the action when added to other past, present, and foreseeable future actions by other agencies or persons. Examples of possible cumulative impacts of a proposed action could be those related to increased traffic and greater demand on water, sanitary sewer and storm drainage capacity. In addition, cumulative impacts for single-family residences (or other residential, commercial, or public uses) located in the SMA may also include the combined effects of sea level rise, flooding, storm surge, wave action, and shoreline erosion.

The proposed Project involves the construction of two attached, one-story, single-family residences. Therefore, the 10 Kamani Kai Place project will not contribute to impacts resulting from an increase in population, such as increased demand on infrastructure, increased traffic, increased demand on public services or facilities, or an increased demand on natural resources in the vicinity of the Property. Socio-economic impacts resulting from the proposed Project are anticipated to be beneficial. Construction will generate excise taxes, employment, income taxes, and indirect economic opportunities. The proposed 10 Kamani Kai Place project may maintain or improve property values for adjoining properties, because the Property will be occupied and feel more secure (at the expense of some loss of open views). Overall, the net cumulative impact is expected to have a slightly positive effect on neighboring properties (and their families) and the broader community.

7.2 SIGNIFICANCE CRITERIA

Based upon the previous information presented in this document the proposed permitting and construction of the 10 Kamani Kai Place project will likely have no significant environmental impacts. This determination is based upon the thirteen Significance Criteria outlined in Chapter 343, HRS, as amended and Title 11 Chapter 200.1-13 HAR 1996, discussed below.

(1) Irrevocably commit a natural, cultural, or historic resource;

As of this publication, SHPD has yet to provide any formal feedback via HICRIS. However, based on conversations with SHPD, and given the prior archaeological studies conducted relative to the Kailua accretion berm, an Archaeological Inventory Survey (AIS) with subsurface testing that targets areas of proposed subsurface disturbance will be conducted prior to permit approvals.

Subsurface testing was initiated on May 12, 2022. A report on the findings of the subsurface testing will be included in the SMA Major Permit application.

Furthermore, the Applicant and its contractors will comply with all State and County laws and rules regarding the preservation of archaeological and historic sites. The construction documents will include a provision that if undocumented historic sites such as walls, platforms, pavements and mounds, or remains such as artifacts, burials, concentrations of shell or charcoal or artifacts are inadvertently encountered during construction activities, work will cease immediately in the vicinity of the find and the find will be protected. The contractor(s) will immediately contact the State Historic Preservation Division, which will assess the significance of the find and recommend appropriate mitigation measures, if necessary.

(2) Curtail the range of beneficial uses of the environment;

Given the State land use designation of Urban, the KPSCP designation of “Low Density Residential,” the Property is part of an area that has long been planned for residential use. The 10 Kamani Kai Place project will not curtail the range of beneficial uses of the environment as the Property was developed for residential use.

(3) Conflict with the State’s environmental policies or long-term environmental goals established by law;

The Environmental Policies enumerated in Chapter 344, HRS promote conservation of natural resources, and an enhanced quality of life for all citizens. As detailed in section 5.1.4 above, the proposed 10 Kamani Kai Place project does not conflict with the State’s long-term environmental policies, goals, or guidelines as expressed in Chapter 344, HRS, and will not significantly impact natural resources.

(4) Have a substantial adverse effect on the economic welfare, social welfare, or cultural practices of the community and State;

The proposed Project will have a small beneficial impact on economic welfare by providing short-term construction employment, and long-term property management and repair and maintenance employment. The proposed 10 Kamani Kai Place project is not anticipated to have any adverse effects on the social welfare or cultural practices of the community and the State.

(5) Have a substantial adverse effect on public health;

The potential temporary impacts related to noise, air or water quality during construction will be addressed through construction management practices in compliance with Federal, State and County requirements. The Applicant’s initiative to build sustainably will help to ensure that the proposed 10 Kamani Kai Place project will not negatively affect public health over the long term, and play, albeit a small role in reducing climate change.

(6) Involve adverse secondary impacts, such as population changes or effects on public facilities;

No significant increase in population is anticipated from the Project. As a result, there should be no increase in the demand for public facilities over existing conditions.

(7) Involve a substantial degradation of environmental quality;

No substantial environmental degradation is anticipated. As previously noted, it is acknowledged that there are potential temporary impacts related to noise, air or water quality during construction, but those will be addressed through construction management practices in compliance with Federal, State and County requirements.

- (8) Be individually limited but cumulatively have substantial adverse effect upon the environment, or involves a commitment for larger actions;

The proposed 10 Kamani Kai Place project involves the construction of a two, attached, one-story, single-family residences, and while there may be other homeowners along Kalāheo Avenue, who may have plans for similar proposed actions, cumulatively, the end result will be single-family homes makai of Kalāheo Avenue where such dwellings already exist. We are not aware of any plans for increasing residential development and/or greater density. Implementation of the proposed Project will not commit the Applicant to any other larger actions, and will not generate any additional actions having a cumulative effect on the environment.

- (9) Have a substantial adverse effect on a rare, threatened, or endangered species, or its habitat;

The Property contains no habitat for rare, threatened or endangered plant or animal species or their respective habitats. The proposed Project is not anticipated to have a substantial adverse effect on a rare, threatened, or endangered species or its habitat.

- (10) Have a substantial adverse effect on air or water quality or ambient noise levels;

Air Quality: No State or Federal air quality standards are anticipated to be violated during or after the construction of the 10 Kamani Kai Place.

Water Quality: No State or Federal water quality standards are anticipated to be violated during or after the construction of the 10 Kamani Kai Place.

Ambient Noise Levels: Construction activities for the proposed Project will inevitably create temporary noise impacts. The contractor may employ mitigation measures to minimize those temporary noise impacts including the use of mufflers and implementing construction curfew periods. Pursuant to Chapter 11-46, HAR, the Project construction activities will comply with all community noise controls.

- (11) Have a substantial adverse effect on or be likely to suffer damage by being located in an environmentally sensitive area such as a flood plain, tsunami zone, sea level rise exposure area, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters;

The proposed 10 Kamani Kai Place project will not have a substantial adverse effect on an environmentally sensitive area such as a flood plain, tsunami zone, sea level rise exposure area, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters,

According to the FIRM prepared by the FEMA, NFIP, the Property is located in “Zone X”, meaning that the Property and surrounding area is outside of the 0.2% annual chance floodplain (Figure 8). No portion of the Property would be located inside the 3.2-foot SLR-XA as modeled by the University of Hawai‘i CGG.

The Property does not lie on environmentally sensitive areas such as beaches, geologically hazardous lands, estuaries, and fresh or coastal waters.

- (12) Have a substantial adverse effect on scenic vistas and viewplanes, during day or night, identified in county or state plans or studies; or,

The proposed 10 Kamani Kai Place project involves the construction of two, attached, one-story single-family homes. There are no plans to exceed the development standards for building in the R-10 Residential zoning district, including observing the shoreline setback, and exceeding the limitations on building area, building heights or building height setbacks. The proposed 10 Kamani Kai Place project will not obstruct lateral views along Kailua Beach.

- (13) Require substantial energy consumption or emit substantial greenhouse gases.

It is anticipated that once completed, the proposed attached single-family homes will also be used intermittently and will not require substantial energy consumption nor emit substantial greenhouse gases. Additionally, the 10 Kamani Kai Place project will implement energy efficient fixtures as feasible to reduce overall energy consumption, including:

- Photovoltaic panel system with battery backup;
- LED lighting;
- Installation of high-performance glazing (insulated with low-E coating) in the windows and doors, as well as other passive cooling strategies.

7.3 ANTICIPATED DETERMINATION

On the basis of impacts and mitigation measures examined in this document and analyzed under the above criteria, it is anticipated that the 10 Kamani Kai Place project will not have a significant effect on the physical or human environments. Pursuant to Chapter 343, HRS, it is anticipated that the approving agency, the DPP, will issue a FONSI.

8.0 REFERENCES

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Appendix A: Pre-Assessment Consultation Comments and Responses

Appendix B: Conceptual Site Plan

Appendix C: Conceptual Building Elevations and Sections

Appendix D: Conceptual Floor Plans

Appendix E: Certified Shoreline Survey

Appendix F: Topographic Map

Appendix G: Conceptual Grading Plans

Appendix H: Conceptual Landscape Plan

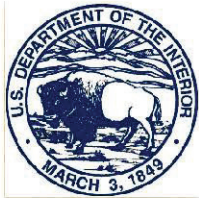
Appendix I: Kailua Neighborhood Board No. 31 April 7, 2022 Meeting Minutes

Appendix I-1: Follow-up Responses to Questions from Kailua Neighborhood Board No. 31, April 7, 2022 Meeting

Appendix J: Archaeological Field Inspection and Background Literature Review

Appendix A

Pre-Assessment Consultation Comments & Responses



United States Department of the Interior

FISH AND WILDLIFE SERVICE
Pacific Islands Fish and Wildlife Office
300 Ala Moana Boulevard, Room 3-122
Honolulu, Hawai'i 96850



In Reply Refer To:
01EPIF00-2022-TA-0143

January 20, 2022

Ms. Brittany Wheatman
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484

Subject: Technical Assistance for Single-Family Home at 10 Kamani Kai Place, O'ahu

Dear Ms. Wheatman:

Thank you for your recent correspondence requesting technical assistance on species biology, habitat, or life requisite requirements. The Pacific Islands Fish and Wildlife Office (PIFWO) of the U.S. Fish and Wildlife Service (Service) appreciates your efforts to avoid or minimize effects to protected species associated with your proposed actions. We provide the following information for your consideration under the authorities of the Endangered Species Act (ESA) of 1973 (16 U.S.C. 1531 *et seq.*), as amended.

Due to significant workload constraints, PIFWO is currently unable to specifically address your information request. The table below lists the protected species most likely to be encountered by projects implemented within the Hawaiian Islands. Based on your project location and description, we have noted the species most likely to occur within the vicinity of the project area, in the **'Occurs In or Near Project Area'** column. Please note this list is not comprehensive and should only be used for general guidance. We have added to the PIFWO website, located at <https://www.fws.gov/pacificislands/promo.cfm?id=177175840> recommended conservation measures intended to avoid or minimize adverse effects to these federally protected species and best management practices to minimize and avoid sedimentation and erosion impacts to water quality. If your project occurs on the island of Hawai'i, we have also enclosed our biosecurity protocol for activities in or near natural areas.

If you are representing a federal action agency, please request an official species list following the instructions at our PIFWO website <https://www.fws.gov/pacificislands/articles.cfm?id=149489558>. You can find out if your project occurs in or near designated critical habitat here: <https://ecos.fws.gov/ipac/>.

INTERIOR REGION 9 COLUMBIA-PACIFIC NORTHWEST

IDAHO, MONTANA*, OREGON*, WASHINGTON
*PARTIAL

INTERIOR REGION 12 PACIFIC ISLANDS

AMERICAN SĀMOA, GUAM, HAWAII, NORTHERN
MARIANA ISLANDS

Under section 7 of the ESA, it is the Federal agency's (or their non-Federal designee) responsibility to make the determination of whether or not the proposed project "may affect" federally listed species or designated critical habitat. A "may affect, not likely to adversely affect" determination is appropriate when effects to federally listed species are expected to be discountable (i.e., unlikely to occur), insignificant (minimal in size), or completely beneficial. This conclusion requires written concurrence from the Service. If a "may affect, likely to adversely affect" determination is made, then the Federal agency must initiate formal consultation with the Service. Projects that are determined to have "no effect" on federally listed species and/or critical habitat do not require additional coordination or consultation.

Implementing the avoidance, minimization, or conservation measures for the species that may occur in your project area will normally enable you to make a "may affect, not likely to adversely affect" determination for your project. If it is determined that the proposed project may affect federally listed species, we recommend you contact our office early in the planning process so that we may assist you with the ESA compliance. If the proposed project is funded, authorized, or permitted by a Federal agency, then that agency should consult with us pursuant to section 7(a)(2) of the ESA. If no Federal agency is involved with the proposed project, the applicant should apply for an incidental take permit under section 10(a)(1)(B) of the ESA. A section 10 permit application must include a habitat conservation plan that identifies the effects of the action on listed species and their habitats and defines measures to minimize and mitigate those adverse effects.

We appreciate your efforts to conserve endangered species. We regret that we cannot provide you with more specific protected species information for your project site. If you have questions that are not answered by the information on our website, you can contact PIFWO at (808) 792-9400 and ask to speak to the lead biologist for the island where your project is located.

Sincerely,

**AARON
NADIG**

Digitally signed
by AARON NADIG
Date: 2022.01.20
06:59:55 -10'00'

Island Team Manager
Pacific Islands Fish and Wildlife Office

Enclosures (2)

cc: Planning Solutions, Inc.

The table below lists the protected species most likely to be encountered by projects implemented within the Hawaiian Islands. For your guidance, we have marked species that may occur in the vicinity of your project, this list is not comprehensive and should only be used for general guidance.

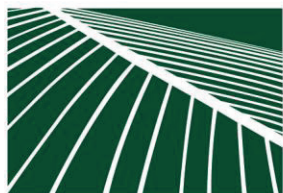
Enclosure 1. Federal Status of Animal Species

<u>Scientific Name</u>	<u>Common Name / Hawaiian Name</u>	<u>Federal Status</u>	<u>May Occur In Project Area</u>
Mammals			
<i>Lasiurus cinereus semotus</i>	Hawaiian hoary bat/‘ōpe‘ape‘a	E	<input checked="" type="checkbox"/>
Reptiles			
<i>Chelonia mydas</i>	green sea turtle/honu - Central North Pacific distinct population segment (DPS)	T	<input checked="" type="checkbox"/>
<i>Eretmochelys imbricata</i>	hawksbill sea turtle/ honu ‘ea or ‘ea	E	<input checked="" type="checkbox"/>
Birds			
<i>Anas wyvilliana</i>	Hawaiian duck/koloa	E	<input type="checkbox"/>
<i>Branta sandvicensis</i>	Hawaiian goose/nēnē	T	<input type="checkbox"/>
<i>Fulica alai</i>	Hawaiian coot/‘alae ke‘oke‘o	E	<input type="checkbox"/>
<i>Gallinula galeata sandvicensis</i>	Hawaiian gallinule/‘alae ‘ula	E	<input type="checkbox"/>
<i>Himantopus mexicanus knudseni</i>	Hawaiian stilt/ae‘o	E	<input type="checkbox"/>
<i>Oceanodroma castro</i>	band-rumped storm-petrel Hawai‘i DPS/‘akē‘akē	E	<input checked="" type="checkbox"/>
<i>Pterodroma sandwichensis</i>	Hawaiian petrel/‘ua‘u	E	<input checked="" type="checkbox"/>
<i>Puffinus auricularis newelli</i>	Newell’s shearwater/‘a‘o	T	<input checked="" type="checkbox"/>
<i>Ardenna pacificus</i>	wedge-tailed shearwater/‘ua‘u kani	MBTA	<input checked="" type="checkbox"/>
<i>Buteo solitarius</i>	Hawaiian hawk/‘io	MBTA	<input type="checkbox"/>
<i>Gygis alba</i>	white tern/manu-o-kū	MBTA	<input type="checkbox"/>
Insects			
<i>Manduca blackburni</i>	Blackburn’s sphinx moth	E	<input type="checkbox"/>
<i>Megalagrion pacificum</i>	Pacific Hawaiian damselfly	E	<input type="checkbox"/>
<i>Megalagrion xanthomelas</i>	orangeblack Hawaiian damselfly	E	<input type="checkbox"/>
<i>Megalagrion nigrohamatum nigrolineatum</i>	blackline Hawaiian damselfly	E	<input type="checkbox"/>

Enclosure 2. Federal Status of Plant Species

Plants				
<u>Scientific Name</u>	<u>Common Name or Hawaiian Name</u>	<u>Federal Status</u>	<u>Locations</u>	<u>May Occur In Project Area</u>
<i>Abutilon menziesii</i>	ko'oloa'ula	E	O, L, M, H	<input type="checkbox"/>
<i>Achyranthes splendens</i> var. <i>rotundata</i>	'ewa hinahina	E	O	<input type="checkbox"/>
<i>Bonamia menziesii</i>	no common name	E	K, O, L, M, H	<input type="checkbox"/>
<i>Canavalia pubescens</i>	'āwikiwiki	E	Ni, K, L, M	<input type="checkbox"/>
<i>Colubrina oppositifolia</i>	kauila	E	O, M, H	<input type="checkbox"/>
<i>Cyperus trachysanthos</i>	pu'uka'a	E	K, O	<input type="checkbox"/>
<i>Gouania hillebrandii</i>	no common name	E	Mo, M	<input type="checkbox"/>
<i>Hibiscus brackenridgei</i>	ma'o hau hele	E	O, Mo, L, M, H	<input type="checkbox"/>
<i>Ischaemum byrone</i>	Hilo ischaemum	E	K, O, Mo, M, H	<input type="checkbox"/>
<i>Isodendrion pyrifolium</i>	wahine noho kula	E	O, H	<input type="checkbox"/>
<i>Marsilea villosa</i>	'ihi'ihhi	E	Ni, O, Mo	<input type="checkbox"/>
<i>Mezoneuron kavaense</i>	uhiuhi	E	O, H	<input type="checkbox"/>
<i>Nothocestrum breviflorum</i>	'aiea	E	H	<input type="checkbox"/>
<i>Panicum fauriei</i> var. <i>carteri</i>	Carter's panicgrass	E	Molokini Islet (O), Mo	<input type="checkbox"/>
<i>Panicum niuhauense</i>	lau'ehu	E	K	<input type="checkbox"/>
<i>Peucedanum sandwicense</i>	makou	E	K, O, Mo, M	<input type="checkbox"/>
<i>Pleomele (Chrysodracon)</i> <i>hawaiiensis</i>	halapepe	E	H	<input type="checkbox"/>
<i>Portulaca sclerocarpa</i>	'ihi	E	L, H	<input type="checkbox"/>
<i>Portulaca villosa</i>	'ihi	E	Le, Ka, Ni, O, Mo, M, L, H, Nihoa	<input type="checkbox"/>
<i>Pritchardia affinis</i> (<i>maideniana</i>)	loulu	E	H	<input type="checkbox"/>
<i>Pseudognaphalium</i> <i>sandwicense</i> var. <i>molokaiense</i>	'ena'ena	E	Mo, M	<input type="checkbox"/>
<i>Scaevola coriacea</i>	dwarf naupaka	E	Mo, M	<input type="checkbox"/>
<i>Schenkia (Centaurium)</i> <i>sebaeoides</i>	'āwiwi	E	K, O, Mo, L, M	<input type="checkbox"/>
<i>Sesbania tomentosa</i>	'ōhai	E	Ni, Ka, K, O, Mo, M, L, H, Necker, Nihoa	<input type="checkbox"/>
<i>Tetramolopium rockii</i>	no common name	T	Mo	<input type="checkbox"/>
<i>Vigna o-wahuensis</i>	no common name	E	Mo, M, L, H, Ka	<input type="checkbox"/>

Location key: O=O'ahu, K=Kaua'i, M=Maui, H=island of Hawai'i, L=Lāna'i, Mo=Moloka'i, Ka=Kaho'olawe, Ni=Ni'ihau, Le=Lehua



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ANN MIKIKO BOUSLOG, PhD
Project Director

RAMSAY R. M. TAUM
Cultural Sustainability Planner

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Senior Associate

NATHALIE RAZO
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GRACE ZHENG, ASLA, LEED® GA, SITES® AP
Senior Associate

ETSUYO KILA
Associate

GREG NAKAI
Associate

NICOLE SWANSON, ASLA
Associate

1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

May 6, 2022

Aaron Nadig
Island Team Manager
Pacific Islands Fish and Wildlife Office
United States Department of the Interior
Fish and Wildlife Service
300 Ala Moana Boulevard, Room 3-122
Honolulu, HI 96850

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Mr. Nadig,

Thank you for your letter dated January 20, 2022 (reference 01EPIF00-2022-TA-0143). As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we greatly appreciate the technical assistance provided in the letter, especially in regard to identifying the species most likely to occur within the vicinity of the project area. That information will be included in the Draft EA.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

PBR HAWAII


Brittany Wheatman
Planner

printed on recycled paper

DAVID Y. IGE
GOVERNOR



CATHY BETTS
DIRECTOR

JOSEPH CAMPOS II
DEPUTY DIRECTOR

STATE OF HAWAII
DEPARTMENT OF HUMAN SERVICES
BENEFIT, EMPLOYMENT AND SUPPORT SERVICES DIVISION
1010 Richards Street, Suite 512
Honolulu, Hawaii 96813

Re: 22-0026

February 3, 2022

RECEIVED
FEB - 7 2022
PBR HAWAII
Acctg. Dept.

Brittany Wheatman
Planner
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813

Dear Ms. Wheatman:

Subject: Pre-Assessment Consultation for a HRS Chapter 343 Environmental Assessment in Support of a Special Management Area Use Permit for the Construction of a Single-Family Residence at 10 Kamani Kai Place, Kailua, Oahu, TMK 4-3-015:055

This is in response to your letter dated January 12, 2022 requesting the Department of Human Services (DHS) review and comment on the above-named project.

The DHS has reviewed the map of the project area. At this time, DHS has no comments.

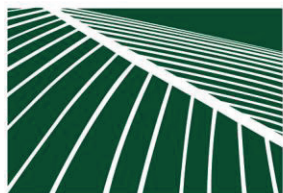
If you should have any questions regarding this matter, please contact Ms. Lisa Galino, Child Care Program Specialist at (808) 586-5712.

Sincerely,

A handwritten signature in black ink, appearing to read "Scott Nakasone".

Scott Nakasone
Assistant Division Administrator

c: Cathy Betts, Director



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GREG NAKAI
Associate

NICOLE SWANSON, ASLA
Associate

1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

May 6, 2022

Scott Nakasone
Assistant Division Administrator
State of Hawaii
Department of Human Services
Benefit, Employment and Support Services Division
1010 Richards Street, Suite 512
Honolulu, HI 96813

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Mr. Nakasone,

Thank you for your letter dated February 3, 2022. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we have reviewed the Department of Human Services (DHS) comments, and acknowledge that DHS has no comments.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

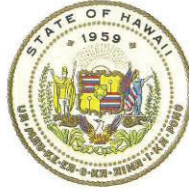
Sincerely,

PBR HAWAII

Brittany Wheatman
Planner

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DAVID Y. IGE
GOVERNOR OF HAWAII



SUZANNE D. CASE
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE
MANAGEMENT

STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

February 14, 2022

LD 0042e

PBR HAWAII & Associates, Inc.
Attn: Brittany Wheatman
1001 Bishop Street, Suite 650
Honolulu, HI 96813-3484

Via email: bwheatman@pbrhawaii.com

Dear Sirs:

**SUBJECT: Pre-Assessment Consultation for an Environmental Assessment in Support of a Special Management Area Use Permit for the Construction of a Single-Family Residence at 10 Kamani Kai Place, Kailua, Island of Oahu, Hawaii
TMK: (4) 4-3-015:055**

Thank you for the opportunity to review and comment on the subject project. The Land Division of the Department of Land and Natural Resources (DLNR) distributed copies of your request to DLNR's various divisions for their review and comment.

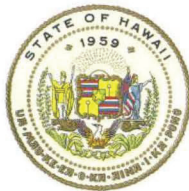
Enclosed are comments received from our Engineering Division. Should you have any questions about the attached response, please feel free to contact Barbara Lee via email at barbara.j.lee@hawaii.gov. Thank you.

Sincerely,

Russell Tsuji

Russell Y. Tsuji
Land Administrator

Enclosure(s)
cc: Central Files



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

January 20, 2022

LD 0042e

MEMORANDUM

FROM:

~~TO:~~

DLNR Agencies:

X Div. of Aquatic Resources (via email: kendall.l.tucker@hawaii.gov)

 Div. of Boating & Ocean Recreation

X **Engineering Division** (via email: DLNR.Engr@hawaii.gov)

X Div. of Forestry & Wildlife (via email: rubyrosa.t.terrago@hawaii.gov)

 Div. of State Parks

X Commission on Water Resource Management (via email: DLNR.CWRM@hawaii.gov)

X Office of Conservation & Coastal Lands (via email: sharleen.k.kuba@hawaii.gov)

X Land Division – Oahu District (via email: barry.w.cheung@hawaii.gov)

Russell Tsuji

TO: ~~FROM:~~

Russell Y. Tsuji, Land Administrator

SUBJECT:

**Pre-Consultation for Environmental Assessment in Support of a Special
Management Area Use Permit for Construction of Single-Family Residence**

LOCATION:

10 Kamani Kai Place, Kailua, Island of Oahu, Hawaii

TMK: (1) 4-3-015:055

APPLICANT:

PBR HAWAII & ASSOCIATES, INC. on behalf of Jennifer A. Raining 2007 Trust

Transmitted for your review and comment is information on the above-referenced project. Please review the attached information and submit any comments by the internal deadline of **February 10, 2022** to barbara.j.lee@hawaii.gov at the Land Division.

If no response is received by the above due date, we will assume your agency has no comments at this time. Should you have any questions about this request, please contact Barbara Lee at barbara.j.lee@hawaii.gov. Thank you.

BRIEF COMMENTS:

- () We have no objections.
- () We have no comments.
- () We have no additional comments.
- (✓) Comments are included/attached.

Signed:

A handwritten signature in black ink, appearing to read "Carty S. Chang".

Print Name:

Carty S. Chang, Chief Engineer

Division:

Engineering Division

Date:

Feb 3, 2022

Attachments

Cc: Central Files

**DEPARTMENT OF LAND AND NATURAL RESOURCES
ENGINEERING DIVISION**

LD/Russell Y. Tsuji

**Ref: Pre-Consultation for Environmental Assessment in Support of a Special
Management Area Use Permit for Construction of Single-Family Residence
Location: 10 Kamani Kai Place, Kailua, Island of Oahu, Hawaii
TMK(s): (1) 4-3-015:055
Applicant: PBR HAWAII & ASSOCIATES, INC. on behalf of Jennifer A.
Raining 2007 Trust**

COMMENTS

The rules and regulations of the National Flood Insurance Program (NFIP), Title 44 of the Code of Federal Regulations (44CFR), are in effect when development falls within a Special Flood Hazard Area (high-risk areas). Be advised that 44CFR, Chapter 1, Subchapter B, Part 60 reflects the minimum standards as set forth by the NFIP. Local community flood ordinances may stipulate higher standards that can be more restrictive and would take precedence over the minimum NFIP standards.

The owner of the project property and/or their representative is responsible to research the Flood Hazard Zone designation for the project. Flood zones subject to NFIP requirements are identified on FEMA's Flood Insurance Rate Maps (FIRM). The official FIRMs can be accessed through FEMA's Map Service Center (msc.fema.gov). Our Flood Hazard Assessment Tool (FHAT) (<http://gis.hawaiiinfip.org/FHAT>) could also be used to research flood hazard information.

If there are questions regarding the local flood ordinances, please contact the applicable County NFIP coordinating agency below:

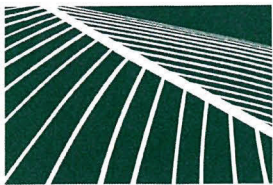
- Oahu: City and County of Honolulu, Department of Planning and Permitting (808) 768-8098.
- Hawaii Island: County of Hawaii, Department of Public Works (808) 961-8327.
- Maui/Molokai/Lanai County of Maui, Department of Planning (808) 270-7139.
- Kauai: County of Kauai, Department of Public Works (808) 241-4849.

Signed: _____



CARTY S. CHANG, CHIEF ENGINEER

Date: Feb 3, 2022



**PBR HAWAII
& ASSOCIATES, INC.**

R. STAN DUNCAN, ASLA
President / Chairman

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Executive Vice-President / Principal

VINCENT SHIGEKUNI
Senior Vice-President / Principal

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GREG NAKAI
Associate

SELENA PANG
Associate

NICOLE SWANSON
Associate

1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

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LAND DIVISION

2022 JAN 14 PM11:21

DEPT. OF LAND
& NATURAL RESOURCES
STATE OF HAWAII

LD 0042e

RECEIVED

2022 JAN 14 AM 10:32

DEPT. OF LAND
& NATURAL RESOURCES
STATE OF HAWAII

January 12, 2022

Ms. Suzanne Case, Chairperson
State of Hawai'i
Department of Land and Natural Resources
Kalanimoku Building
1151 Punchbowl Street
Honolulu, HI 96809

**SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343
ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL
MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION
OF A SINGLE-FAMILY RESIDENCE AT 10 KAMANI KAI PLACE,
KAILUA, O'AHU, TMK 4-3-015:055**

Dear Ms. Case,

The Applicant, Jennifer A. Raining 2007 Trust, is proposing the construction of a new single-family home at 10 Kamani Kai Place, on a lot identified as TMK 4-3-015:055. The entire property is zoned R-10 Residential and is located within the Special Management Area (SMA). Per Senate Bill 2060, SD2, HD2, the proposed project will now require a Special Management Area Use Permit (SMP).

On behalf of the Applicant, PBR HAWAII will be preparing an Environmental Assessment (EA) in support of a SMA Use Permit for the project. With this letter, we seek your input as to whether the proposed replacement single-family residence may have an impact on any of your existing or proposed projects, plans, policies, or programs that we should consider when preparing the EA. Please send us any comments you may have by **February 12, 2022** to:

PBR HAWAII & Associates, Inc.
Attn: Brittany Wheatman
1001 Bishop Street, Suite 650
Honolulu, HI 96813-3484

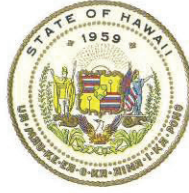
Sincerely,

PBR HAWAII

Brittany Wheatman
Planner

Attachment: Regional Location Map

DAVID Y. IGE
GOVERNOR OF HAWAII



SUZANNE D. CASE
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE
MANAGEMENT

STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

March 09, 2022

LD 0042e

PBR HAWAII & Associates, Inc.
Attn: Brittany Wheatman
1001 Bishop Street, Suite 650
Honolulu, HI 96813-3484

Via email: bwheatman@pbrhawaii.com

Dear Sirs:

**SUBJECT: Pre-Assessment Consultation for an Environmental Assessment in Support of a Special Management Area Use Permit for the Construction of a Single-Family Residence at 10 Kamani Kai Place, Kailua, Island of Oahu, Hawaii
TMK: (4) 4-3-015:055**

Thank you for the opportunity to review and comment on the above subject. In addition to previous comments sent to you from the Department of Land and Natural Resources (DLNR) dated February 14, 2022, enclosed are comments received from DLNR's Division of Forestry and Wildlife.

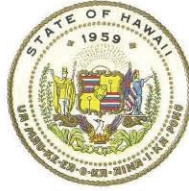
Should you have any questions, please feel free to contact Barbara Lee at 587-0453 or barbara.j.lee@hawaii.gov. Thank you.

Sincerely,

Russell Tsuji

Russell Y. Tsuji
Land Administrator

Enclosure
cc: Central Files



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

January 20, 2022

LD 0042e

MEMORANDUM

TO: DLNR Agencies:
X Div. of Aquatic Resources (via email: kendall.l.tucker@hawaii.gov)
 Div. of Boating & Ocean Recreation
X Engineering Division (via email: DLNR.Engr@hawaii.gov)
X Div. of Forestry & Wildlife (via email: rubyrosa.t.terrago@hawaii.gov)
 Div. of State Parks
X Commission on Water Resource Management (via email: DLNR.CWRM@hawaii.gov)
X Office of Conservation & Coastal Lands (via email: sharleen.k.kuba@hawaii.gov)
X Land Division – Oahu District (via email: barry.w.cheung@hawaii.gov)
Russell Tsuji

FROM: Russell Y. Tsuji, Land Administrator

SUBJECT: Pre-Consultation for Environmental Assessment in Support of a Special Management Area Use Permit for Construction of Single-Family Residence

LOCATION: 10 Kamani Kai Place, Kailua, Island of Oahu, Hawaii
TMK: (1) 4-3-015:055

APPLICANT: PBR HAWAII & ASSOCIATES, INC. on behalf of Jennifer A. Raining 2007 Trust

Transmitted for your review and comment is information on the above-referenced project. Please review the attached information and submit any comments by the internal deadline of February 10, 2022 to barbara.j.lee@hawaii.gov at the Land Division.

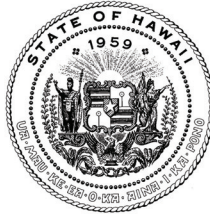
If no response is received by the above due date, we will assume your agency has no comments at this time. Should you have any questions about this request, please contact Barbara Lee at barbara.j.lee@hawaii.gov. Thank you.

BRIEF COMMENTS:

() We have no objections.
() We have no comments.
() We have no additional comments.
☒ Comments are included/attached.

Signed: *NGU*
Print Name: DAVID G. SMITH, Administrator
Division: Division of Forestry and Wildlife
Date: Mar 8, 2022

Attachments
Cc: Central Files



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
DIVISION OF FORESTRY AND WILDLIFE
1151 PUNCHBOWL STREET, ROOM 325
HONOLULU, HAWAII 96813

March 7, 2022

MEMORANDUM

Log no. 3499

TO: RUSSELL Y. TSUJI, Land Administrator
Land Division

FROM: DAVID G. SMITH, Administrator
Division of Forestry and Wildlife

SUBJECT: Division of Forestry and Wildlife Comments for the Pre-Consultation for an Environmental Assessment (EA) in Support of a Special Management Area Use Permit for the Construction of Single-Family Residence in Kailua, O'ahu

The Department of Land and Natural Resources, Division of Forestry and Wildlife (DOFAW) has received your request for comments on the pre-consultation for an EA in support of a Special Management Area Use Permit to construct a Single-Family Residence at 10 Kamani Kai Place, Kailua, on the Island of O'ahu, TMK: (1) 4-3-015:055. The proposed project consists of developing a single-family residence within an R-10 Residential zoned parcel.

The State listed Hawaiian Hoary Bat or 'Ōpe'ape'a (*Lasiurus cinereus semotus*) could potentially occur in the vicinity of the project and may roost in nearby trees. Any required site clearing should be timed to avoid disturbance to bats during their birthing and pup rearing season (June 1 through September 15). During this period woody plants greater than 15 feet (4.6 meters) tall should not be disturbed, removed, or trimmed. Barbed wire should also be avoided for any construction because bats can become ensnared and killed by such fencing during flight.

Artificial lighting can adversely impact seabirds that may pass through the area at night by causing disorientation. This disorientation can result in a collision with manmade structures or the grounding of birds. For nighttime work that might be required, DOFAW recommends that all lights used to be fully shielded to minimize the attraction of seabirds. Nighttime work that requires outdoor lighting should be avoided during the seabird fledging season from September 15 through December 15. This is the period when young seabirds take their maiden voyage to the open sea. Permanent lighting also poses a risk of seabird attraction, and as such should be minimized or eliminated to protect seabird flyways and preserve the night sky. For illustrations and guidance related to seabird-friendly light styles that also protect seabirds and the dark starry skies of Hawai'i please visit <https://dlnr.hawaii.gov/wildlife/files/2016/03/DOC439.pdf>.

The State endangered Hawaiian Monk Seal (*Monachus schauinslandi*) and threatened Green Sea Turtle (*Chelonia mydas*) could potentially occur or haul out onshore within the vicinity of the proposed project site. If either species is detected within 100 meters of the project area all nearby construction operations should cease and not continue until the focal animal has departed the area on its own accord.

Coastal plants such as naupaka (*Scaevola sericea*) and pa'uohi'iaka (*Jacquemontia ovalifolia* ssp. *sandwicensis*) may be present in the project area and are host to the State endangered Yellow-faced Bee (*Hylaeus* sp.). These listed bees have been noted at other shoreline areas near the project area. DOFAW recommends surveys done by an entomologist be conducted before work occurs in the vicinity. If present, Yellow-faced Bee surveys should occur between the months of April to November.

DOFAW recommends minimizing the movement of plant or soil material between worksites. Soil and plant material may contain invasive fungal pathogens (e.g., Rapid 'Ōhi'a Death), vertebrate and invertebrate pests (e.g., Little Fire Ants, Coconut Rhinoceros Beetles), or invasive plant parts that could harm our native species and ecosystems. We recommend consulting the O'ahu Invasive Species Committee (OISC) at (808) 266-7994 to plan, design, and construct the project to learn of any high-risk invasive species in the area ways to mitigate their spread. All equipment, materials, and personnel should be cleaned of excess soil and debris to minimize the risk of spreading invasive species.

DOFAW recommends using native plant species for landscaping that are appropriate for the area (i.e., climate conditions are suitable for the plants to thrive, historically occurred there, etc.). Please do not plant invasive species. DOFAW recommends consulting the Hawai'i-Pacific Weed Risk Assessment website to determine the potential invasiveness of plants proposed for use in the project (<https://sites.google.com/site/weedriskassessment/home>). We recommend that you refer to www.plantpono.org for guidance on the selection and evaluation of landscaping plants.

We appreciate your efforts to work with our office for the conservation of our native species. Should the scope of the project change significantly, or should it become apparent that threatened or endangered species may be impacted, please contact our staff as soon as possible. If you have any questions, please contact Paul Radley, Protected Species Habitat Conservation Planning Coordinator at (808) 295-1123 or paul.m.radley@hawaii.gov.

Sincerely,



DAVID G. SMITH
Administrator



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NICOLE SWANSON
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E-mail: sysadmin@pbrhawaii.com

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RECEIVED
LAND DIVISION

2022 JAN 14 PM11:21

DEPT. OF LAND
& NATURAL RESOURCES
STATE OF HAWAII

LD 0042e

RECEIVED

2022 JAN 14 AM 10:32

DEPT. OF LAND
& NATURAL RESOURCES
STATE OF HAWAII

January 12, 2022

Ms. Suzanne Case, Chairperson
State of Hawai'i
Department of Land and Natural Resources
Kalanimoku Building
1151 Punchbowl Street
Honolulu, HI 96809

**SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343
ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL
MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION
OF A SINGLE-FAMILY RESIDENCE AT 10 KAMANI KAI PLACE,
KAILUA, O'AHU, TMK 4-3-015:055**

Dear Ms. Case,

The Applicant, Jennifer A. Raining 2007 Trust, is proposing the construction of a new single-family home at 10 Kamani Kai Place, on a lot identified as TMK 4-3-015:055. The entire property is zoned R-10 Residential and is located within the Special Management Area (SMA). Per Senate Bill 2060, SD2, HD2, the proposed project will now require a Special Management Area Use Permit (SMP).

On behalf of the Applicant, PBR HAWAII will be preparing an Environmental Assessment (EA) in support of a SMA Use Permit for the project. With this letter, we seek your input as to whether the proposed replacement single-family residence may have an impact on any of your existing or proposed projects, plans, policies, or programs that we should consider when preparing the EA. Please send us any comments you may have by **February 12, 2022** to:

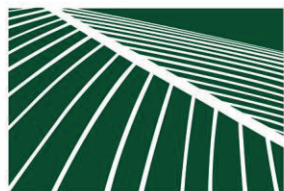
PBR HAWAII & Associates, Inc.
Attn: Brittany Wheatman
1001 Bishop Street, Suite 650
Honolulu, HI 96813-3484

Sincerely,

PBR HAWAII

Brittany Wheatman
Planner

Attachment: Regional Location Map



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& ASSOCIATES, INC.

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GREG NAKAI
Associate

NICOLE SWANSON, ASLA
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E-mail: sysadmin@pbrhawaii.com

May 6, 2022

Mr. Russell Y. Tsuji
Land Administrator
State of Hawai'i
Department of Land and Natural Resources
Land Division
P.O. Box 621
Honolulu, Hawai'i 96809

Attn: Ms. Darlene Nakamura

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Mr. Tsuji,

Thank you for your letters (reference no. LD 0042e) dated February 14 and March 9, 2022, regarding the subject project. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we appreciate the correspondence from: 1) Engineering Division; and 2) Division of Forestry & Wildlife.

As noted by the Engineering Division, the Draft EA will include the Flood Hazard Zone designations for the Property shown on FEMA's Flood Insurance Rate Maps.

We appreciate the information provided on: the Hawaiian Hoary Bat; the impact of outdoor lighting on seabirds; the Hawaiian Monk Seal; Yellow-faced bee; soil contamination and the use of native plant species in project landscaping. The information, including DOFAW recommended mitigation measures, will be included in the Draft EA.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

PBR HAWAII


Brittany Wheatman
Planner

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DAVID Y. IGE
GOVERNOR



KENNETH S. HARA
MAJOR GENERAL
ADJUTANT GENERAL

STEPHEN F. LOGAN
BRIGADIER GENERAL
DEPUTY ADJUTANT GENERAL

STATE OF HAWAII
DEPARTMENT OF DEFENSE
OFFICE OF THE ADJUTANT GENERAL
3949 DIAMOND HEAD ROAD
HONOLULU, HAWAII 96816-4495

January 28, 2022

RECEIVED

FEB - 3 2022

PBR HAWAII
Acctg. Dept.

Ms. Brittany Wheatman
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

SUBJECT: Environmental Assessment for Kailua, Oahu TMK 4-3-105:055

Dear Ms. Wheatman:

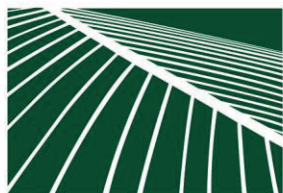
Thank you for the opportunity to comment on the above project. The State of Hawaii Department of Defense has no comments to offer relative to the project.

Should there be any questions, please contact Mr. Scott J. Kawamoto at 808-369-3500 or scott.j.kawamoto@hawaii.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "Shaoyu L. Lee".

Shaoyu L. Lee
Captain, Hawaii National Guard
Chief Engineering Officer



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E-mail: sysadmin@pbrhawaii.com

May 6, 2022

Shaoyu L. Lee
Chief Engineering Officer
Hawaii National Guard
State of Hawaii
Department of Defense
Office of the Adjutant General
3949 Diamond Head Road
Honolulu, HI 96816-4495

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Captain Lee,

Thank you for your letter dated January 28, 2022. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we have reviewed the Department of Defense's (DOD) comments, and acknowledge that DOD has no comments to offer relative to the project.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

PBR HAWAII


Brittany Wheatman
Planner

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STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION
869 PUNCHBOWL STREET
HONOLULU, HAWAII 96813-5097

JADE T. BUTAY
DIRECTOR

Deputy Directors
ROSS M. HIGASHI
EDUARDO P. MANGLALLAN
PATRICK H. MCCAIN
EDWIN H. SNIFFEN

IN REPLY REFER TO:
DIR 0071
STP 8.3338

January 26, 2022

VIA EMAIL: bwheatman@pbrhawaii.com

Ms. Brittany Wheatman
Planner
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Wheatman:

Subject: Pre-Assessment Consultation for a HRS Chapter 343 Environmental Assessment in Support of a Special Management Area Use Permit for the Construction of a Single-Family Residence at 10 Kamani Kai Place
Kailua, Oahu, Hawaii
Tax Map Key: (1) 4-3-015:055

Thank you for your letter dated January 12, 2022, requesting the State of Hawaii Department of Transportation's (HDOT) review and comments on the subject property. HDOT understands the project involves the construction of a new single-family home at 10 Kamani Kai Place in Kailua. The subject property is approximately 1 mile away from Kailua Road (State Route 61) and 1.5 miles away from Mokapu Boulevard (State Route 65), which are the nearest roadways under HDOT jurisdiction.

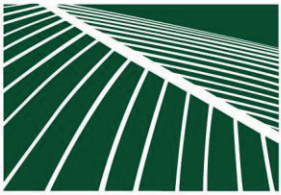
Based on the project description and location, HDOT does not anticipate any significant adverse impacts to State roadways, therefore, we have no comments to provide.

If there are any questions, please contact Mr. Blayne Nikaido of the HDOT Statewide Transportation Planning Office at (808) 831-7979 or via email at blayne.h.nikaido@hawaii.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "Jade T. Butay", is written over a horizontal line.

JADE T. BUTAY
Director of Transportation



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& ASSOCIATES, INC.

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Associate

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Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

May 6, 2022

Mr. Jade T. Butay
Director
State of Hawai'i
Department of Transportation
869 Punchbowl Street
Honolulu, HI 96813-5097

Attn: Blayne Nikaido

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Mr. Butay,

Thank you for your letter dated January 26, 2022 (in reference to DIR 0071, STP 8.338). As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we acknowledge that HDOT does not anticipate any significant adverse impacts to State roadways.

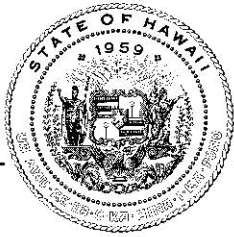
We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

PBR HAWAII


Brittany Wheatman
Planner

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STATE OF HAWAII OFFICE OF PLANNING & SUSTAINABLE DEVELOPMENT

DAVID Y. IGE
GOVERNOR

MARY ALICE EVANS
DIRECTOR

235 South Beretania Street, 6th Floor, Honolulu, Hawaii 96813
Mailing Address: P.O. Box 2359, Honolulu, Hawaii 96804

Telephone: (808) 587-2846
Fax: (808) 587-2824
Web: <https://planning.hawaii.gov/>

DTS 202201190936NA

Coastal Zone
Management
Program

February 1, 2022

Environmental
Review Program

Ms. Brittany Wheatman
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 605
Honolulu, HI 96813

Land Use
Commission

Land Use Division

Dear Ms. Wheatman:

Special Plans
Branch

Subject: Pre-Assessment Consultation for a HRS Chapter 343 Environmental
Assessment for the Construction of a Single-family Residence at 10
Kamani Kai Place, Kailua, Oahu; Tax Map Key: TMK (1) 4-3-015: 055

State Transit-
Oriented
Development

The Office of Planning and Sustainable Development (OPSD) is in receipt
of your Environmental Assessment (EA) pre-consultation request received January
18, 2022, for the proposed single-family residence project at Kailua, Oahu.

Statewide
Geographic
Information System

According to the pre-consultation request, the proposed project involves
constructing a single-family residence on a property zoned R-10 Residential and
located within the Special Management Area (SMA).

Statewide
Sustainability Branch

The OPSD has reviewed the subject pre-consultation request and has the
following comments to offer:

1. The Hawaii Coastal Zone Management (CZM) Law, HRS Chapter 205A, requires all state and county agencies to enforce the CZM objectives and policies. The subject EA should include an assessment with mitigation measures if needed, as to how the proposed project conforms to each of the CZM objectives and supporting policies set forth in HRS § 205A-2, as amended.
2. Given that the subject EA will serve as a supporting document for the SMA Use Permit application, the OPSD recommends that the EA specifically discuss the compliance with the requirements of SMA use under Revised Ordinances of Honolulu Chapter 25, and shoreline setbacks under ROH Chapter 23, for the proposed single-family residence project by consulting with the Department of Planning and Permitting, City and County of Honolulu. Please note that shoreline hardening structures, including seawalls and revetments, are prohibited at sites with beaches pursuant to HRS § 205A-2(c)(9)(B) and HRS § 205A-46(a)(9), as amended, enacted by Act 16, Session Laws of Hawaii 2020.

Ms. Brittany Wheatman
February 1, 2022
Page 2

3. Sea level rise increases the risk of waves, storm surges, high tide and shoreline erosion. To assess any potential impacts of sea level rise on the proposed development area, the OPSD suggests the EA refer to the findings of the Hawaii Sea Level Rise Vulnerability and Adaptation Report 2017, accepted by the Hawaii Climate Change Mitigation and Adaptation Commission. The Report, and Hawaii Sea Level Rise Viewer at <https://www.pacioos.hawaii.edu/shoreline/slr-hawaii/> particularly identifies a 3.2-foot sea level rise exposure area across the main Hawaiian Islands, including Oahu, which may occur in the mid to latter half of the 21st century. The EA should provide a map of 3.2-foot sea level rise exposure area in relation to the property area, and consider site-specific mitigation measures, including design elevation and setbacks from the shoreline (e.g., erosion red line under 3.2-foot sea level rise) during the life of the proposed residential structure, to respond to the potential impacts of 3.2-foot sea level rise on the proposed development.
4. Please check the tax map key (TMK) of the subject parcel to ensure whether the TMK (1) 4-3-015: 055 is searchable from the City and County of Honolulu public GIS website at <http://gis.hicentral.com/pubwebsite/#>, and Hawaii Sea Level Rise Viewer at <https://www.pacioos.hawaii.edu/shoreline/slr-hawaii/>
5. The OPSD has developed guidance documents on stormwater runoff strategies, which offer techniques to prevent land-based pollutants and sediment from potentially affecting water resources. The OPSD recommends that the subject EA consider the following stormwater assessment guidance to mitigate stormwater runoff impacts:
6. Stormwater Impact Assessments can be used to identify and analyze information on hydrology, sensitivity of coastal and riparian resources, and management measures to control runoff, as well as consider secondary and cumulative impacts to the area. https://files.hawaii.gov/dbedt/op/czm/initiative/stormwater_imapct/final_stormwater_impact_assessments_guidance.pdf

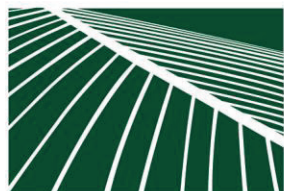
The OPSD looks forward to reviewing the Draft EA when it is available.

If you have any questions regarding this comment letter, please contact Yusraa Tadj of our office at (808) 587-2831, or by email at yusraa.tadj@hawaii.gov.

Sincerely,

Mary Alice Evans

Mary Alice Evans
Director



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& ASSOCIATES, INC.

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Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

May 6, 2022

Ms. Mary Alice Evans
Director
State of Hawai'i
Office of Planning & Sustainable Development
P.O. Box 2359
Honolulu, Hawai'i 96804

Attn: Yusraa Tadj

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Ms. Evans:


Thank you for your letter dated February 1, 2022 (your reference number DTS 202201190936NA), regarding the subject project. We would like to take this opportunity to inform OPSD that there has been a slight change in the project, and what is now being proposed on the R-10 zoned, 38,715 square foot lot are two, one-story, attached, single-family residences. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we acknowledge your recommendations, and the Draft Environmental Assessment (DEA) will address the following:

1. Hawai'i Revised Statutes (HRS) Chapter 205A.
2. Revised Ordinances of Honolulu (ROH) Chapters 23 and 25.
3. Sea level rise impact on the Project area.
4. Stormwater runoff impacts.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA. We will relay OPSD's request to review the Draft EA to the City and County of Honolulu Department of Planning & Permitting.

Sincerely,

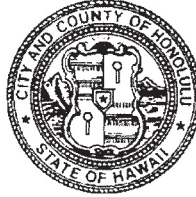
PBR HAWAII


Brittany Wheatman
Planner

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DEPARTMENT OF COMMUNITY SERVICES
CITY AND COUNTY OF HONOLULU

925 DILLINGHAM BOULEVARD, SUITE 200 • HONOLULU, HAWAII 96817
PHONE: (808) 768-7762 • FAX: (808) 768-7792
www.honolulu.gov/dcs



RICK BLANGIARDI
MAYOR

ANTON C. KRUCKY
DIRECTOR

AEDWARD LOS BANOS
DEPUTY DIRECTOR

January 19, 2022

PBR HAWAII & Associates, Inc.
Attn: Brittany Wheatman
1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813

Dear Ms. Wheatman:

SUBJECT: Pre-Consultation: DRAFT Environmental Assessment
Jennifer A. Raining 2007 Trust, Residence at 10 Kamani Kai Place
TMK: (1) 4-3-015:055 Kailua, O'ahu, Hawai'i

Thank you for your pre-consultation notice of a Draft Environmental Assessment in support of a Special Management Area Use Permit (SMP) to construct a single-family residence at 10 Kamani Kai Place.

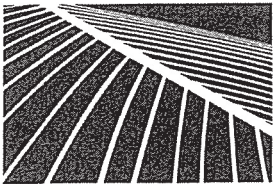
Our review indicates that the proposed project will have no adverse impacts on any Department of Community Services activities or projects in the surrounding neighborhood.

Thank you for providing us the opportunity to comment on this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Anton C. Krucky", is written over a horizontal line.

Anton C. Krucky
Director



**PBR HAWAII
& ASSOCIATES, INC.**

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ANN MIKIKO BOUSLOG, PhD
Project Director

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Cultural Sustainability Planner

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ETSUYO KILA
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GREG NAKAI
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NICOLE SWANSON
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Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

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DCS/Admin

104

January 12, 2022

22 JAN 14 PM 12:04

Ms. Sarah Allen, Director
City and County of Honolulu
Department of Community Services
925 Dillingham Blvd Suite 200
Honolulu, HI 96817

**SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343
ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL
MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION
OF A SINGLE-FAMILY RESIDENCE AT 10 KAMANI KAI PLACE,
KAILUA, O'AHU, TMK 4-3-015:055**

Dear Ms. Allen,

The Applicant, Jennifer A. Raining 2007 Trust, is proposing the construction of a new single-family home at 10 Kamani Kai Place, on a lot identified as TMK 4-3-015:055. The entire property is zoned R-10 Residential and is located within the Special Management Area (SMA). Per Senate Bill 2060, SD2, HD2, the proposed project will now require a Special Management Area Use Permit (SMP).

On behalf of the Applicant, PBR HAWAII will be preparing an Environmental Assessment (EA) in support of a SMA Use Permit for the project. With this letter, we seek your input as to whether the proposed replacement single-family residence may have an impact on any of your existing or proposed projects, plans, policies, or programs that we should consider when preparing the EA. Please send us any comments you may have by **February 12, 2022** to:

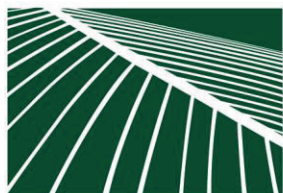
PBR HAWAII & Associates, Inc.
Attn: Brittany Wheatman
1001 Bishop Street, Suite 650
Honolulu, HI 96813-3484

Sincerely,

PBR HAWAII

Brittany Wheatman
Planner

Attachment: Regional Location Map



PBR HAWAII
& ASSOCIATES, INC.

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E-mail: sysadmin@pbrhawaii.com

May 6, 2022

Anton C. Krucky
Director
Department of Community Services
City and County of Honolulu
925 Dillingham Boulevard, Suite 200
Honolulu, HI 96817

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Mr. Krucky,

Thank you for your letter dated February 9, 2022. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we have reviewed your agency's comments, and provide the following responses.

We appreciate your information on the existing water system, however, there has been a slight change in the project, and what is now being proposed on the R-10 zoned, 38,715 square foot lot are two residences. To confirm that the proposed project will have no adverse impact on any Department of Community Services (DCS) activities or projects in the surrounding neighborhood, we will request that the City and County of Honolulu Department of Planning & Permitting distribute DCS a copy of the Draft EA for review.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

PBR HAWAII



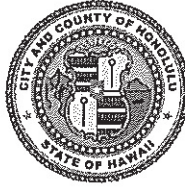
Brittany Wheatman
Planner

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DEPARTMENT OF DESIGN AND CONSTRUCTION
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 11TH FLOOR
HONOLULU, HAWAII 96813
Phone: (808) 768-8480 • Fax: (808) 768-4567
Web site: www.honolulu.gov

RICK BLANGIARDI
MAYOR



ALEX KOZLOV, P.E.
DIRECTOR

HAKU MILLES, P.E.
DEPUTY DIRECTOR

January 28, 2022

PBR Hawaii & Associates, Inc.
Attn: Brittany Wheatman
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Wheatman:

Subject: Pre-Assessment Consultation for a HRS Chapter 343
Environmental Assessment in Support of a Special Management
Area Use Permit for the Construction of a Single-Family Residence
at 10 Kamani Kai Place, Kailua, Oahu, TMK 4-3-015:055

Thank you for the opportunity to review and comment. The Department of
Design and Construction has no comments to offer at this time.

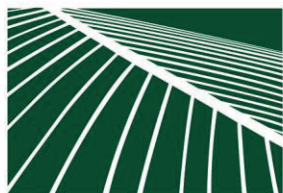
Should you have any questions, please contact me at (808) 768-8480.

Sincerely,

A handwritten signature in black ink, appearing to read "Alex Kozlov", is written over a horizontal line.

per Alex Kozlov, P.E.
Director

AK:krn (871584)



PBR HAWAII
& ASSOCIATES, INC.

R. STAN DUNCAN, ASLA
President / Chairman

RUSSELL Y. J. CHUNG, FASLA, LEED® AP BD+C
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May 6, 2022

Alex Kozlov, P.E.
Director
Department of Design and Construction
City and County of Honolulu
650 South King Street, 11th Floor
Honolulu, HI 96813

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Mr. Kozlov,

Thank you for your letter dated January 28, 2022. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we have reviewed Department of Design and Construction's (DDC) comments, and provide the following responses.

We appreciate DDC's comments, however, it should be noted that there has been a slight change in the project, and what is now being proposed on the R-10 zoned, 38,715 square foot lot are two residences. To confirm that the proposed project will have no adverse impact on any of DDC's activities or projects in the surrounding neighborhood, we will request that the City and County of Honolulu Department of Planning & Permitting distribute DDC a copy of the Draft EA for review.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

PBR HAWAII



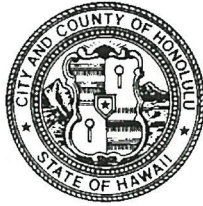
Brittany Wheatman
Planner

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DEPARTMENT OF FACILITY MAINTENANCE
CITY AND COUNTY OF HONOLULU

1000 Ulu'ohia Street, Suite 215, Kapolei, Hawaii 96707
Phone: (808) 768-3343 • Fax: (808) 768-3381
Website: www.honolulu.gov

RICK BLANGIARDI
MAYOR



DAWN B. SZEWCZYK, P.E.
DIRECTOR AND CHIEF ENGINEER DESIGNATE

WARREN K. MAMIZUKA
ACTING DEPUTY DIRECTOR

IN REPLY REFER TO:
DRM 22-59

February 11, 2022

PBR Hawaii & Associates, Inc.
Ms. Brittany Wheatman
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

RECEIVED

FEB 14 2022

PBR HAWAII
Acctg. Dept.

Dear Ms. Wheatman:

Subject: Pre-Assessment Consultation for HRS Chapter 343
Environmental Assessment in Support of a Special
Management Area Use Permit for the Construction of
A Single-Family Residence at 10 Kamani Kai Place,
Kailua, TMK: 4-3-015:055

Thank you for the opportunity to review and comment on the subject project.

Our comments are as follows:

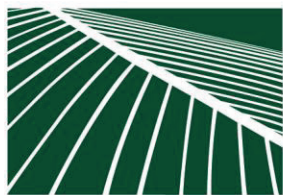
- We believe that the subject property is TMK: 4-3-015:048 and not TMK: 4-3-015:055. Please confirm.
- Kamani Kai Place was identified as a private road that the City and County of Honolulu does not provide pavement surface maintenance.
- We have identified several private easements within and abutting 10 Kamani Kai Place.

If you have any questions, please call Mr. Kyle Oyasato of the Division of Road Maintenance at 768-3697.

Sincerely,

A handwritten signature in black ink, appearing to read "Dawn B. Szewczyk", is written over a faint circular stamp.

Dawn B. Szewczyk, P.E.
Director and Chief Engineer Designate



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& ASSOCIATES, INC.

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Fax: (808) 523-1402
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May 6, 2022

Dawn B. Szewczyk, P.E.
Director and Chief Engineer Designate
Department of Facility Maintenance
City and County of Honolulu
1000 Uluohia Street, Suite 215
Kapolei, HI 96707

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Ms. Szewczyk,

Thank you for your letter dated February 11, 2022. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we have reviewed your agency's comments, and provide the following responses:

- We can confirm the subject property is identified as TMK: 4-3-015:055. Please refer to <https://qpublic.schneidercorp.com/Application.aspx?AppID=1045&LayerID=23342&PageTypeID=4&PageID=9746&Q=812265677&KeyValue=430150550000>
- We acknowledge Kamani Kai Place is a private road that the City and County of Honolulu does not provide pavement surface maintenance.
- We appreciate the information that there are easements over the subject property. We are aware that there is an easement over the property driveway "for roadway and utility purposes", and another easement "for drainage purposes" that extends seaward from the Property driveway. If there are any other easements, please do not hesitate to let us know.

We would like to take this opportunity to inform your Department that there has been a slight change in the project. What is now being proposed on the R-10 zoned, 38,715 square foot lot are two residences. To confirm that the proposed project will have no adverse impact on any Department of Facility Maintenance (DFM) activities or projects in the surrounding neighborhood, we will request that the City and County of Honolulu Department of Planning & Permitting distribute DFM a copy of the Draft EA for review.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

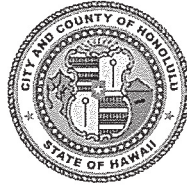
PBR HAWAII


Brittany Wheatman
Planner

DEPARTMENT OF PLANNING AND PERMITTING
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 7TH FLOOR • HONOLULU, HAWAII 96813
PHONE: (808) 768-8000 • FAX: (808) 768-6041
DEPT. WEB SITE: www.honoluludpp.org • CITY WEB SITE: www.honolulu.gov

RICK BLANGIARDI
MAYOR



DEAN UCHIDA
DIRECTOR

DAWN TAKEUCHI APUNA
DEPUTY DIRECTOR

EUGENE H. TAKAHASHI
DEPUTY DIRECTOR

January 26, 2022

2022/ELOG-109(AB)

Ms. Brittany Wheatman
PBR Hawaii & Associates
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813

Dear Ms. Wheatman:

SUBJECT: Request for Pre-Consultation Comments
Environmental Assessment (EA) for Residence on Shoreline Lot
10 Kamani Kai Place - Kalaheo Beach Lots
Tax Map Key 4-3-015: 055 (formerly portion of Parcels 31 and 48)

This is in response to your letter, dated January 12, 2022, requesting comments on the scope and content to be addressed in a Draft EA, as required under Chapter 343, Hawaii Revised Statutes (HRS), for the construction of a new single-family dwelling on a 38,309-square-foot shoreline lot within the Special Management Area (SMA). The following items should be addressed in the Draft EA:

1. Long-term Planning Policies and Objectives: The Draft EA should address the proposed Project's consistency with the relevant policies of the General Plan and the Koolau-poko Sustainable Communities Plan.
2. Land Use Ordinance (LUO) Chapter 21, Revised Ordinances of Honolulu (ROH): Based on a review of our records, the Project site consists of a 38,309-square-foot zoning lot located in the R-10 Residential District. Therefore, proposed development activities must comply with the development standards applicable to the R-10 Residential District. Please note that the lot area for development purposes may be different if the lot has been impacted by erosion, or if it is subject to access easements or open drainage easements in favor of others. Also, we note that there is a restrictive covenant impacting the site. The Draft EA should discuss the purpose and effect of the covenant. Project compliance with these standards should be presented and evaluated in the Draft EA. The LUO is available on our website at:
www.honoluludpp.org/ApplicationsForms/ZoningandLandUsePermits

3. Onsite Structures: The Draft EA should describe all existing and proposed structures and improvements on the site, including residences, garages, swimming pools, lanais, pavement, fences, walls, stairways, shoreline hardening structures, irrigation, individual wastewater systems, etc. If any existing structures or improvements are proposed to remain in place, the Draft EA should describe what and where they are located, whether they were lawfully established (permitted), and whether they are located within any required setback areas. Such structures and improvements should be included in the Draft EA's analysis of compliance with the applicable development standards in the LUO.
4. SMA: On September 15, 2020, Governor Ige signed Act 16 (2020) into law. The stated purpose of Act 16 (2020) is to strengthen the State's coastal zone management policy by amending Chapter 205A, HRS, to protect state beaches and dunes, and to reduce residential exposure to coastal hazards.

The Draft EA should include in its analysis all of the required components for an SMA Use Permit under both Chapter 205A, HRS, as revised, and Chapter 25, ROH. The revised text of Chapter 205A, HRS, as amended by Act 16 (2020) is available online at:

https://www.capitol.hawaii.gov/session2020/bills/SB2060_HD2_.htm

Chapter 25, ROH, is available online at:

www.honolulu.gov/rep/site/ocs/roh/ROH_Chapter_25_article_1_12.pdf

5. Shoreline Setback: The site is subject to a 60-foot shoreline setback and all development must be located outside of the setback area. The location of the regulatory shoreline setback must be confirmed on a shoreline survey certified by the State of Hawaii, and must also be reflected in the plans submitted for the SMA Use Permit to confirm compliance with the Shoreline Setback Ordinance (Chapter 23, ROH). A draft shoreline survey should be included and evaluated in the Draft EA. A *certified* shoreline survey should be included in the Final EA.

Alternatively, if the Applicant seeks to waive the requirement for a certified shoreline survey and locate all development more than 75 feet from an uncertified (presumed) shoreline, the Draft EA should include a shoreline survey and plans that identify and label the proposed distance from the presumed shoreline. Under this approach, the Applicant must provide evidence documenting the location of the presumed shoreline. Such information may include, but is not limited to, a previously certified shoreline survey, erosion and/or accretion information, historic versus current photographs, and physical or geographic markers such as survey pins or trees that document the level of change in the shoreline since the most recent certified shoreline survey.

Please note that a waiver of the requirement for a certified shoreline survey is subject to the discretion of the Director of the Department of Planning and Permitting (DPP).

Chapter 23, ROH, is available online at:
www.honolulu.gov/rep/site/ocs/roh/ROH_Chapter_23_.pdf.pdf

The DPP Rules Relating to Shoreline Setbacks and the SMA are available online at:
www.honoluludpp.org/Portals/0/AboutDPP/administrativerules/DppRules03Shoreline.pdf

6. Flood Zone: The Draft EA should identify the subject property's Flood Zone, as mapped by the Federal Emergency Management Agency, and evaluate the proposed Project's compliance with the City's Flood Hazard Areas Ordinance (Chapter 21A, ROH), which is available online at:
https://www.honolulu.gov/rep/site/ocs/roh/ROH_Chapter_21A_.pdf
7. Coastal Hazards: The Project site is susceptible to Sea Level Rise (SLR), tsunamis, and storm surge. Mayor's Directive 18-2, issued on July 16, 2018, requires all City departments and agencies to use the Hawaii *SLR Vulnerability and Adaptation Report*, the *SLR Guidance* and the *Climate Change Brief* in planning decisions. As a result, proposed development activities within the SMA must be evaluated not only for potential impacts to sensitive SMA resources, but also for current and future susceptibility to coastal hazards such as flooding, SLR, wave action, tsunami, and storm surge.

The recent amendments to Chapter 205A, HRS, under Act 16 (2020), further reiterate the need to evaluate potential impacts related to coastal hazards and SLR. As such, the following items need to be evaluated in a site-specific coastal hazards analysis and evaluated in both the Draft EA and SMA Use Permit application prepared for the Project. This analysis should evaluate the site's existing topographic, geologic, and shoreline environment, and show whether and how a proposed development can safely be located outside of the 3.2-foot SLR Exposure Area and avoid impacts associated with other coastal hazards. This study should include analysis of potential impacts and mitigation measures associated with implementation of the Project related but not limited to the following.

- SLR - Potential impacts relating to SLR at the subject property, based on review of the State's SLR Exposure Area Mapping Tool, of 3.2 feet of SLR.

- Storm Surge - Potential impacts and hurricane storm surge inundation levels at the subject property during Category 1 through 4 hurricane events, based on review of the National Oceanic and Atmospheric Administration's (NOAA) National Hurricane Storm Surge Hazard Maps.
- Potential cumulative impacts of coastal hazards and property inundation should SLR exacerbate flooding, coastal erosion, wave-action, or other coastal hazards that may occur at the subject property.

The Draft EA should also explore Project alternatives, site design (siting and configuring the proposed dwelling as far from the shoreline as possible), Project design features (elevated structures, alternative foundations, etc.), Best Management Practices, and appropriate mitigation measures to reduce potential impacts related to coastal hazards to the extent possible. Relevant sources of information are available online at the following links:

- Mayor's Directive No. 18-2 (2018) regarding climate change and SLR:
www.honolulu.gov/rep/site/dpptod/climate_docs/MAYORS_DIRECTIVE_18-2.pdf
- SLR Vulnerability and Adaptation Report:
http://climate.hawaii.gov/wp-content/uploads/2019/02/SLR-Report_Dec2017-with-updated-disclaimer.pdf
- State SLR Exposure Area Mapping Tool:
www.pacioos.hawaii.edu/shoreline/slr-hawaii/
- Guidance for Using the SLR Exposure Map :
<https://climate.hawaii.gov/wp-content/uploads/2020/12/Guidance-for-Using-the-Sea-Level-Rise-Exposure-Area.pdf>
- Honolulu Office of Climate Change, Sustainability and Resiliency Climate Ready Oahu Web Explorer:
www.resilientoahu.org/water
- NOAA Storm Surge Mapping tool:
<https://www.nhc.noaa.gov/nationalsurge/>

8. Wetlands and Sensitive Species: The Draft EA should identify the presence or potential presence of any protected wetlands, sensitive habitat, flora species, and fauna species. The DPP recommends reaching out to the U.S. Fish and Wildlife Service (USFWS) to obtain a list of species that are known to occur, or may

potentially occur, in the Project vicinity. Known, mapped wetlands can be viewed on the USFWS National Wetlands Inventory *Wetlands Mapper*. The Draft EA must evaluate potential impacts to each identified sensitive species, and provide standard agency-required mitigation measures as well as any applicable site-specific mitigation measures to avoid or minimize potential impacts to each identified species, critical habitat and habitat applicable to the site. The Wetlands Mapper is available online at: <https://www.fws.gov/wetlands/data/mapper.html>.

9. Dunes and Beaches: The entire site appears to consist of beach sands or dunes. In accordance with Chapter 205A, HRS, as amended by Act 16 (2020), the objectives related to coastal ecosystems and beaches were expanded to include stronger protection of beaches and dunes, including inland deposits of sand. The Draft EA must evaluate potential impacts to the beaches and dunes on the site. The Draft EA must include site-specific mitigation measures to avoid or minimize impacts to these resources. Additionally, the Draft EA should include a landscape plan that identifies any proposed landscape elements, like plants or irrigation.
10. Please be advised that in December 2020, the State Historic Preservation Division (SHPD) began using a new online system to better track consultation requests: <https://shpd.hawaii.gov/hicris/landing>.

Because the new tracking system requires agency-to-agency requests, the DPP has created a generic request letter that consultant's/property owners may use for projects that will eventually require DPP approval. This letter may be completed by a consultant or property owner and submitted to SHPD directly via their online system to initiate requests before permit applications are submitted to the DPP. The letter includes a general DPP contact number and email, as well as blank fields where the property owner or their consultant can enter their contact information. The generic request letter is available online at: <https://tinyurl.com/h7yvc7vp>.

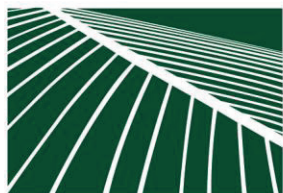
Finally, please contact the appropriate Neighborhood Board (NB) and any relevant neighborhood associations or commissions to request an opportunity to present the Project proposal at the next available NB meeting and/or association meeting(s).

Ms. Brittany Wheatman
January 26, 2021
Page 6

Thank you for the opportunity to comment on this proposal. Should you have any questions, please contact Alex Beatty, of our staff, at (808) 768-8032 or via email at abeatty@honolulu.gov.

Very truly yours,


For: Dean Uchida
Director



PBR HAWAII
& ASSOCIATES, INC.

R. STAN DUNCAN, ASLA
President / Chairman

RUSSELL Y. J. CHUNG, FASLA, LEED® AP BD+C
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VINCENT SHIGEKUNI
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Senior Vice-President / Principal

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Associate Principal

DACHENG DONG, LEED® AP
Associate Principal

ANN MIKIKO BOUSLOG, PhD
Project Director

RAMSAY R. M. TAUM
Cultural Sustainability Planner

MICAH McMILLEN, ASLA, LEED® AP
Senior Associate

NATHALIE RAZO
Senior Associate

GRACE ZHENG, ASLA, LEED® GA, SITES® AP
Senior Associate

ETSUYO KILA
Associate

GREG NAKAI
Associate

NICOLE SWANSON, ASLA
Associate

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Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

printed on recycled paper

May 6, 2022

Mr. Dean Uchida
Director
Department of Planning & Permitting
City and County of Honolulu
650 South King Street, 7th Floor
Honolulu, HI 96813

Attn: Alex Beatty

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Mr. Uchida,

Thank you for your letter dated January 26, 2022 (in reference to 2022/ELOG-109[AB]). We would like to take this opportunity to inform DPP that there has been a slight change in the project, and what is now being proposed on the R-10 zoned, 38,715 square foot lot are two, one-story, attached, single-family residences.

As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we appreciate the comments provided on:

1. Long-term Planning Policies and Objectives
2. Land Use Ordinance (LUO), Chapter 21, Revised Ordinances of Honolulu (ROH) and the restrictive covenant impacting the Project site
3. Onsite Structures
4. Special Management Area (SMA)
5. Shoreline Setback
6. Flood Zone
7. Coastal Hazards
8. Wetlands and Sensitive Species
9. Dunes and Beaches
10. HICRIS
11. Neighborhood Board

and will discuss these topics in the Draft Environmental Assessment (EA).

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

PBR HAWAII

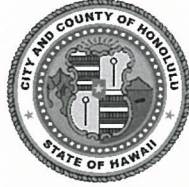
Brittany Wheatman
Planner

DEPARTMENT OF TRANSPORTATION SERVICES
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 3RD FLOOR
HONOLULU, HAWAII 96813

Phone: (808) 768-8305 • Fax: (808) 768-4730 • web: www.honolulu.gov

RICK BLANGIARDI
MAYOR



J. ROGER MORTON
DIRECTOR

JON Y. NOUCHI
DEPUTY DIRECTOR

TP1/22-871752

February 11, 2022

Ms. Brittany Wheatman, Planner
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813

Dear Ms. Wheatman:

Thank you for the opportunity to provide written comments regarding the Pre-Assessment Consultation for a HRS Chapter 343 Environmental Assessment in Support of a Special Management Area Use Permit for the Construction of a Single-family Residence at 10 Kamani Kai Place, Kailua, Oahu, Tax Map Key 4-3-015:055. We have the following comments.

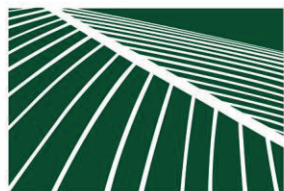
1. Neighborhood Impacts. The area representatives, neighborhood board, as well as the area residents, businesses, emergency personnel (fire, ambulance, and police), Oahu Transit Services, Inc. (TheBus and TheHandi-Van), etc., should be kept apprised of the details and status throughout the project and the impacts that the project may have on the adjoining local street area network.
2. Disability and Communication Access Board (DCAB). Project plans (vehicular and pedestrian circulation, sidewalks, parking and pedestrian pathways, vehicular ingress/egress, etc.) should be reviewed and approved by DCAB to ensure full compliance with Americans with Disabilities Act requirements.

Should you have any questions, please contact Greg Tsugawa, of my staff, at (808) 768-6683.

Very truly yours,

A handwritten signature in blue ink, appearing to read "J. Roger Morton", is written over a light blue horizontal line.

J. Roger Morton
Director



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& ASSOCIATES, INC.

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President / Chairman

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E-mail: sysadmin@pbrhawaii.com

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May 6, 2022

J. Roger Morton
Director
Department of Transportation Services
City and County of Honolulu
650 South King Street, 3rd Floor
Honolulu, HI 96813

Attn: Greg Tsugawa

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Mr. Morton,

Thank you for your letter dated February 12, 2022. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we have reviewed Department of Transportation Services's (DTS) comments, and provide the following responses.

1. Neighborhood Impacts. As recommended, presentations have been made to the Kailua Neighborhood Board, as well as neighbors on 10 Kamani Kai Place. In addition, requests for pre-Assessment consultations were sent to both the Honolulu Police Department and the Honolulu Fire Department, both of whom responded with written comments.

Per your recommendation, the Applicant will notify the residents Kamani Drive that construction vehicles, equipment and deliveries will occur during the construction phase of the project.

2. We appreciate the information provided on the Disability and Communication Access Board (DCAB). While we do not believe that project plans for private single-family residences do not have to be reviewed and approved by DCAB, the project is being planned to accommodate a family member with limited personal mobility.

We appreciate DTS's comments, however, it should be noted that there has been a slight change in the project, and what is now being proposed on the R-10 zoned, 38,510 square foot lot are two, one-story, attached residences. To confirm that the proposed project will have no adverse impact on any of DTS's activities or projects in the surrounding neighborhood, we will request that the City and County of Honolulu Department of Planning & Permitting distribute DTS a copy of the Draft EA for review.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

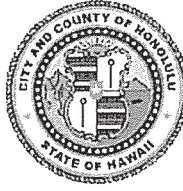
PBR HAWAII

Brittany Wheatman
Planner

HONOLULU FIRE DEPARTMENT
CITY AND COUNTY OF HONOLULU

636 South Street
Honolulu, Hawaii 96813-5007
Phone: 808-723-7139 Fax: 808-723-7111 Internet: www.honolulu.gov/hfd

RICK BLANGIARDI
MAYOR



SHELDON K. HAO
FIRE CHIEF

JASON SAMALA
DEPUTY FIRE CHIEF

January 28, 2022

Ms. Brittany Wheatman
PBR Hawaii & Associates
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Wheatman:

Subject: Preassessment for an Environmental Assessment in Support of a Special
Management Area Use Permit of a Single-Family Residence
10 Kamani Kai Place
Kailua, Hawaii 96791
Tax Map Key: 4-3-015: 005

In response to your letter dated January 12, 2022 regarding the abovementioned subject, the Honolulu Fire Department (HFD) reviewed the submitted information and requires that the following be complied with:

1. Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 feet (46 meters) from fire department access roads as measured by an approved route around the exterior of the building or facility. (National Fire Protection Association [NFPA] 1; 2018 Edition, Sections 18.2.3.2.2 and 18.2.3.2.2.1, as amended.)

A fire department access road shall extend to within 50 feet (15 meters) of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. (NFPA 1; 2018 Edition, Section 18.2.3.2.1.)

2. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to all premises upon which facilities, buildings, or portions of buildings are hereafter constructed or

Ms. Brittany Wheatman
Page 2
January 28, 2022

moved into the jurisdiction. The approved water supply shall be in accordance with Section 18.4. (NFPA 1; 2018 Edition, Section 18.3.1.)

3. The fire department access roads shall be in accordance with Section 18.2.3. (NFPA 1; 2018 Edition, Section 18.2.3.)
4. Submit civil drawings to the HFD for review and approval.

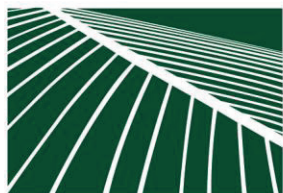
Should you have questions, please contact Fire Captain Timothy Caires of our Fire Prevention Bureau at 808-723-7094 or tcaires@honolulu.gov.

Sincerely,

A handwritten signature in black ink, appearing to be 'C. Uchimura', with a long horizontal stroke extending to the right.

CRAIG UCHIMURA
Acting Assistant Chief

CU/TC:bh



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Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

May 6, 2022

Craig Uchimura
Acting Assistant Chief
Honolulu Fire Department
City and County of Honolulu
636 South Street
Honolulu, HI 96813-5007

Attn: Fire Captain Timothy Caires

**SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343
ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL
MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF
SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA,
O'AHU, TMK 4-3-015:055**

Dear Assistant Chief Uchimura,

Thank you for your letter dated January 28, 2022. We would like to take this opportunity to inform HFD that there has been a slight change in the project, and what is now being proposed on the R-10 zoned, 38,715 square foot lot are two, one-story, attached, single-family residences. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we appreciate the comments provided on:

1. Fire department access roads;
2. Water supply approved by the County;
3. Unobstructed width and unobstructed vertical clearance of a fire apparatus road; and
4. Submitting civil drawings to Honolulu Fire Department;

and will include them in the Draft Environmental Assessment (EA).

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

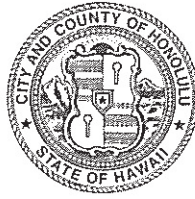
PBR HAWAII


Brittany Wheatman
Planner

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POLICE DEPARTMENT
CITY AND COUNTY OF HONOLULU

801 SOUTH BERETANIA STREET • HONOLULU, HAWAII 96813
TELEPHONE: (808) 529-3111 • INTERNET: www.honolulu-pd.org



RICK BLANGIARDI
MAYOR

RADE K. VANIC
INTERIM CHIEF

OUR REFERENCE EO-DK

January 28, 2022

Ms. Brittany Wheatman, Planner
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Wheatman:

This is in response to your letter of January 12, 2022, requesting input on the Pre-Consultation, Environmental Assessment, in support of a Special Management Area Use Permit for the construction of a single-family residence project located at 10 Kamani Kai Place in Kailua.

The Honolulu Police Department (HPD) has reviewed the project plans and anticipates short-term impacts to traffic in the area, as Kamani Drive is a dead-end street that leads to North Kalaheo Avenue (one of the main roads in the area). The HPD recommends that adequate notification be made to area residents due to the ingress and egress of construction vehicles, equipment, and deliveries during the construction phase of the project.

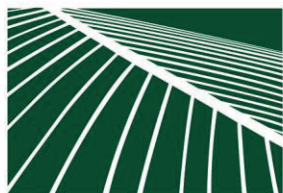
If there are any questions, please call Major Crizalmer Caraang of District 4 (Kaneohe, Kailua, Kahuku) at (808) 723-8639.

Thank you for the opportunity to review this project.

Sincerely,

A handwritten signature in black ink, appearing to read "Darren Chun", followed by a horizontal line.

DARREN CHUN
Assistant Chief of Police
Support Services Bureau



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& ASSOCIATES, INC.

R. STAN DUNCAN, ASLA
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Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

May 6, 2022

Darren Chun
Assistant Chief of Police
Support Services Bureau
Police Department
801 South Beretania Street
Honolulu, HI 96813

Attn: Major Crizalmer Caraang, District 4

**SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343
ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL
MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF
SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA,
O'AHU, TMK 4-3-015:055**

Dear Assistant Chief Chun,

Thank you for your letter dated January 28, 2022. As the planning sub-consultant for the Applicant, Jennifer A. Raining 2007 Trust, we have reviewed the Honolulu Police Department's comments, and acknowledge that there could be short-term impacts to traffic in the area. Per your recommendation, the Applicant will notify the residents Kamani Drive that construction vehicles, equipment and deliveries will occur during the construction phase of the project.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

PBR HAWAII


Brittany Wheatman
Planner

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BOARD OF WATER SUPPLY

CITY AND COUNTY OF HONOLULU
630 SOUTH BERETANIA STREET
HONOLULU, HI 96843
www.boardofwatersupply.com



February 9, 2022

RICK BLANGIARDI, MAYOR

BRYAN P. ANDAYA, Chair
KAPUA SPROAT, Vice Chair
RAY C. SOON
MAX J. SWORD
NA'ALEHU ANTHONY

JADE T. BUTAY, Ex-Officio
DAWN B. SZEWCZYK, Designate Ex-Officio

ERNEST Y. W. LAU, P.E.
Manager and Chief Engineer

ELLEN E. KITAMURA, P.E.
Deputy Manager and Chief Engineer *EW*

PBR Hawaii & Associates, Inc.
Ms. Brittany Wheatman
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813

RECEIVED
FEB 14 2022
PBR HAWAII
Acctg. Dept.

Dear Ms. Wheatman:

Subject: Your Letter Requesting Water Availability for a Proposed
Single-Family Dwelling at 10 Kamani Kai Place, TMK 4-3-015:055

The existing water system is adequate to accommodate the proposed single-family dwelling (SFD) that will be replacing the existing SFD on the subject property. This information is based upon current data and, therefore, the Board of Water Supply (BWS) reserves the right to change any position or information stated herein up until the final approval of the building permit application. The final decision on the availability of water will be confirmed when the building permit application is submitted for our review and approval.

All applicable BWS charges for the proposed SFD will be determined upon our review of the building permit application and must be paid prior to approval of the building permit application.

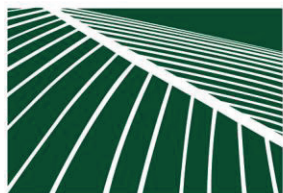
In addition, if any portion of the proposed SFD is to be constructed more than 150 feet from the public right-of-way, please contact and coordinate any on-site fire protection requirements with the Honolulu Fire Department, Fire Plans Section at 723-7094.

If you have any questions, please call Garon Hamasaki of our Service Engineering Section, at 748-5460.

Very truly yours,

ERNEST Y. W. LAU, P.E.
Manager and Chief Engineer

cc: Fire Plans Section, HFD



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& ASSOCIATES, INC.

R. STAN DUNCAN, ASLA
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Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

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May 6, 2022

Ernest Y.W. Lau, P.E.
Manager and Chief Engineer
Board of Water Supply
City and County of Honolulu
630 South Beretania Street
Honolulu, HI 96843

Attn: Garon Hamasaki, Service Engineering Section

**SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343
ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL
MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF
SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA,
O'AHU, TMK 4-3-015:055**

Dear Mr. Lau,

Thank you for your letter dated February 9, 2022. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we have reviewed your agency's comments, and provide the following responses.

We appreciate your information on the existing water system, however, there has been a slight change in the project, and what is now being proposed on the R-10 zoned, 38,715 square foot lot are two residences. In either case, we understand that the information BWS provided is based upon current data and, therefore, the BWS reserves the right to change any position or information provided up until the final approval of the building permit application. We acknowledge the final decision on the availability of water will be confirmed when the building permit application is submitted for BWS review and approval.


We also understand that all applicable BWS charges for the proposed residences will be determined upon BWS' review of the building permit application(s) and must be paid prior to approval of the building permit application(s).

In addition, if any portion of the proposed project is to be constructed more than 150 feet from the public right-of-way, the Applicant (or its design consultant) needs to contact and coordinate any on-site fire protection requirements with the Honolulu Fire Department, Fire Plans Section.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Final EA.

Sincerely,

PBR HAWAII


Brittany Wheatman
Planner

From: [Arindain, Ronnie E](#)
To: [Brittany Wheatman](#)
Subject: R&C 10 Kamani Kai PL
Date: Monday, January 31, 2022 4:40:08 PM
Attachments: [Kamani kai PL.pdf](#)



January 31, 2022

PBR HAWAII & ASSOCIATES INC
1001 BISHOP ST, SUITE 650
Honolulu, HI 96813

Attention: Brittany Wheatman

Subject: 10 Kamani Kai PL construction Project.

Aloha Brittany,

Thank you for the opportunity to review and comment 10 Kamani Kai PL construction Project.

Spectrum is submitting information of the underground and aerial facilities near, and within your project area. Please note that these drawings are to be used as a reference only. The exact location, depth, and routing of all CATV facilities must be verified in the field due to construction variances.

According to our drawings, there are CATV Aerial facilities near, and possibly in your Project Area. Please refer to attached drawing for a reference.

Mahalo,

Ikaika Arindain
Spectrum Engineering
Construction Coordinator
Phone: (808)476-3327
Email: Ronnie.Arindain@charter.com

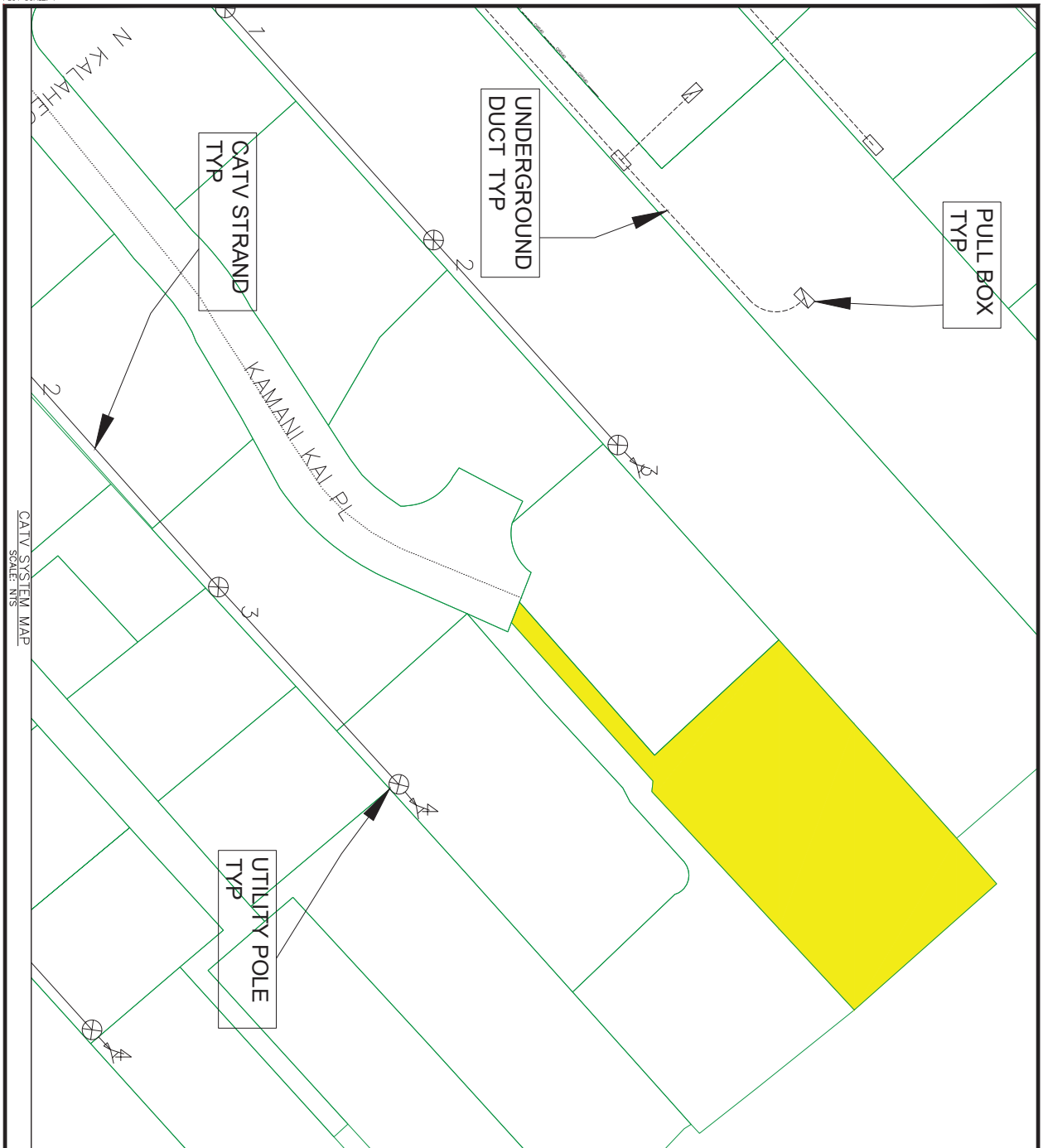
Mahalo,

Ikaika Arindain

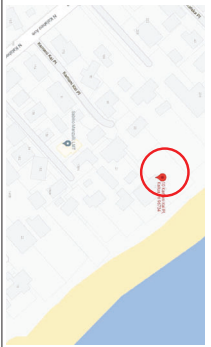
OSP Engineering | Construction Coordinator |
200 Akamainui Street | Mililani, HI 96789

(808) 476-3327 | Ronnie.Arindain@charter.com

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CATV SYSTEM MAP
SCALE: NTS



LOCATION MAP
BRYAN'S MAP 27, DAT

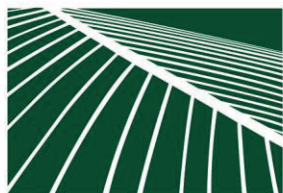
PROPERTY HIGHLIGHTED IN YELLOW.

SINGLE FAMILY CONSTRUCTION

10 KAMANI KAI PL
KAILUA

200 KAMANI STREET
KAILUA, HI 96734
PHONE # (808) 625-2100

TITLE:		LOCATION MAP	
NOTES:		CATV RISER DIAGRAM	
PRODUCT NO.:		CATV SYSTEM MAP	
DATE:		1/31/22	
SCALE:		NTS	
DES. BY:		DR. BY:	
IA:		IA:	
PRODUCT NO.:		IA:	
SHEET NO.:		1	
1		1	
1		1	



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RAYMOND T. HIGA, ASLA
Associate Principal

MARC SHIMATSU, ASLA
Associate Principal

DACHENG DONG, LEED® AP
Associate Principal

ANN MIKIKO BOUSLOG, PhD
Project Director

RAMSAY R. M. TAUM
Cultural Sustainability Planner

MICAH McMILLEN, ASLA, LEED® AP
Senior Associate

NATHALIE RAZO
Senior Associate

GRACE ZHENG, ASLA, LEED® GA, SITES® AP
Senior Associate

ETSUYO KILA
Associate

GREG NAKAI
Associate

NICOLE SWANSON, ASLA
Associate

1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

May 6, 2022

Ikaika Arindain
Construction Coordinator
OSP Engineering
Charter Communications
200 Akamainui Street
Mililani, HI 96789

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Mr. Arindain,

Thank you for your letter dated January 31, 2022. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we have reviewed your company's comments, and greatly the drawing provided with your letter.

We appreciate your information on Charter Communication's system, however, there has been a slight change in the project, and what is being proposed are two residences.

We value your participation in the environmental review process. Your letter and drawing will be reproduced in the forthcoming Draft EA.

Sincerely,

PBR HAWAII


Brittany Wheatman
Planner

printed on recycled paper

From: [Dionne Talia](#)
To: [Brittany Wheatman](#)
Cc: [Vincent Shigekuni](#)
Subject: FW: Pre EA Letter Received wrt 10 Kamani Kai Place
Date: Friday, January 14, 2022 6:53:42 PM
Attachments: [KNB Pre EA for 10 Kamani Pl of 1-12-22.pdf](#)

From: billhicksknb@gmail.com <billhicksknb@gmail.com>
Sent: Friday, January 14, 2022 4:37 PM
To: sysadmin <sysadmin@pbrhawaii.com>
Cc: 'Donna Wong' <donnawong967@gmail.com>
Subject: Pre EA Letter Received wrt 10 Kamani Kai Place

Aloha PBR Hawaii...

I received the attached letter today from Brittany Wheatman of your firm regarding a Pre EA for a “replacement single-family residence” at 10 Kamani Kai Place.

I have a few questions:

How many square feet and stories is the existing house and what year was it built?

How many square feet and stories is the proposed replacement house?

What is the shoreline setback of the proposed replacement house?

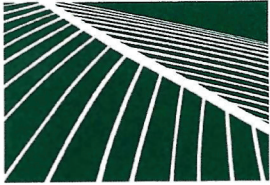
Are any variances being sought?

Mahalo!

Aloha,

Bill Hicks

Chairman, Kailua Neighborhood Board



**PBR HAWAII
& ASSOCIATES, INC.**

R. STAN DUNCAN, ASLA
President / Chairman

RUSSELL Y. J. CHUNG, FASLA, LEED® AP BD+C
Executive Vice-President / Principal

VINCENT SHIGEKUNI
Senior Vice-President / Principal

GRANT T. MURAKAMI, AICP, LEED® AP BD+C
Senior Vice-President / Principal

KIMI MIKAMI YUEN, LEED® AP BD+C
Vice-President / Principal

TOM SCHNELL, AICP
Principal

CATIE CULLISON, AICP
Principal

THOMAS S. WITTEN, FASLA
Chairman Emeritus

W. FRANK BRANDT, FASLA
Founding Partner

RAYMOND T. HIGA, ASLA
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ETSUYO KILA
Associate

GREG NAKAI
Associate

SELENA PANG
Associate

NICOLE SWANSON
Associate

1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

printed on recycled paper

January 12, 2022

Mr. Bill Hicks, Chair
Neighborhood Board No. 31
923 Akumu Street
Kailua, HI 96734

**SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343
ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL
MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION
OF A SINGLE-FAMILY RESIDENCE AT 10 KAMANI KAI PLACE,
KAILUA, O'AHU, TMK 4-3-015:055**

Dear Mr. Hicks,

The Applicant, Jennifer A. Raining 2007 Trust, is proposing the construction of a new single-family home at 10 Kamani Kai Place, on a lot identified as TMK 4-3-015:055. The entire property is zoned R-10 Residential and is located within the Special Management Area (SMA). Per Senate Bill 2060, SD2, HD2, the proposed project will now require a Special Management Area Use Permit (SMP).

On behalf of the Applicant, PBR HAWAII will be preparing an Environmental Assessment (EA) in support of a SMA Use Permit for the project. With this letter, we seek your input as to whether the proposed replacement single-family residence may have an impact on any of your existing or proposed projects, plans, policies, or programs that we should consider when preparing the EA. Please send us any comments you may have by **February 12, 2022** to:

PBR HAWAII & Associates, Inc.
Attn: Brittany Wheatman
1001 Bishop Street, Suite 650
Honolulu, HI 96813-3484

Sincerely,

PBR HAWAII

Brittany Wheatman
Planner

Attachment: Regional Location Map

Rec'd. 1/14/22

Emailed to Donna
1/14/22.



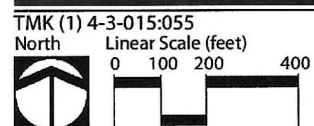
DATE: 12/14/2021

Legend

 Project Site

Regional Location Map

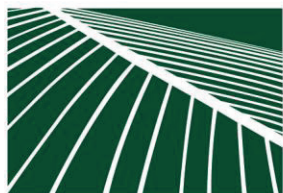
10 Kamani Kai Place



Island of O'ahu



Source: City & County of Honolulu (2021), ESRI Online Basemaps.
(Disclaimer: This graphic has been prepared for general planning purposes only.)



PBR HAWAII
& ASSOCIATES, INC.

R. STAN DUNCAN, ASLA
President / Chairman

RUSSELL Y. J. CHUNG, FASLA, LEED® AP BD+C
Executive Vice-President / Principal

VINCENT SHIGEKUNI
Senior Vice-President / Principal

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Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

May 6, 2022

Mr. Bill Hicks, Chair
Kailua Neighborhood Board #31
923 Akumu Street
Kailua, Hawai'i 96734

SUBJECT: PRE-ASSESSMENT CONSULTATION FOR A HRS CHAPTER 343 ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A SPECIAL MANAGEMENT AREA USE PERMIT FOR THE CONSTRUCTION OF SINGLE-FAMILY RESIDENCES AT 10 KAMANI KAI PLACE, KAILUA, O'AHU, TMK 4-3-015:055

Dear Mr. Hicks:


Thank you for your email dated January 14, 2022, regarding the subject project. As the planning sub-consultant for the Applicant, Jennifer A. Rainin 2007 Trust, we can provide the following responses to your questions:

1. Subsequent to distributing the pre-Assessment consultation, we learned that the prior house was on the larger, original parcel, which was subsequently subdivided, so the prior structure was on a mauka and now separate lot. That information will be included in the Draft EA.
2. There has been a slight change in the project, and what is now being proposed on the R-10 zoned, 38,310 square foot lot, are two, one-story, attached residences. The proposed floor area is 9,889 square feet (sf) and the gross area is 10,171 sf.
3. The proposed residences will be setback approximately 60 feet from the certified shoreline.
4. We can report that no variances are currently contemplated.

We value your participation in the environmental review process. Your letter will be reproduced in the forthcoming Draft EA.

Sincerely,

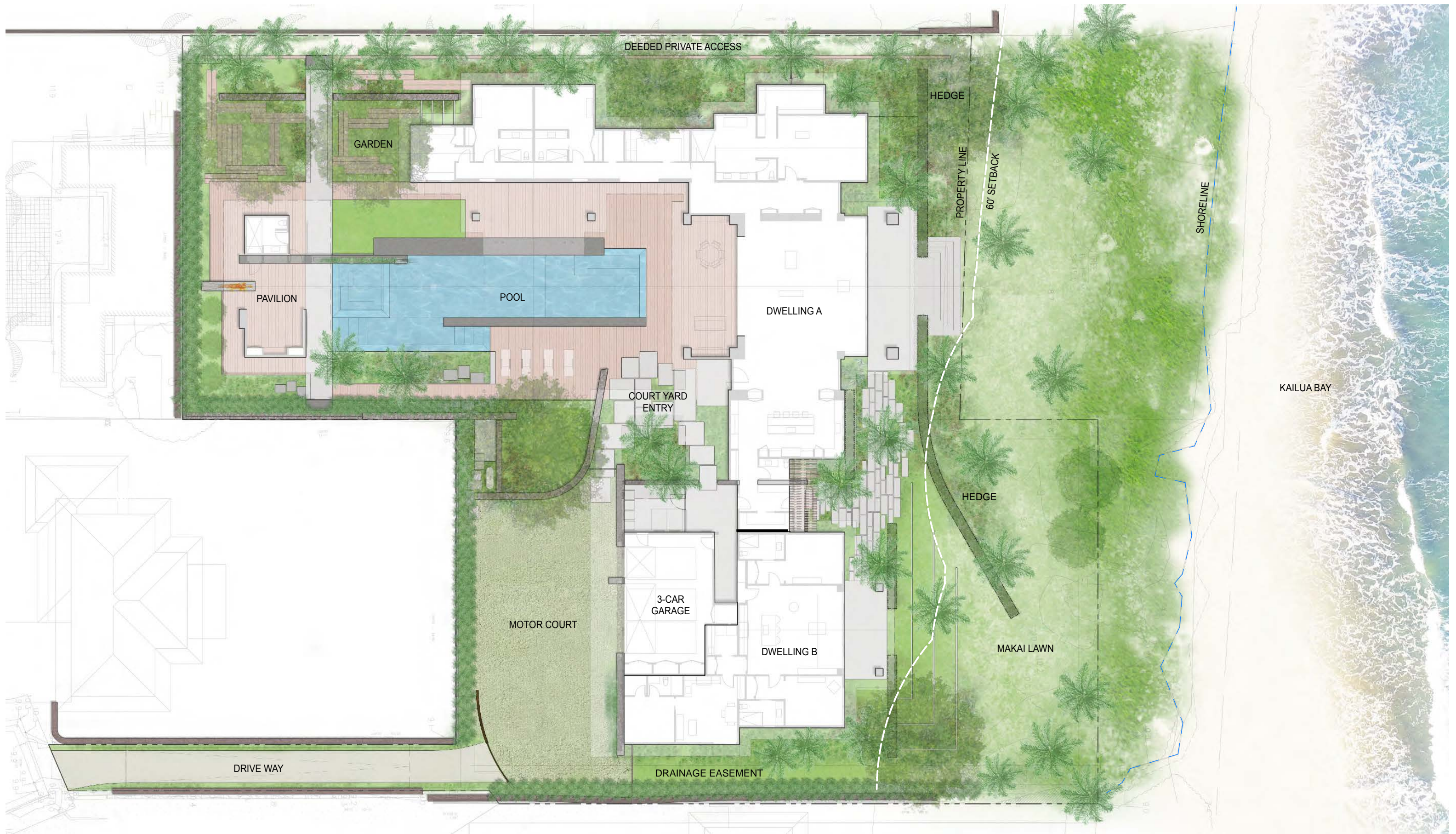
PBR HAWAII


Brittany Wheatman
Planner

printed on recycled paper

Appendix B

Conceptual Site Plan



Rainin Residence
10 Kamani Kai Place
Kailua, Hawai'i
APRIL 2022

Preliminary Site Plan

Scale: NTS



1021 Smith Street Penthouse Honolulu Hawaii 96817
T 808.524.8255 F 808.523.3419 E info@pva.com
www.pva.com



Appendix C

Conceptual Building Elevations and Sections



Rainin Residence
10 Kamani Kai Place
Kailua, Hawai'i
APRIL 2022

Preliminary Elevation
Makai
Scale: NTS

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www.pva.com

PVA
petervincentarchitects



Rainin Residence
10 Kamani Kai Place
Kailua, Hawai'i
APRIL 2022

Preliminary Elevation
Mauka
Scale: NTS

1021 Smith Street Penthouse Honolulu Hawaii 96817
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www.pva.com

PVA
petervincentarchitects



Rainin Residence
10 Kamani Kai Place
Kailua, Hawai'i
APRIL 2022

**Preliminary Kane'ohe
Elevation**
Scale: NTS

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www.pva.com

PVA
petervincentarchitects



Rainin Residence
 10 Kamani Kai Place
 Kailua, Hawai'i
 APRIL 2022

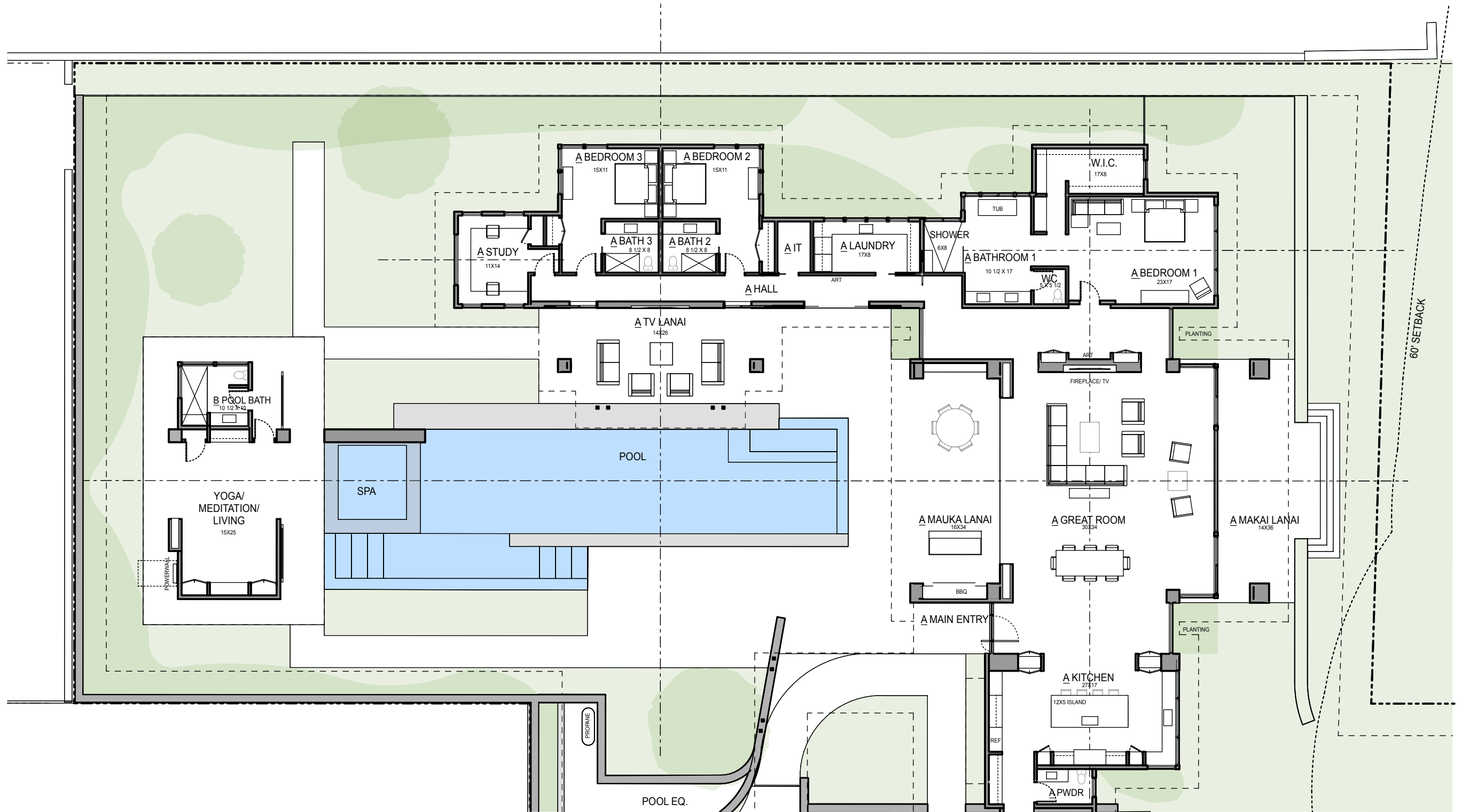
**Preliminary Waimanalo
 Elevation**
 Scale: NTS

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 T 808.524.8255 F 808.523.3419 E info@pva.com
 www.pva.com

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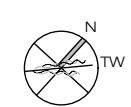
Appendix D

Conceptual Floor Plans



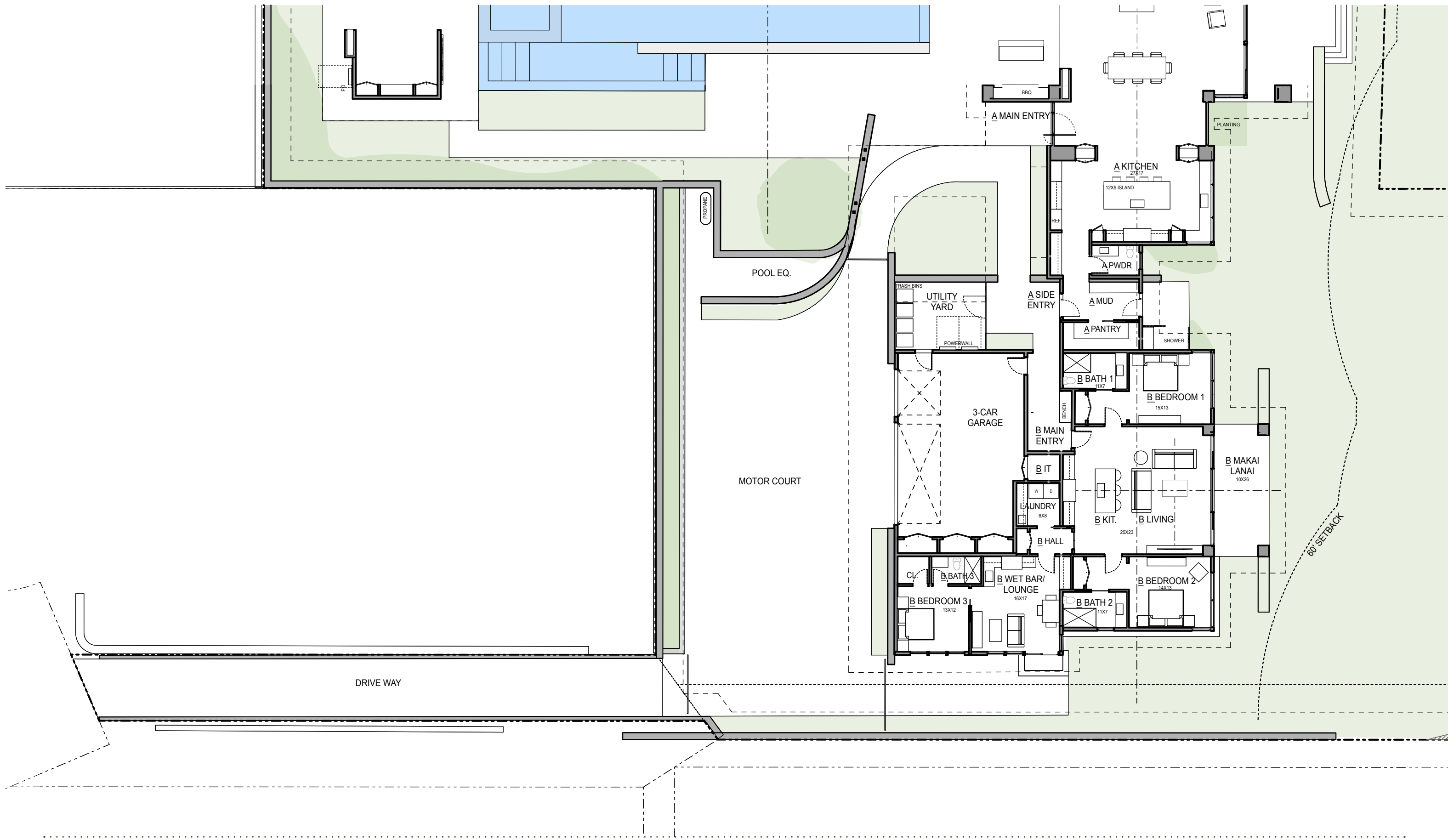
Rainin Residence
 10 Kamani Kai Place
 Kailua, Hawai'i
 March 15, 2022

**Preliminary Floor Plan-
 Dwelling A**
 Scale: 1/16" = 1'-0"
 0 8' 16' 32'



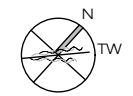
1021 Smith Street Penthouse Honolulu Hawaii 96817
 T 808.524.8255 F 808.523.3419 E info@pva.com
 www.pva.com





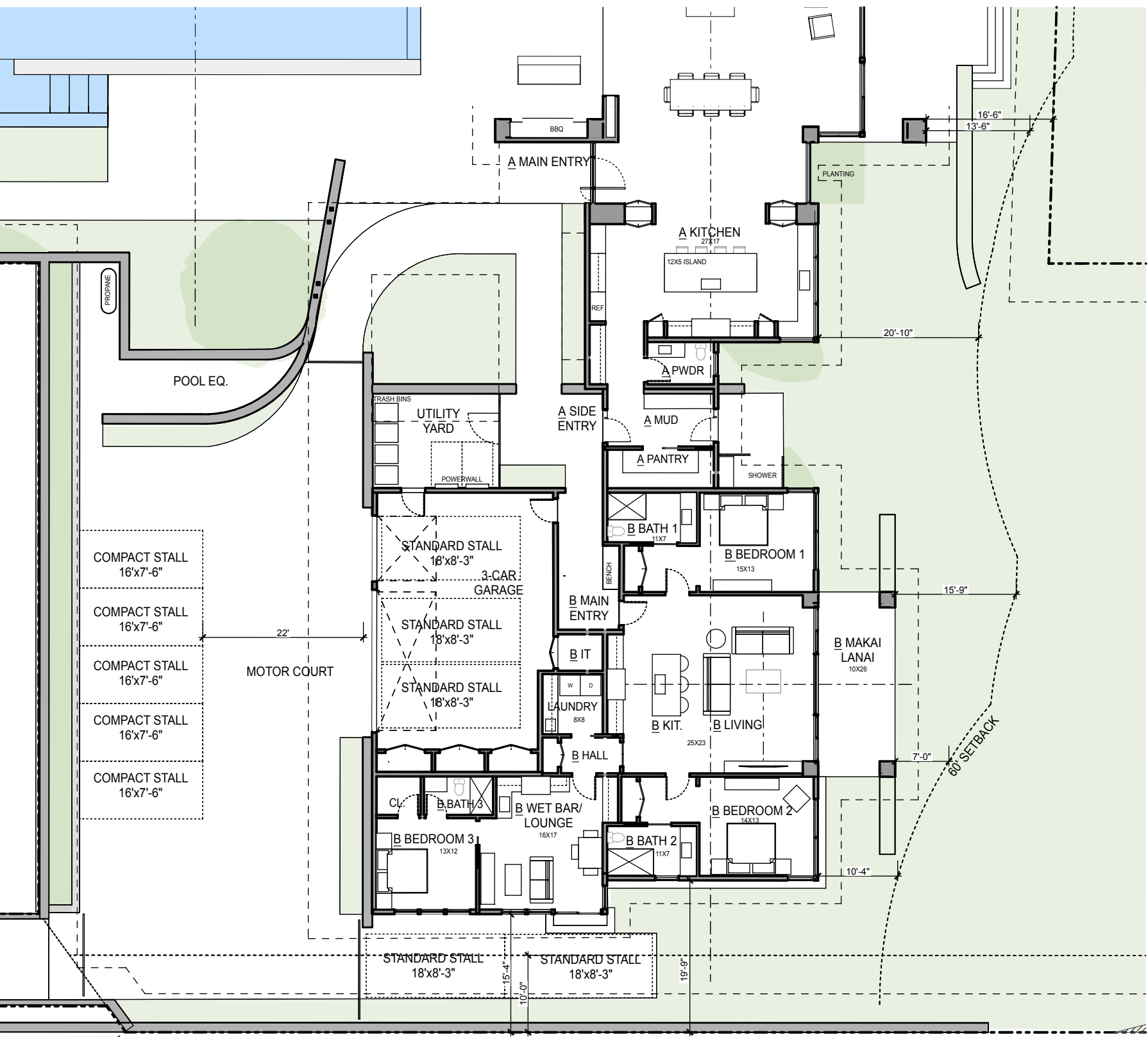
Rainin Residence
10 Kamani Kai Place
Kailua, Hawai'i
March 15, 2022

**Preliminary Floor Plan -
Dwelling B**
Scale: 1/16" = 1'-0"
0 8' 16' 32'



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www.pva.com





10 PARKING STALLS REQUIRED
10 PARKING STALLS PROVIDED

DWELLING A
MAIN HOUSE: 5035 SF
LANAI 1: 303 SF
LANAI 2: 516 SF
LANAI 3: 434 SF
TOTAL DWELLING A: 6288 SF

DWELLING B
MAIN HOUSE: 2052 SF
LANAI 4: 240 SF
COVERED ENTRY WALKWAY: 1086 SF
TOTAL DWELLING B: 3378 SF

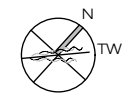
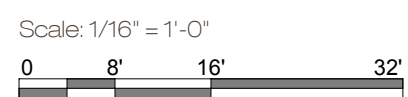
FLOOR AREA

DWELLING A	6288 SF	
DWELLING B	+3378 SF	
= 9666 SF		= 10 PARKING STALLS REQUIRED
		= 10 PARKING STALLS PROVIDED

ACCESSORY SPACES
(NOT INCLUDED IN PARKING CALC)
GARAGE: 901 SF
POOL PAVILION: 632 SF

Rainin Residence
10 Kamani Kai Place
Kailua, Hawai'i
APRIL 2022

Parking Diagram / Area Calcs



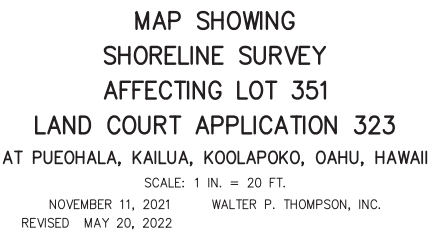
1021 Smith Street Penthouse Honolulu Hawaii 96817
T 808.524.8255 F 808.523.3419 E info@pva.com
www.pva.com



Appendix E

Certified Shoreline Survey

PROPERTY OWNER: JENNIFER A RAININ 2007 TRUST
133 CAPERTON AVE.
PIEDMONT, CA 94611



THIS WORK WAS PREPARED BY
ME OR UNDER MY SUPERVISION
John R. K. Akina
Exp. 04/30/22



P.O. BOX 3351 HONOLULU, HI 96801
PH. (808) 536-2705 FX. (808) 599-4032

Appendix F

Topographic Map

LEGEND

LINEWORK

PRIMARY BOUNDARY LINE

HISTORIC LAND TITLE LINE

SUPPLEMENTARY BOUNDARY LINE

EASEMENT LINE

BUILDING LINE

UNDERGROUND GASLINE

UNDERGROUND WATER

UNDERGROUND SEWER

UNDERGROUND STORM DRAIN

FENCE LINE

PARKING/STRIPING LINE

FLOOD ZONE

TOP OF SLOPE

ACCESS PERMITTED

NO VEHICULAR ACCESS PERMITTED

NO ACCESS PERMITTED

SYMBOLS

A.C.

ASPHALTIC CONCRETE

ACU

AIR CONDITIONING UNIT

AL

AREA LIGHT

ARV

AIR RELIEF VALVE

ASP

AUTO SPRINKLER (FIRE PROTECTION)

BFP

BACK FLOW PREVENTER

CATV

CABLE TELEVISION BOX

CB

CATCH BASIN

CBMH

CATCH BASIN MANHOLE

COMM

COMMUNICATIONS BOX

DI

DRAIN INLET

EBX

ELECTRICAL BOX

FH

FIRE HYDRANT

GTMH

GREASE TRAP MANHOLE

GW

GUY WIRE

HECO

HAWAIIAN ELECTRIC COMPANY

HEMH

HAWAIIAN ELECTRIC MANHOLE

HTCO

HAWAIIAN TELCOM (COMMUNICATIONS)

HTMH

HAWAIIAN TELCOM MANHOLE

ICB

IRRIGATION CONTROL BOX

ICV

IRRIGATION CONTROL VALVE

LP

LAMP POST

MW

MONITORING WELL

NMWH

NONPOTTABLE WATER MANHOLE

NWV

NONPOTTABLE WATER VALVE

PALM

PALM TREE

PP

POWER POLE

SDMH

STORM DRAIN MANHOLE

SLB

STREET LIGHT BOX

SMH

SEWER MANHOLE

SP

SIGN POST

STL

STREET LIGHT

TSL

TRAFFIC SIGNAL BOX

TYP

TYPICAL FEATURE

UBX

UTILITY BOX

UMH

UTILITY MANHOLE

UP

UTILITY POLE

WCR

WHEEL CHAIR RAMP

WM

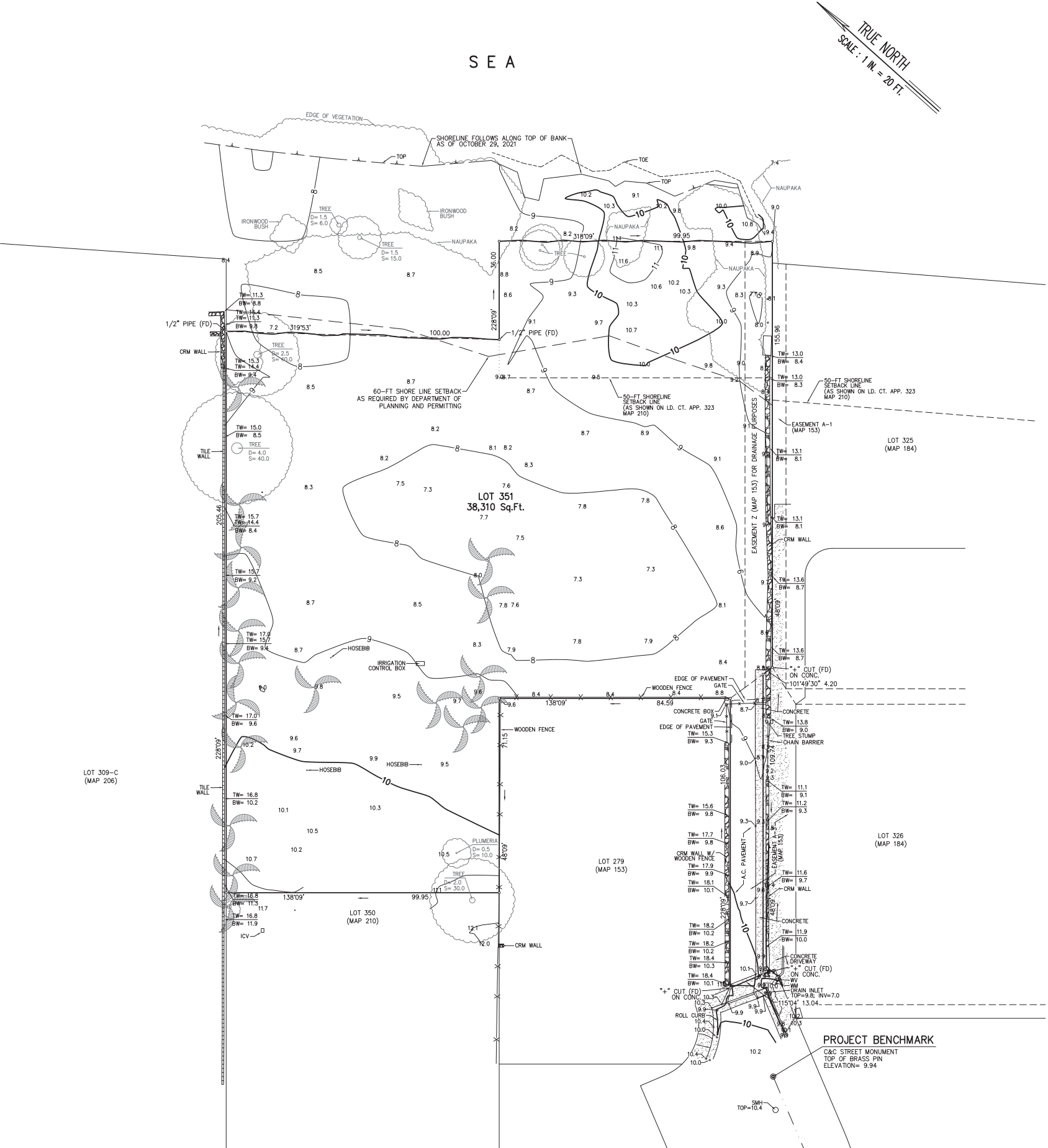
WATER METER

WMH

WATER MANHOLE

WV

WATER VALVE



NOTES

1.

FIRM DATA

FLOOD ZONE: X

COMMUNITY NO: 150001

FIRM INDEX DATE: 11/05/2014

LETTER OF MAP CHANGE: NONE

FEMA FIRM PANEL: 15003C0290H

PANEL EFFECTIVE DATE: 11/05/2014

(TAKEN FROM STATE OF HAWAII - NFIP, FLOOD HAZARD ASSESSMENT TOOL

<http://gis.hawaiiip.org/fhat/>)

2.

BUILDING SETBACK LINES

LAND USE ORDINANCE ZONING: R-10

TABLE: 21-3.2

FRONT YARD SETBACK: 10-FT

REAR AND SIDE YARD SETBACKS: 5-FT

(TAKEN FROM LAND USE ORDINANCE, CITY AND COUNTY OF HONOLULU)

3.

ALL VISIBLE UTILITY STRUCTURES HAVE BEEN LOCATED IN THE FIELD, HOWEVER, CONNECTION OF UNDERGROUND UTILITY LINES AS SHOWN ARE UN-VERIFIED AND COMPILED FROM EXISTING DATA.

UNDERGROUND UTILITIES SHOWN HEREON ARE FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM THE BEST AVAILABLE SOURCES, BUT FROM OTHERS NOT CONNECTED WITH THIS COMPANY. THEREFORE, NO GUARANTEE IS MADE ON THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.

MAP SHOWING
TOPOGRAPHIC SURVEY
AFFECTING LOT 351
LAND COURT APPLICATION 323
AT PUEOHALA, KAILUA, KOOLAPOKO, OAHU, HAWAII
SCALE: 1 IN. = 20 FT.
NOVEMBER 11, 2021 WALTER P. THOMPSON, INC.
REVISED JUNE 2, 2022

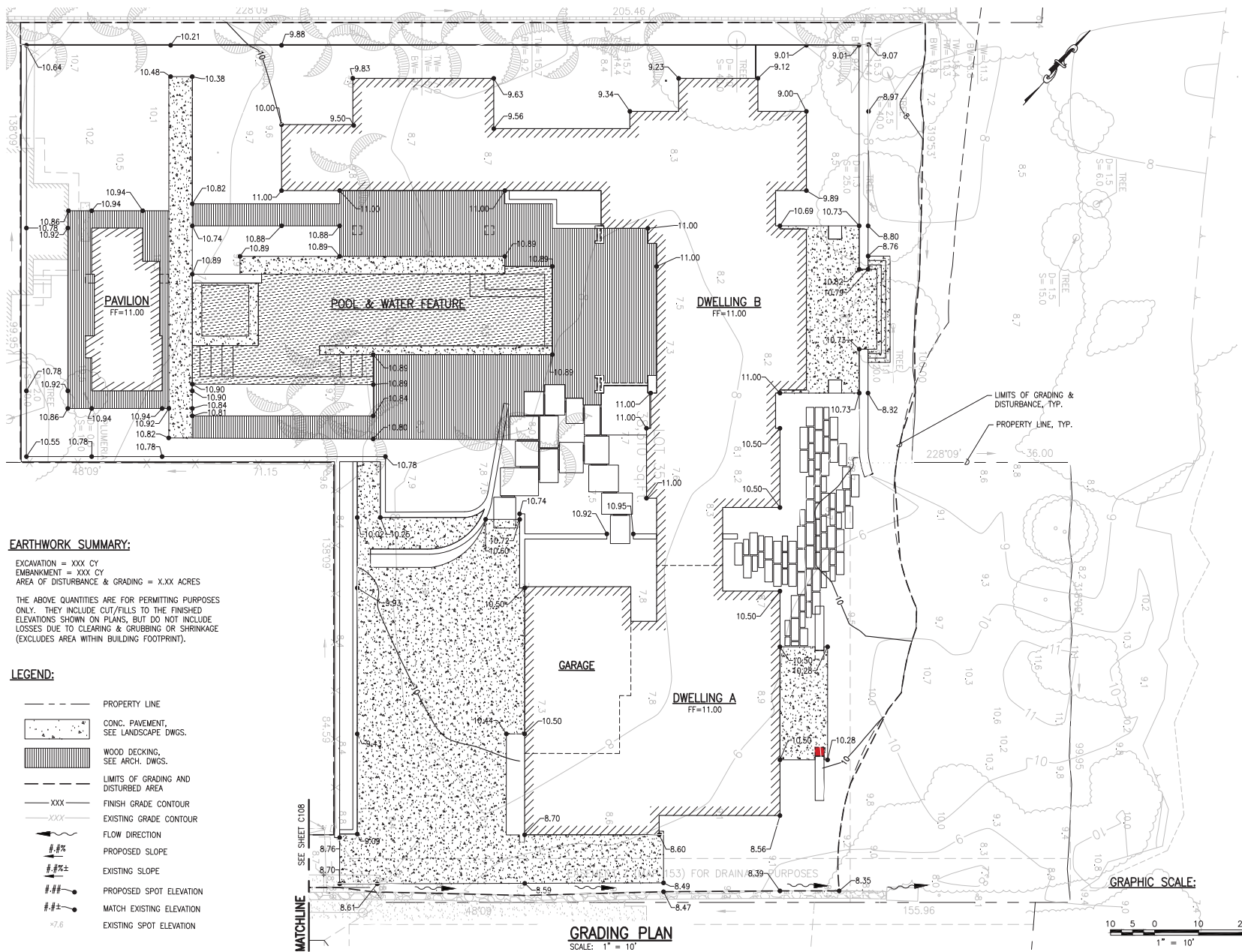


THIS WORK WAS PREPARED BY
ME OR UNDER MY SUPERVISION
John R. K. Akina
Exp. 04/30/22



Appendix G

Conceptual Grading Plans



IVA
 petervincentarchitects
 1021 Smith Street Penthouse
 Honolulu, Hawaii 96813
 T 808.824.8255 F 808.823.3419
 E info@pva.com www.pva.com

10 Kamani Kai Place

Design for Two Single Family Dwelling

10 Kamani Kai Place, Kailua, HI 96734

TMK: 4-3-015:048

Project 21038.00

Date April 27, 2022

Drawing GRADING PLAN

Scale As Noted

Drawn By BC & JC

Revisions:

- △
- △
- △
- △
- △

Draft Environmental Assessment Submittal Drawings

This work was prepared by me or under my supervision and construction of the project will be under my supervision. I warrant that I am a duly licensed professional engineer in the State of Hawaii. I warrant that I am a duly licensed professional landscape architect in the State of Hawaii. I warrant that I am a duly licensed professional architect in the State of Hawaii.

Signature

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C107

LOT 335
(MAP 193)

BENCHMARK
TOP OF BRASS PIN
ELEV.=9.94

LIMITS OF GRADING &
DISTURBANCE, TYP.

PROJECT BENCHMARK
C&C STREET MONUMENT
TOP OF BRASS PIN
ELEVATION= 9.94

GRADING PLAN
SCALE: 1" = 10'

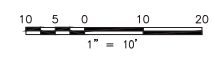
PROPERTY LINE, TYP.

SEE SHEET C107
MATCHLINE

LEGEND:

- PROPERTY LINE
- CONC. PAVEMENT,
SEE LANDSCAPE DWGS.
- LIMITS OF GRADING AND
DISTURBED AREA
- FINISH GRADE CONTOUR
- EXISTING GRADE CONTOUR
- FLOW DIRECTION
- PROPOSED SLOPE
- EXISTING SLOPE
- PROPOSED SPOT ELEVATION
- MATCH EXISTING ELEVATION
- EXISTING SPOT ELEVATION

GRAPHIC SCALE:



IIVA
petervincenc architects
1021 Smith Street Penthouse
Honolulu, Hawaii 96817
T 808.624.2255 F 808.623.3410
E info@pva.com www.pva.com

10 Kamani Kai Place

Design for Two Single Family Dwelling

10 Kamani Kai Place, Kailua, HI 96734

TMK: 4-3-015-048

Project	21039.00
Date	April 27, 2022
Drawing	GRADING PLAN
Scale	As Noted
Drawn By	BC & JC

Revisions:	
△	
△	
△	
△	
△	

Draft Environmental Assessment Submittal Drawings

This work was prepared by me or under my supervision and construction of the project will be under my supervision. I warrant that the work was prepared by me or under my supervision and construction of the project will be under my supervision. I warrant that the work was prepared by me or under my supervision and construction of the project will be under my supervision.

Signature: _____
Date: _____

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C108

Appendix H

Conceptual Landscape Plan

Landscape Plan



Spathoglottis plicata
Ground Orchid



Asplenium nidus
Bird nest fern



Alpinia purpurata Pink
Pink Ginger



Gardenia brighamii
Gardenia



Ptychosperma macarthurii
MacArthur Palm



Hibiscus arnottianus
Hawaiian White Hibiscus



Alocasia macrorrhiza
Giant Taro



Howea forsteriana
Kentia Palm



Heliconia psittacorum
Parrot Heliconia

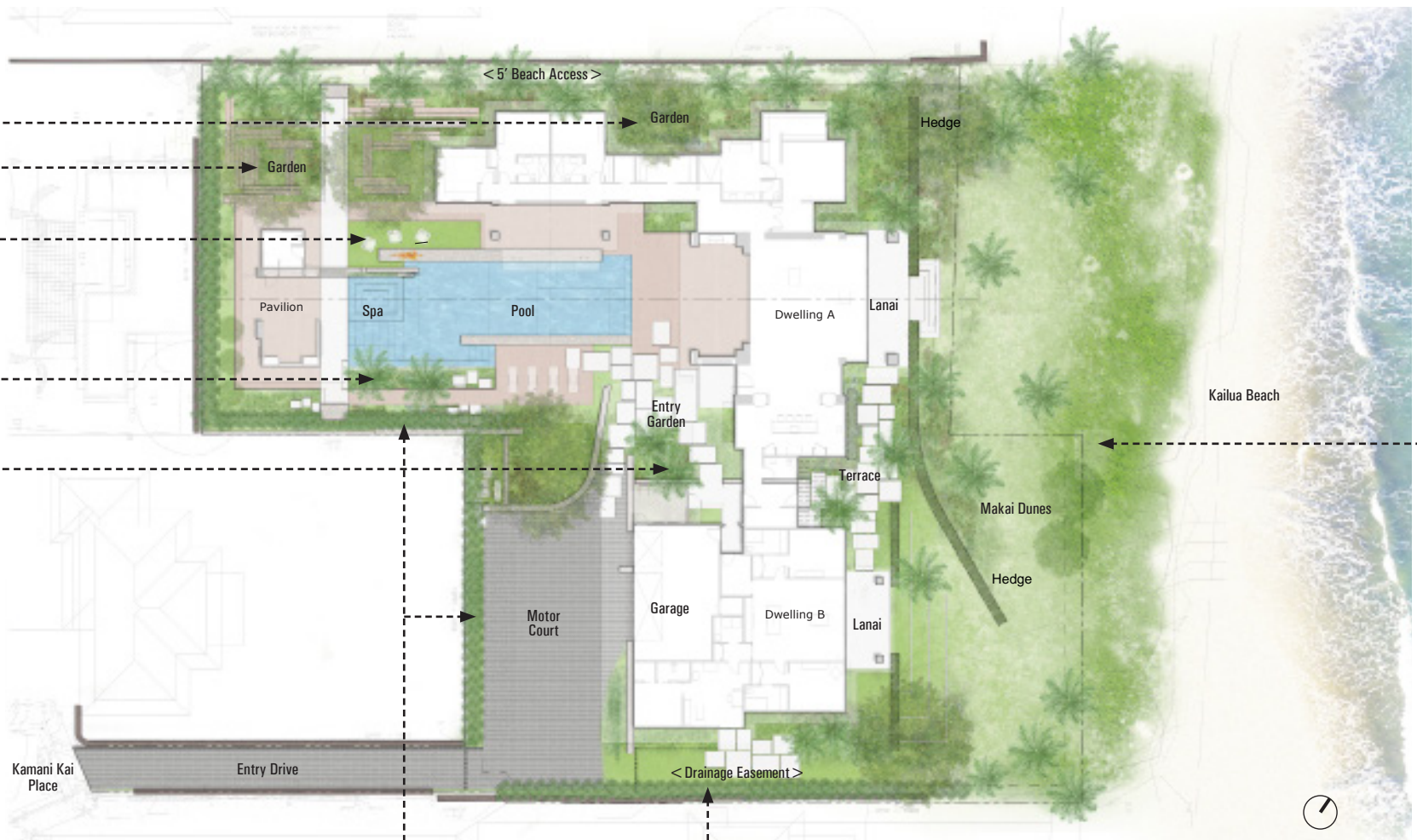


Alpinia purpurata Pink
Pink Ginger



Lobster Claw Heleconia
Heleconia rostrata

CENTRAL AND SURROUNDING GARDENS



POOL AND DRIVEWAY



Vitex rotundifolia
Pohinahina



Calophyllum inophyllum
Kamani Tree



Plumeria obtusa
Singapore Plumeria Tree



Scaevola taccada
Beach Naupaka



Carex comans
New Zealand Sedge



Vitex rotundifolia
Pohinahina



Dracaena halapepe
Royal Hala Pepe



Cocos nucifera
Coco Palm



Heliotropium foertherianum
Beach Heliptrope

MAKAI DUNES

Appendix I

Kailua Neighborhood Board No.
31, April 7, 2022 Meeting Notes



KAILUA NEIGHBORHOOD BOARD NO. 31

NEIGHBORHOOD COMMISSION • 925 DILLINGHAM BOULEVARD, SUITE 160 • HONOLULU, HAWAII, 96817
PHONE (808) 768-3710 • FAX (808) 768-3711 • INTERNET: <http://www.honolulu.gov/nco>

DRAFT REGULAR MEETING MINUTES

THURSDAY, APRIL 7, 2022

KAILUA DISTRICT PARK AND

Via VIDEO TELECONFERENCE (WEBEX)

CALL TO ORDER – Chair Hicks called the meeting to order at 7:00 p.m., performing a roll call, **Quorum was NOT established with eight (8) board members present.** Note: This 19-member Board requires 10 members to establish quorum and to take official Board action.

Board Members Present – Bill Hicks, Levani Lipton, Jade Lau, Claudine Tomasa, Steve Trecker, Gary Weller, Donna Wong, Kelli Ann Kobayashi, Josiah Akau (arrived at 7:10 p.m.), Kathy Thurston (arrived at 7:11 p.m.), Jonathan White (arrived at 7:16 p.m.), Alan Akao (arrived at 7:33 p.m.), and David Laeha (arrived at 8:25 p.m.).

Board Members Absent – Amber Granite, Mele Kalama-Kingma, Jennifer Tobara-Honold, Jeffrey Zuckernick, Daniel Vermillion, and Colin Kippen (resigned before the meeting).

Guests – Sergeant Keola (Honolulu Police Department); Captain Brendan O'Connor (Honolulu Fire Department); Danielle Ornellas (Board of Water Supply); Danny Hayes (Marine Corps Base Hawaii); James Ireland (Mayor Blangiardi's Representative); Danette Wong Tomiyasu (Governor Ige's Representative); Representative Matayoshi, Councilmember Esther Kia'aina; Representative Pat Branco; Congressman Kai Kahele, Roz Makaula (Congressman Kai Kahele's Office); Susan Polanco de Couet, Carol Abe, Jeff Overton (G70), Kimeona Kane, Dana Gusman, Vincent Shigekuni, Kasia Kociuba, Catie Cullison (PBR Hawaii), Ralph W., Gloria Palma, Miku Lenentine, Linda Jenks, Kiralee Ramos, Erike Mueller, Glenn U., Brittany Wheatman, Senator Chris Lee, Christopher Pascua, Carrie Ragsdale, Andy Bohlander (SEI), Adam Holbert, Mark Howland, Kinzang Dorji, Max Towey, Dawn Mahi, Chuck Prentiss, and Graham Smith (Via Webex). The following attended in-person: Representative Lisa Marten; Mary Mack (Windward Coalition), Katie Bourke (PVA), Ryan Ashlock (Castle Medical Center), Teddy Biesecker, Cecelia Camp, Annie Bourke, Robert Scott, Kelly Aylward, Corinne Waterhouse, Roxana Jimenez, Evan Weber, Natalia Hussey-Burdick, Nick Toti (Residents and Guests); and Spencer Johnson (Neighborhood Commission Office). **Note: Name was not included if not legible. There were 52 total attendees.**

ANNOUNCEMENTS:

- The Kailua District Park closes at 10:00 p.m., the meeting must end not later than 9:50 p.m.
- There is one (1) board vacancy, representing Subdistrict 3, Olomana-Maunawili, as Colin Kippen has resigned for personal reasons. Colin has served Kailua well since July 2019; we appreciate his many contributions and wish him well. Board members may nominate a replacement at our May meeting.
- Kailua Storm Ready and Tsunami Ready recognition presentation by John Bravender, Warning Coordination Meteorologist, NOAA & National Weather Service Central Pacific Hurricane Center.

PUBLIC AGENCIES

Honolulu Police Department (HPD) – Sergeant Keola reported the following.

- **March 2022 Statistics:** There were six (6) motor vehicle thefts, nine (9) burglaries, 70 thefts, and nine (9) unauthorized entries into motor vehicles.

Akau arrived at 7:10 p.m., nine (9) members present.

Thurston arrived at 7:11 p.m., Quorum was established with 10 members present.

Questions, comments, and concerns followed. **Sleeping in Car:** Resident Waterhouse raised concerns with an individual sleeping in their vehicle overnight on Kuuniu Street, near South Kalaheo Avenue. Waterhouse requested HPD drive by during their patrol to see if they observe anything.

White arrived at 7:16 p.m., 11 members present.

Honolulu Fire Department (HFD) – Captain O'Connor presented the following.

- **March 2022 Statistics:** One (1) structure fire, one (1) wild land/brush fire, one (1) nuisance fire, two (2) cooking fires, five (5) activated alarms, 93 medical calls, one (1) motor vehicle collision with pedestrian, eight (8) motor vehicle crash/collisions, one (1) mountain rescues, and two (2) hazardous materials incidents.

- Safety Tip: Evacuation planning tips were provided.

Board of Water Supply (BWS) – Danielle Ornellas reported the following.

- Water Main Breaks: There was one (1) water main break on Lunahooko Place.
- Announcements: Detect a leak campaign will be from Sunday, April 10, 2022 through Saturday, April 16, 2022. Free leak detection die tablets are available at Hardware Hawaii to test for toilet leaks.

Marine Corps Base Hawaii (MCBH): Danny Hayes reported the following:

- Bellows Perimeter Fence: Construction will begin soon and is expected to last until April 2023.
- Blue Angels: The Blue Angels are expected to fly in an airshow on Saturday August 13 and Sunday August 14, 2022.

Questions, comments, and concerns followed.

1. Entrance Gates: Weller inquired to the status of the construction on the entrance gates regarding the airshow. Hayes responded that the back gate is expected to be finished in June 2022.
2. Perimeter Fence: Wong inquired about the placement of the perimeter fence.
3. Found Wallet: Resident Abe inquired about the procedure for returning found Military ID cards.

Akao arrived at 7:33 p.m., 12 members present.

Castle Medical Center: Ryan Ashlock reported the following.

- COVID-19: There are currently no COVID-19 patients at Castle Medical Center.
- Mental Health: Castle Medical is working with elected officials to improve the homeless situation and mental health in Kailua.
- Ranking: Castle Medical Center was recently ranked top six (6) in the state for patient experience, and top 300 in the nation.
- New Electro Physiologist: A newly recruited Electro Physiologist will be at Castle Medical to help with heart arrhythmias.

Questions, comments, and concerns followed.

1. Solar Panels: Weller inquired about the status of the solar project.
2. Environmental Impact Statement (EIS): Weller inquired about the status of the EIS regarding the current HPU location when it shifts to Castle's arena.

Mayor Rick Blangiardi's Representative – Chair Hicks provided follow-ups as Jim Ireland arrived late for questions.

- Park Garbage and Grass: Trash had been picked up before this concern from the Neighborhood Board. This section is understaffed but personnel was informed to maintain the restrooms and remove trash daily. Section staff and the district's mowing crew cut grass at the parks on March 9, 2022, and the fields were completed by the weekend.
- Metal Pole: Hawaiian Telcom was sent an email requesting status of the guy wire anchor removal at N. Kainalu Drive and Kuulei Road. The Department of Facility Maintenance (DFM) will notify the Neighborhood Board of Hawaiian Telcom's response.

Questions, comments, and concerns followed.

1. Metal Pole: Lau provided an update; the metal pole has been removed.
2. Boat Ramp: Thurston raised concerns with structural damages to the boat ramp and requested a meeting regarding emergency repairs.

Governor David Ige's Representative – Danette Wong Tomiyasu reported the following.

- Trail Maintenance: There is a statewide shortage of employees for the State Department of Forestry and Wildlife, the department tasked with tracking status of hiking trails.
- Mask Mandate: The indoor mask mandate was lifted on Friday, March 25, 2022.

Questions, comments, and concerns followed. State Trails: Wong asked if all state trails were under the Na Ala Hele program.

RESIDENT AND COMMUNITY CONCERNS:

Lanikai Parking: Resident Kelly Alward raised concerns with the parking situation in Lanikai. Alward commented that there is only parking on one side of the roadway, and Lanikai residents place rocks and plant trees between the road and their property to prevent public parking. There is now a dumpster blocking parking on Kaiolena Street.

ELECTED OFFICIALS

Representative Lisa Marten – Representative Marten reported the following:

- MCBH Perimeter Fence: The fence will cross the ridge line a few times, as their land goes over to the other side in some places. Visual impact will be minimized.
- Legislature: The legislature is nearing the end of the session. Three bills are being heard tomorrow:
 - Foster Care: Providing more focus on parents receiving state money monthly to have adopted a child out of foster care.
 - Composting: Making it easier for farmers to compost on agricultural land, small and large scale.
 - Concrete: Encouraging the use of stronger concrete for buildings and transportation to reduce the amount of material needed.
- Lanikai Pillbox: Terrible erosion creates runoff issues, creating an environmental problem.

Questions, comments, and concerns followed. Gated Community: Weller commented on the issues like parking in Lanikai and suggested making Lanikai a gated community.

Senator Jarrett Keohokalole – No representative present.

Councilmember Esther Kia'aina – Councilmember Kia'aina reported the following:

- Bill 38: Bill 38 relating to commercial activity on Waimanalo beaches was signed by Mayor Blangiardi on Tuesday, April 5, 2022.
 - Bill: <https://hnlidoc.ehawaii.gov/hnlidoc/document-download?id=13631>.
 - Letter From Mayor: <https://hnlidoc.ehawaii.gov/hnlidoc/document-download?id=13620>.
- Bill 41: Bill 41 relating to Short Term Rentals will go before the full council on Wednesday, April 13, 2022.
 - Bill: <https://hnlidoc.ehawaii.gov/hnlidoc/document-download?id=13626>.
- Olomana Agriculture Cluster Application: The Department of Planning and Permitting (DPP) denied the application, however, an appeal was filed, and a hearing will be scheduled.
- Kaelepulu Stream Berm: The Department of Facility Maintenance submitted the application to have monthly maintenance on the Kaelepulu Berm.

Questions, comments, and concerns followed. Boat Ramp: Thurston commented on the Kailua Boat Ramp.

Laeha arrived at 8:25 p.m., 13 members present.

Senator Chris Lee – Senator Lee reported the following.

- Helicopters: The helicopter bill is moving along. \$2 million from the budget was set aside to continue to let the state address the helicopter issue. There will be changes made requiring flight data collection.
- Environmental Protection: Senate Bill 775 dedicates \$30 million per year from tourist taxes to protect the environment, mitigate tourism and the impacts on our local community.
- Kawainui Marsh: \$4.3 million was dedicated to pay for predator fencing to prevent cats and chickens from entering the protected wetland area and bird habitat.
- Maunawili Land: Working on creating space in the budget to set aside \$27.5 million to purchase all of the remaining privately owned lands in Maunawili Valley.

Questions, comments, and concerns followed.

1. Maunawili: Resident Abe inquired about a written statement on the land situation.
2. Watershed & Perpetuity: Lipton asked if the land will be protected from development.

Representative Patrick Branco: Representative Branco reported the following.

- Bills in the Senate:
 - Sale of Coral: A bill to prohibit the commercial sale of coral.
 - Homestead in Town: This land transfer to the Department of Hawaiian Homelands would provide a small homestead near Kapiolani Community College and the Diamond Head Theatre.

- Kailua Cleanup: There will be a volunteer opportunity on Friday, April 15, 2022 at 9:00 a.m. near the Times Coffee Shop.

Representative Scot Matayoshi – Representative Matayoshi reported the following.

- Pali Highway: Roadwork project end date for the town side of the Pali Highway is February 2023.
- Olomana: Working on installing delineator stanchions to allow residents leaving Olomana to safely enter Kalanianaʻole Highway before vehicles enter the right turn lane towards Waimanalo.
- Hiking Trails: A resolution is being made to create a list to provide notice of what trails are legal trails.

Questions, comments, and concerns followed.

1. Olomana: Chair Hicks commented that the board has requested that the State Department of Transportation install a traffic signal to allow residents of Olomana to be able to exit their neighborhood safely during peak traffic hours.

U.S. Representative Kai Kahele – Roz Makaula reported the following.

- Newsletter: <https://kahele.house.gov/media/newsletters/april-2022-newsletter>.
- Marijuana: Last week, Representative Kahele voted yes on the Marijuana Opportunity Reinvestment. This would decriminalize marihuana and remove it from the list of controlled substances.
- LGBTQ Veterans Act: Testified in support of House Resolution 6638, making improvements to the office of accountability and whistle blower protection of the Department of Veterans Affairs.

REPORTS FROM MEMBERS WHO ATTENDED OTHER MEETINGS:

Kailua Boat Ramp: Thurston reported attending a meeting regarding the Kailua Boat Ramp. The board had supported emergency repairs to the boat ramp, but repairs were only completed to the portion of the ramp above the water line.

BOARD BUSINESS:

Ka`iwa Ridge ("Lanikai Pillbox") Trail Draft Environmental Assessment:

The Kailua Neighborhood Board supports the recommendations and comments of the Planning, Zoning, and Environment Committee on the Ka`iwa Ridge ("Lanikai Pillbox") Trail Draft Environmental Assessment. (Planning, Zoning, and Environment Committee motion.) Discussion followed.

White left at 9:10 p.m., 12 members present.

The Board adopted the Committee Motion by Roll Call Vote; (12-0-0). (Aye: Akao, Akau, Kobayashi, Laeha, Lau, Lipton, Thurston, Tomasa, Trecker, Weller, Wong, Hicks; **Nay:** None; **Abstain:** None).

PRESENTATIONS

10 Kamani Kai Place EA/SMA: Brittany Wheatman, PBR, and Peter Vincent, Peter Vincent Architects, presented the following. The architect for the Environmental Assessment/Special Management Area Use Permit is Peter Vincent Architects and the planner is PBR Hawaii. Maps and property boundaries were provided. The property occupies 38,310 square feet, and is zoned R-10, and could legally be subdivided into three (3) lots/homes. Architectural maps and renderings were provided. There will be a 60 foot shoreline setback, which will be further from the beach than most homes in the area. The entire building will be one (1) story height, and the scheme is designed to appear as multiple smaller structures, not one large structure. Materials and landscaping details were provided. Contact: (808)521-5631 or sysadmin@pbrhawaii.com.

Questions, comments, and concerns followed.

1. Utilities: A resident of Kamani Kai commented on utilities relating to potential future projects to renovate nearby homes. The Kamani Kai resident also commented on parking and requested a neighborly relationship.
2. Driveway: A resident of Kamani Kai commented on the private street being paid for by residents and inquired about the possible damages to the street during construction.

40 E Kai One Place Draft EA-SMA: Mark Howland, Whale Environmental Services, presented the following. The home at 40 E Kai One Place, built in 1969, is deteriorating. The home will be extending about 10 feet into their lawn area on the northern side of the property but will not move any closer to the ocean.

Questions, comments, and concerns followed. Comments: Wong asked when comments are due. Howland responded 30 days, but a 30 day extension could be requested.

1226a Mokulua Shoreline Protection Mitigative Improvements: Jeffrey Overton, G70, presented the following. The purpose of the presentation is to support the forthcoming Special Management Area (SMA) Use Permit to repair and improve the existing shore protection system and to present the mitigative improvements provided in the Final Environmental Assessment EA/Finding of NO Significant Impact (FONSI). The proposed action is a seawall repair and improvement located landward of the existing seawall within shoreline setback area. The design of seawall repair and improvement includes sheet pile inserted behind the existing seawall to a depth of 9 feet below mean sea level, stabilize sheet pile with tieback rods, and dowel tiebacks to concrete width extension placed approximately 27 feet mauka. There will be no work seaward of the existing seawall and rock apron. Maps and renderings were provided. Construction is expected to begin in 2023 and end in 2024. Email: 1226mokulua@g70.design.

Questions, comments, and concerns followed. Application: Wong asked when the SMA application will be submitted. Overton responded in May or June.

APPROVAL OF REGULAR MEETING MINUTES: Thursday, March 3, 2022 Regular Meeting Minutes.

The Board approved the Thursday, March 3, 2022, Regular Meeting Minutes as written, by UNANIMOUS CONSENT.

COMMITTEE REPORTS: Stand as published. Complete versions of the committee minutes can be found at: <https://www.honolulu.gov/cms-nco-menu/site-nco-sitearticles/865-site-nco-agenda-minutes-list-cat/20543-neighborhood-boards-agenda-minutes-listing.html?nb=31&year=2022>

COMMITTEE MEMBERSHIP MOTIONS: No changes to committee membership.

TREASURER'S REPORT: Thurston reported a remaining balance of \$116.20 and projected a \$6.75 deficit.

CHAIR'S REPORT:

Committee agendas for May 2022 are due by Sunday, April 24, 2022.

ADJOURNMENT: Chair Hicks adjourned the meeting at 9:54 p.m.

Submitted by: Spencer Johnson, Neighborhood Assistant

Reviewed by: Dylan Whitsell, Deputy

Revised by: Bill Hicks, Chairman, Kailua Neighborhood Board

Appendix I-1

Follow-up Responses to Questions from
Kailua Neighborhood Board No. 31, April
7, 2022 Meeting

From: [Peter N. Vincent FAIA](#)
To: billhicksnb@gmail.com; donnawong967@gmail.com
Cc: [Vincent Shigekuni](#); [Brittany Wheatman](#); [Kasia Kociuba](#); [Katie Bourke](#)
Subject: 10 Kamani Kai Place, Kailua
Date: Monday, April 11, 2022 4:09:25 PM

Aloha Kailua Neighborhood Board Chair Hicks and PZ&E Committee Chair Wong,

Mahalo for fitting our presentation into your full agenda at last week's NB meeting on April 7!

There were three questions from the public that arose after our presentation. Since time did not allow for responses, please see our comments noted below.

Q1: Will the use of utilities for this project preclude others in the area from future projects they may wish to do?

A: No. There are currently adequate utilities available for the property. The proposed project is considerably less dense than what is allowed by C&C zoning, so will have less demand for utilities than if it were a larger project.

Q2: Will parking for the project be accommodated on site?

A: Yes. The project will conform to the required off-street parking requirements as set forth in the C&C Land Use Ordinance (LUO), which recently adopted more stringent parking requirements. The proposed "motor court" and garage configuration will also provide vehicle maneuvering space so that vehicles can turn around and drive out to Kamani Kai Place in a frontward direction and not have to back onto the street.

Q3: Will the owners be responsible for any damage to Kamani Kai Place that may occur during construction?

A: The owners will have the same responsibility as any of the other owners along the street. Building permit requirements provide for "Best Management Practices" to be followed, which will be the same as if this were a public street. The requirements, such as for truck traffic (tire washing, etc), runoff, etc. will be delineated and monitored by our civil engineer who is highly experienced in this regard.

Should you have any further questions or need additional information please don't hesitate to let us know.

Thank you,

Peter

PVA - Peter Vincent Architects



Peter N. Vincent, FAIA, NCARB, Managing Partner

1021 Smith Street Penthouse Honolulu Hawaii 96817
T: 808.524.8255 E: peterv@pva.com
www.pva.com

Appendix J

Archaeological Field Inspection and Background Literature Review



ASM Project 39230

March 3, 2022

Dr. Susan Lebo
Department of Land and Natural Resources
State Historic Preservation Division
601 Kamokila Blvd., Suite 555
Kapolei, HI 96707

Re: Field inspection and background literature research support for the preparation of an Environmental Assessment for the proposed replacement residence at 10 Kamani Kai Place, Kailua (TMK: (1) 4-3-015:048, (1) 4-3-015:031 por.), Kailua Ahupua'a, Ko'olaupoko District, Island of O'ahu.

Dear Susan:

As requested by Peter Vincent Architects (PVA), ASM Affiliates (ASM) conducted an archaeological due diligence study of TMK: (1) 4-3-015:048 and (1) 4-3-015:031 (portions) in Kailua Ahupua'a, Ko'olaupoko District, Island of O'ahu. The subject parcels consist of approximately 0.8544 acres of residential-zoned land located within a larger residential neighborhood along the coast of Kailua Bay. In an effort to provide a comprehensive analysis, and to assess the potential for encountering significant archaeological or cultural resources, this study summarizes background research on the culture-history and archaeology of the Kailua area as well as the results of a field inspection of the parcels conducted by ASM on February 25, 2022.

Description of the Subject Parcels

The subject parcels, a combined residential lot, is located at 10 Kamani Kai Place, Kailua, including the entirety of TMK: (1) 4-3-015:048 and approximately the northeastern third of TMK: (1) 4-3-015:031 (por.) (Figures 1-3). The lot stretches from the northeastern terminus of Kamani Kai Place to the coast at Kailua Beach, covering approximately 0.8544 acres (37,217 square feet). The conjoined parcels are bounded to the northwest and southeast by neighboring residential plots, bounded to the southwest by two neighboring residential plots and Kamani Kai Place, and bounded to the northeast by Kailua Beach. The subject parcels lie roughly in the center of Kailua Beach, approximately two kilometers northwest of the beach's southern terminus at the Lanikai Monument, and 2.4 kilometers south of the beach's northern terminus where Kawainui Canal meets Kailua Bay. Geologically, the parcels are situated on dune (Qbd) and beach (Qby) deposits (Sherrod et al. 2007) (Figure 4), with Jaucus (JaC) sands – a fine, single grain sand ranging from pale brown to very pale brown most often found on slopes of less than seven percent (USDA Soil Staff 2020) (Figure 5). These deposits likely formed in the mid-Holocene from an accretion barrier in front of what was then Kawainui Bay, now Kawainui Marsh, when sea level was approximately two meters higher than it is today (Grossman and Fletcher 1998).

The property is a partially leveled area surrounded by a wet-laid basalt wall to the southeast, a concrete masonry unit (CMU) wall to the northwest, both a dry-stacked basalt wall and a wooden fence to the southwest, and sand dunes to the northeast (Figures 6 and 7). The northeastern half of the lot is not levelled and contains several large, intact sand dunes where the property abuts the beachfront (Figure 8) as well as several smaller intact sand dunes towards the center of the property (Figure 9). Records on file

at the Department of Planning and Permitting (DPP) of the City and County of Honolulu and a review of historic aerial photographs indicate that no structures have been built within the subject parcels.

An asphalt driveway with a concrete drainage on its southeastern side fills the narrow, southeast section of the subject parcels connecting the lot to the northern end of Kamani Kai Place via a short metal gate (Figure 10). The southwestern corner of the property is covered by a thin, roughly eight by ten-meter area of fine gravel leading from a gate connecting to the neighboring lot to the southwest, while the rest of the property is covered with various vegetation and sand (Figures 6 and 11). Mōkapu Point, Mōkōlea Rock, Popoia Island, Moku Nui, and Moku Iki are clearly visible within Kailua Bay from the subject parcels (Figures 8 and 12).

Culture-Historical Background for Kailua Ahupua‘a

The subject parcel is situated within Kailua Ahupua‘a, a land unit of the District of Ko‘olaupoko on the island of O‘ahu. The plot is centrally located along the northeastern border of Kailua Ahupua‘a and Kailua Bay, lying directly adjacent to the beachfront. According to Pukui et al. (1974:117), Ko‘olaupoko can be literally translated into “short windward”, referring to the district’s geographic location on the east (windward) side of O‘ahu, and that it is smaller than the Ko‘olaupoko (“long windward”) District which neighbors to the north. The translation of Kailua is “two seas” (Pukui et al. 1974:69), likely referring to the large ponds of Ka‘elepulu and Kawainui within the *ahupua‘a*. According to oral traditions, a channel running underneath the hills separating the two ponds represented a romantic union between the male Kawainui Marsh and female Ka‘elepulu Pond, granting great *mana*, or “spiritual power” to the Kailua Ahupua‘a (Paki 1976 in Mann et al. 2002).

Kailua Ahupua‘a was known by the Hawaiian people as a “fat land”, where food was bountiful and of great quality. A one-and-a-half-mile continuous terrace system stretching *mauka* (inland) from the edge of Kawainui Marsh provided vast quantities of taro, along with more terraces surrounding Ka‘elepulu Pond and its subsidiary streams (Sterling & Summers 1978:227). Ka‘elepulu was used as a fishpond, and contained “fat mullet, awa, ahole, and oopu... the fish were tender and always fat” and may have been as large as 216 acres (Sterling & Summers 1978:227-232). Kawainui was also used as a fishpond and “was the site of the Makalei tree, a famous mythological tree which had the power of attracting fish” and was overseen by the goddess Haumea (Sterling & Summers 1978:231). The fish were so plentiful and tame in Kawainui Pond that one who entered the water would be swarmed by them and could easily catch them using just their hands. Cleaning of the ponds was tiresome work, overseen by the *ali‘i* (elite) who directed the workers. Men, women, and children from across Ko‘olaupoko and neighboring Waimanalo were brought to the Kawainui and Ka‘elepulu to pull the algae from the ponds, creating circles in the water out of the pulled vegetation. Any fish trapped in these circles would be theirs to keep (Sterling & Summers 1978:230).

The *ahupua‘a* of Kailua did not stop at the beach, but continued roughly a mile offshore to the coral reefs of Kailua Bay, making Kailua the largest *ahupua‘a* in the District of Ko‘olaupoko. In addition to numerous avian resources, mollusks and other saltwater resources were collected from this reef, adding to the already abundant food resources in Kailua. High-quality basalt for tool-making was also accessible within the *ahupua‘a* from a quarry just south of Kawainui (Sterling & Summers 1978:229).

With such abundance, the area became a popular destination for *ali‘i* from across the islands. Sterling & Summers write:

... The eyes looked with eagerness on the plain of Alele where the Cheif Kakuhihewa vacationed. It was beautiful from the flats of Alaala to the coast of Puuna‘o and Kalaeohua, from the place of the drifting sea weed of Kuahine to the place of the lipoa sea weed of Oneawa. (1978:232)

The plain of Alele was home to a significant recreational area and contained a celebrated race course as well as Pamoia, a 240-foot-long house constructed by Kakuhihewa. Aside from governmental roles,

Pamoa was also a space for practice with weaponry, astrology, astronomy, instruction in royal songs and singing, and outside areas were reserved for running, cliff jumping, bowling, sliding, and boxing (McAllister 1933:189).

A lone mountain known as Olomana stands apart from the Ko‘olau range in Kailua Valley, just southwest of Ka‘elepulu Pond and roughly 3 miles south of the subject parcels. Oral traditions dictate how Olomana and Mahinui (the hills separating Kailua and Kāne‘ohe Ahupua‘a) were formed:

. . . Olomana was a noted warrior, famous for his great strength and his enormous height [. . .] being twelve yards to the shoulders, and thirteen in height. He was a very brave man and was much feared. No chief or warrior dared to face him.

The ruler of O‘ahu, Ahuapau, employed a young warrior, Palila, to travel O‘ahu in a circuit, knowing that he would encounter Olomana upon reaching Kailua and, hopefully Palila would be defeated. Palila was raised in the temple of Alanapo, where the men are “richly endowed with supernatural powers and very great warriors (Sterling & Summers 1978:235)” Ahuapau initially tried to mislead Palila into believing the journey to be safe, though did inform Palila of the true intent of the mission before he left. Upon encountering Olomana, Palila jumped upon his shoulders and after a brief encounter “struck him (Olomana), cutting him in two; one portion flew toward the sea, being Mahinui, and the other portion remained where he stood, being the present hill of Olomana” (Sterling & Summers 1978:235-236).

According to John Papa ‘Ī‘Ī (‘Ī‘Ī 1993), subsequent to his conquering of O‘ahu in 1795 and at the advice of chief Kamanawa, Kamehameha I divided the large *ahupua‘a* on O‘ahu into smaller land divisions called ‘*ili* ‘*āina*. As such, rather than awarding an entire *ahupua‘a* to a single claimant, many *ahupua‘a* on O‘ahu, including Kailua were subdivided and its ‘*ili* ‘*āina* were awarded to different individuals, typically those of *ali‘i* or high-ranking status.

During the Great *Māhele*, the *ahupua‘a* of Kailua was originally claimed by Kauikeaouli then later given to his wife, Hakaleleponi Kalama (Kame‘eleihiwa 1992:263-264). A total of eighteen *konohiki* were awarded ‘*ili* in Kailua which diminished Kalama’s land awards tremendously (ibid.). The subject parcels are situated on what was claimed by Queen Kalama but, rather, was awarded as a grant (1106:3) to Kokahe in 1853. This land grant is described as the *lele* (discontiguous parcel) of Pueohala of the ‘*ili* of Kalaheo. A total of 132 *kuleana* claims were made for Kailua. No other *LCAw*, land grants, or *kuleana* are located in the vicinity of the subject parcels.

By the early 1900s, much of the Kailua area had been converted into numerous cattle, sheep, and horse ranches, the largest of which being Kaneohe Ranch. Between 1850 and 1875 government land sales amounting to 3,000 acres made much of Kailua Ahupua‘a accessible for private use, with most of that land eventually becoming acquired by Kaneohe Ranch under the Castle Trust (Mann et al. 2002:10). Kāne‘ohe Ranch also experimented with pineapple and sugar cane plantations within Kailua Ahupua‘a.

Much of the land was devoted to pasture as part of Kaneohe Ranch during the early twentieth century until the 1940s, resulting in significant changes to the landscape. Per Handy et al. (1991:99):

. . .this *ahupua‘a* must formerly have been very rich, having one of the most extensive continuous terrace areas on Oahu, extending inland 1.5 miles from the margin of Kawainui Swamp. The lower terraces are now swampy, though a few are used for truck growing; those in the main section are under intensive cultivation for experimental purposes by the Hawaiian Sugar Planters’ Association; the upper terraces are unused. I am told that small terrace sections extend up each of the stream courses which water the main flats. . .

Taro is no longer grown in Kailua. The main body of old terraces are more useful for experimental purposes in sugar. Much former taro land has reverted to swamp and would

be expensive to reclaim. As for the other lands, there is now too little water, due to deforestation of the lower levels under grazing.

Once World War II broke out portions of the Kaneohe Ranch lands were sold to the government for expansion of the naval base present-day Marine Corps Base Hawaii (MCBH) and the small town of Kailua experienced a population surge as military personnel and their families settled in the area. In 1942, Harold Castle, owner of Kaneohe Ranch, donated and/or sold off thousands of acres of former ranch land for post-war development, which included the construction of churches, schools, and a hospital. Interestingly, during the late 1940s Kailua was home to a few firsts in the Hawaiian Islands: “the first bowling alley, a branch office of the telephone company, and the very first supermarket” (Kailua Chamber of Commerce 2018). In the middle of the 1950s construction began on a new four-lane highway through the Ko‘olau Mountains and in 1957, the first tunnel was opened on the Pali Highway (Route 63), which connected Kailua and the windward side of O‘ahu with Honolulu and ‘Ewa beyond (Historic Hawaii Foundation 2016). Also, around this time, Kailua became the official postal designation for the direct APE vicinity (Kailua Chamber of Commerce 2018). Since 1960, the population of Kailua has increased exponentially. By 1992, Kailua comprised at least 50,000 residents living in homes, apartments, and condominiums surrounding the business district. The central business district of Kailua is currently undergoing expansion with new retailers, restaurants, and services as tourism continues to bring more and more visitors.

Alongside ranching, commercial agriculture became another dominant economic entity within Kailua Ahupua‘a following the *Māhele*. Rice was grown until the start of the 20th century, when production shifted toward taro and then western crops (Mann et al. 2008:10). The sandy area between Kalaheo and Oneawa streets was home to the Hawaiian Copra Company’s “Coconut Grove” where the sand dunes of Kailua were flattened and subsequently planted with palms.

Commercial agriculture and ranching continued into the mid 20th century when the ranches and farms of the area began to be subdivided into suburban residential lots. Upgrades to the Pali Highway (Hawai‘i Route 61) such as the Nu‘uanu Pali Tunnels completed in 1961 meant that Kailua became a desirable suburb with quick and easy access to downtown Honolulu (Mann et al. 2002:11). Historic aerial images indicate that the subject parcels were approximately adjacent to agricultural fields as late as 1952, though the residential development in the area was rapidly subsuming agricultural and ranch lands (Figures 23 and 24). Growth of residential developments in Kailua Town and Ahupua‘a continue to this day.

Previous Archaeological Studies in the Vicinity of the Subject Parcel

At least seventeen archaeological studies have been conducted within a 0.5-mile vicinity of the subject parcels while nearly 50 archaeological studies have been conducted within the Kailua accretion berm (Filimoehala and Rieth 2014:13). No previous studies have been conducted at TMKs: (1) 4-3-015:048, (1) 4-3-015:031, or any adjacent parcels. The majority of archaeological studies within Kailua Ahupua‘a have been conducted *mauka* of the subject parcel within the Maunawili Valley and surrounding the Ka‘elepulu and Kawainui ponds, as the *makai* (seaward) portions of Kailua were for the most part developed before State or Federal historic preservation regulations were enacted (Mann et al. 2002:12). Dispersed pre-contact habitation sites have been located scattered across the *ahupua‘a* among pre-contact agricultural fields and terraces, though remain absent from the Kailua Beach accretion berm (Mann et al. 2002:19). Multiple *heiau* (ceremonial structures), terraces, and other precontact sites have also been located within Maunawili Valley and along Kawainui Marsh (McAllister 1933:186).

As previously stated, much of Kailua, including the subject parcel, have been built on the Kailua accretion berm. The sandy, well drained deposits present throughout the berm were favored for pre-contact Hawaiian habitation and burial (Filimoehala and Rieth 2014:5). Consequently, burial remains are frequently encountered within the Kailua accretion berm (e.g. Bush and Hammatt 2004; Cleghorn 1997; Hammatt & Medeiros 1999:10-11; Kawachi and Smith 1990; Mann et al. 2002:21-23; Medical Examiner

1991; Putzi and Dye 2004). Previous development of the area, such as the grading of the sand dunes for Coconut Grove residential area, likely destroyed any remaining above-ground or shallow precontact cultural deposits thus obscuring sub-surface archaeological deposits.

Filimoehala and Rieth (2014:12) document that at least 100 individual burials have been encountered within the Kailua Berm and that at least 89 of these were encountered within 500 meters of the shore. While many of the encountered burials have been documented in or around the business district, this is likely a product of the greater degree of development within the business district as opposed to the residential areas (Filimoehala and Rieth 2014:12). While no archaeological features have been previously identified within the subject parcels, nine projects within 0.5 miles of the subject parcels and *mauka* of Kalahoe Avenue, have encountered burials (Alton 1972; Borthwick et al. 2006; Bush and Hammatt 2004; Hammatt & Medeiros 1999; Hammatt & Shideler 2001; Jourdan 1994; McElroy 2006a, 2006b; Medical Examiner 1991; Putzi 1996) (Figure 25).

Field Inspection and Findings

On February 25, 2022, Nick Belluzzo, M.A., and Evan Ryder, B.A. conducted a surface reconnaissance of the subject property, which is accessed from an asphalt driveway connecting to the northeastern end of Kamani Kai Place. The property had recently been surveyed and stakes associated with the property boundaries were still present.

Exposed sand deposits are present throughout the subject parcels, with multiple large and intact dunes present along the parcels' northeastern border with Kailua Beach and numerous smaller intact dunes stretching southwest into the center of the property. The larger dunes are covered primarily with *naupaka* and by a pair of False Kamani (*Terminalia catappa*) trees (Figures 13 and 14), although vegetation on the southern faces of the northern half of the dunes has been cleared to ground level (Figure 15). The smaller sand dunes are *makai* the larger dunes, transition to leveled ground towards the center of the property. Various invasive grasses cover the smaller dunes, as well as smaller patches of *naupaka* (Figure 9). The northwestern and southeastern perimeters of the property are lined with various shrubs and trees including *naupaka* and *hala* (*Pandanus tectorius*) (Figures 6 and 16). The central and southern portions of the property contain numerous exposed sand deposits (Figures 17-21) interspersed with patches of invasive grasses and *naupaka*. Palm tree stumps and cut, piled sections of palm trunks are present within the southwestern quadrant of the property (Figure 22).

No historic properties of any kind were observed on the surface of the subject parcel. However, the sand dunes in the northeastern half of the parcels, as well as the sand deposits located throughout the parcels, are consistent with contexts elsewhere in the vicinity where human burials have been encountered. While no above-ground resources were identified and no sub-surface testing was undertaken, it is likely, based on the previous archaeology documented above, that subsurface deposits, including human burials, may be present.

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Any future development/demolition plans for the subject property that will involve subsurface disturbance as part of a county permit may require historic preservation review under Hawai'i Revised Statutes (HRS) Chapter 6E by the Department of Land and Natural Resources-State Historic Preservation Division (SHPD). Given the prior archaeological studies conducted relative to the Kailua accretion berm and the knowledge that archaeological resources exist in a subsurface context in the vicinity of this parcel, it is possible that, at a minimum, SHPD will require the preparation of an archaeological monitoring plan and archaeological monitoring during all ground-disturbing activities. Monitoring could result in the inadvertent discovery of subsurface cultural deposits associated with both habitation and burial, which will need to be documented and treated pursuant to Hawai'i Administrative Rules (HAR) §13-280, and may require additional archaeological work related to data recovery and/or preservation actions. Alternatively, SHPD may request that an Archaeological Inventory Survey with subsurface testing that targets areas of proposed subsurface disturbance be conducted prior to permit approvals.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Nick Belluzzo', with a horizontal line extending to the right.

Nick Belluzzo, M.A.
Senior Archaeologist
Honolulu Office Director

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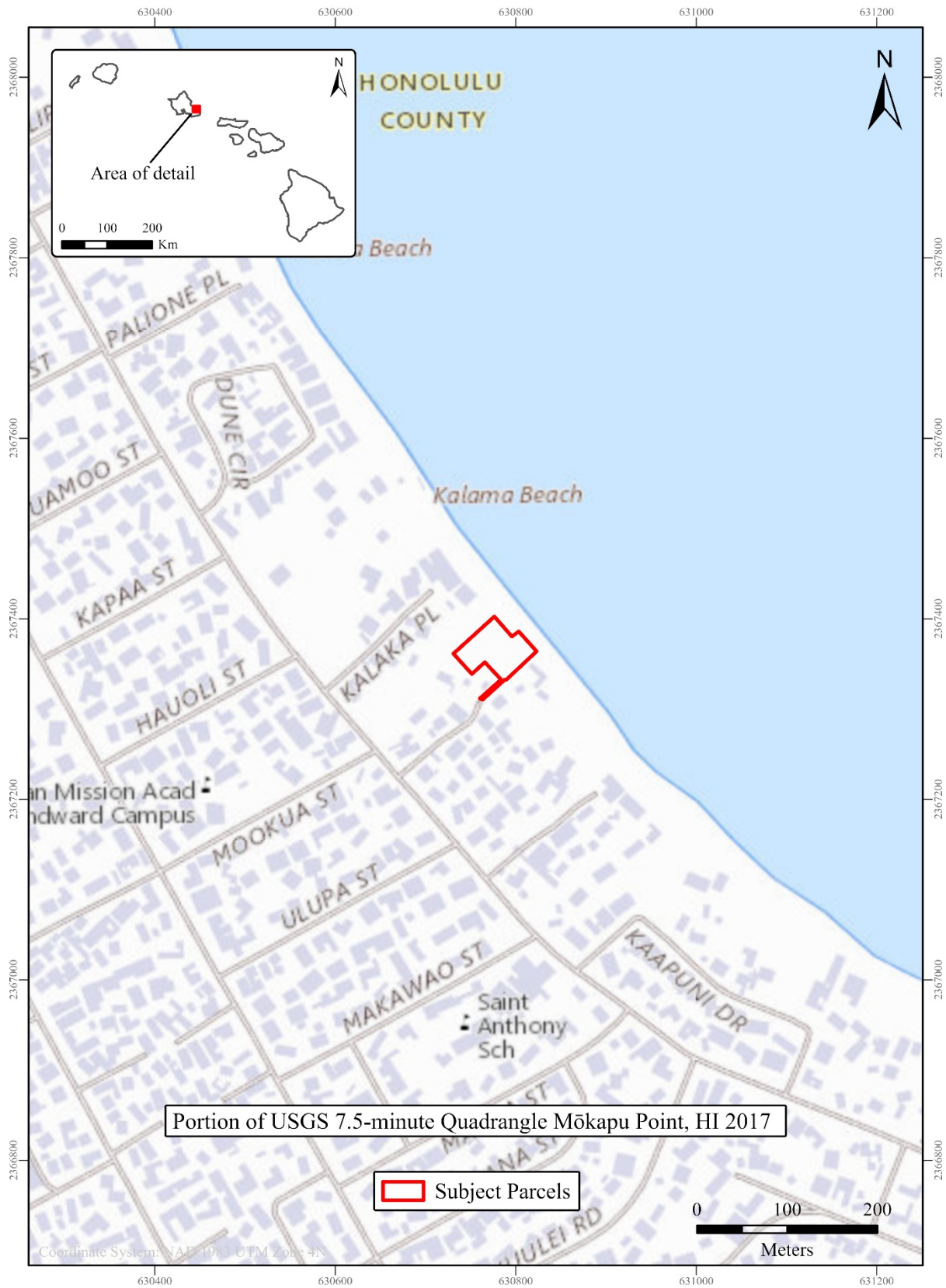


Figure 1. Subject parcels (in red) on the Mōkapu Point USGS Quadrangle.



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Figure 3. Aerial view of subject parcels (red).

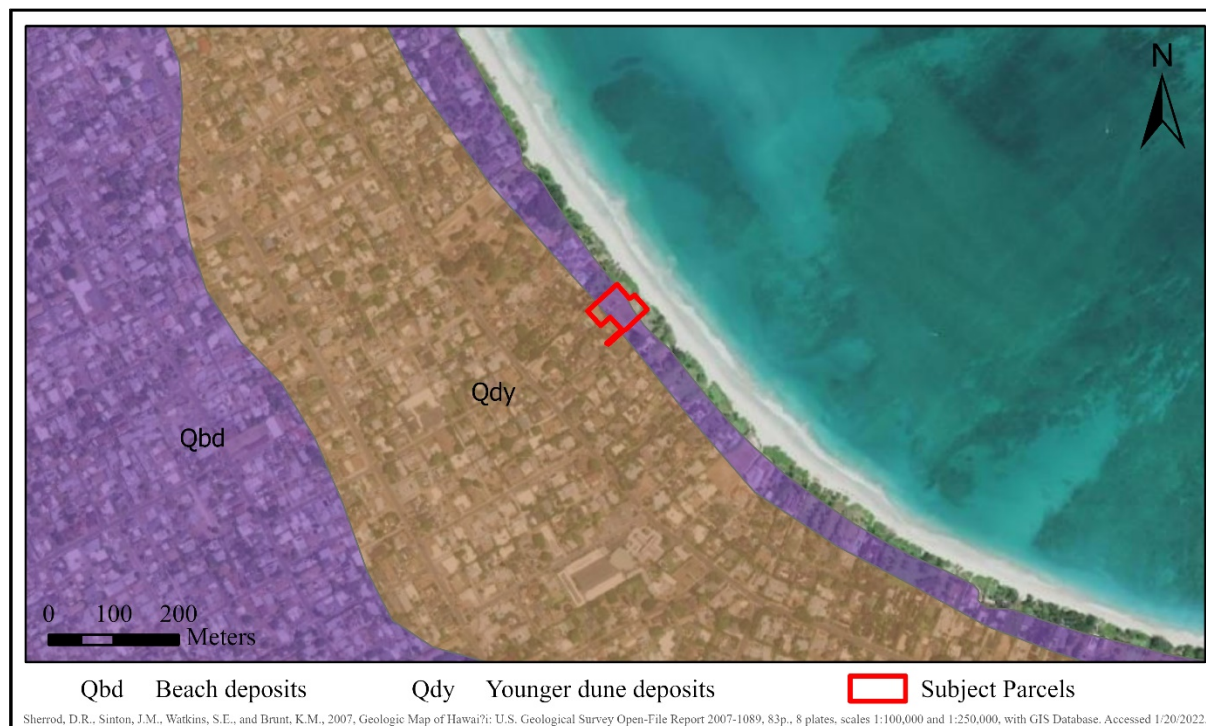


Figure 4. Geology in the vicinity of the subject parcels (red).



Figure 5. Soils in the vicinity of the subject parcels (red).

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Figure 6. Southwestern quadrant of subject parcels, view to west.



Figure 7. Southeastern perimeter of subject parcels, view to the northeast.

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Figure 8. Large exposed sand dunes where subject parcels abut the beachfront, view to the southeast.



Figure 9. Smaller sand dunes stretching towards the center of the subject parcels, view to the east.

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Figure 10. Driveway and gate entrance to subject parcels, view to the northeast.



Figure 11. Area of fine gravel in the southwestern quadrant of subject parcels, view to the northeast.

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Figure 12. View of northeastern quadrant of subject parcels, view to the north.



Figure 13. Smaller sand dunes in foreground and False Kamani trees within larger sand dunes in background, view to the east.



Figure 14. *Naupaka* atop the larger sand dunes at the Kailua Beach boundary, view to the southwest.



Figure 15. Cleared southern face of large dunes at *makai* boundary of subject parcels, view to the northeast.

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Figure 16. Vegetation along northwestern perimeter of subject parcels, view to the west.



Figure 17. Exposed sand in the northeast of the subject parcels, view to the north.

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Figure 18. Small patches of exposed sand in the center of the subject parcels, view to the northeast.



Figure 19. Exposed sand in the southwest of the subject parcels, view to the southwest.

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Figure 20. Exposed sand in the northwest of the subject parcels, view to the northeast.



Figure 21. Exposed sand in the southeast of the subject parcels, view to the northeast.

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Figure 22. Palm stumps and cuts trunks in the southwest of the subject parcels, view to the west.

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Figure 23. Subject parcel in a 1952 USGS aerial image.

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Figure 24. Approximate location of subject parcels (red) in the center foreground in a 1951 USGS oblique aerial image.

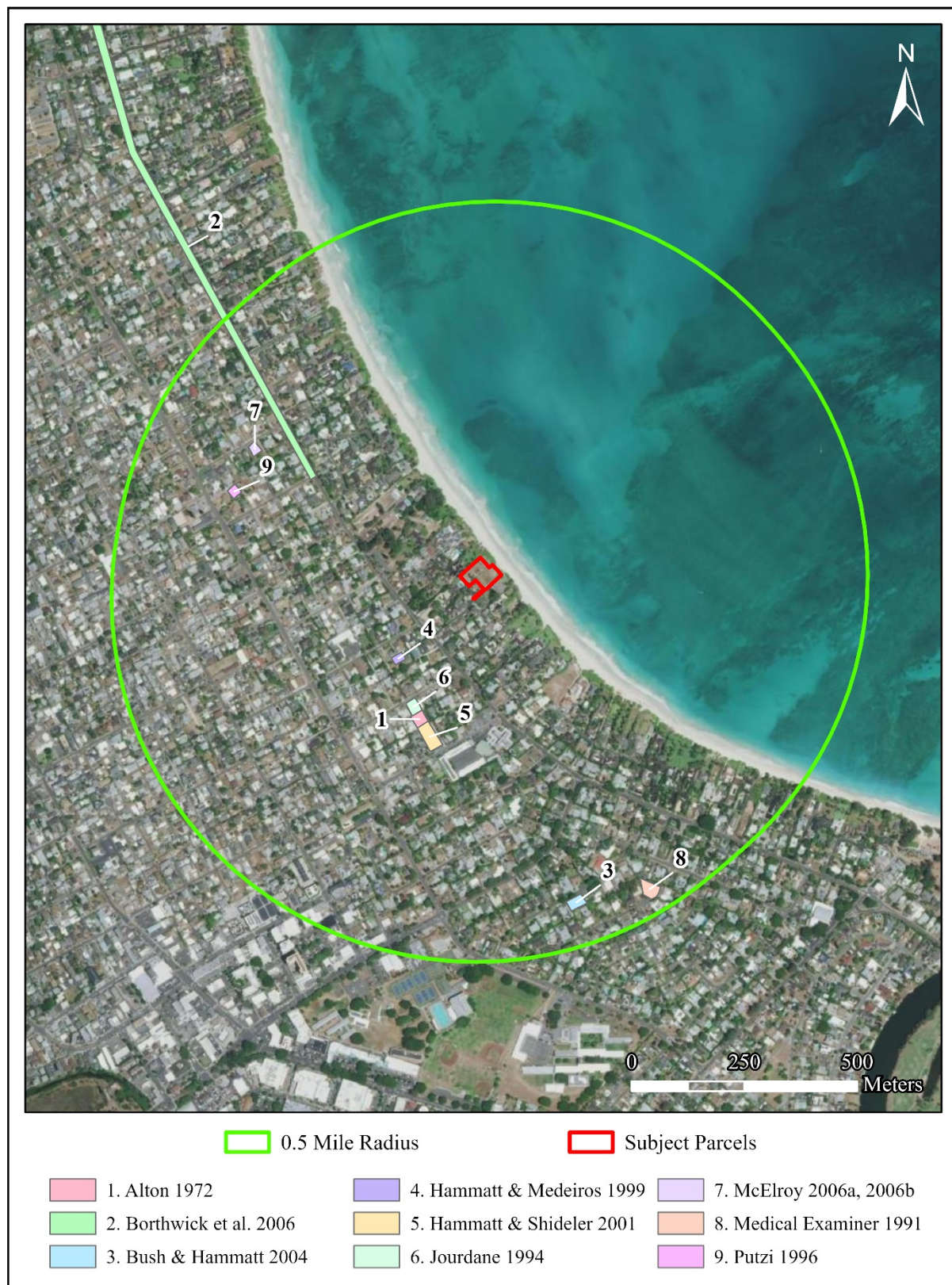


Figure 25. Map of previous archaeology which encountered human skeletal remains within 0.5 miles of the of the current subject parcels.